



**REGULAR MEETING OF THE
CITY OF CONCORD
DESIGN REVIEW BOARD**

**Thursday, June 26, 2014
5:30 p.m., Regular Meeting
PERMIT CENTER CONFERENCE ROOM
1950 Parkside Drive, Bldg. D**

Design Review Board Members

Jack Moore, Chair

Ross Wells, Vice Chair

Peter Harmon

Kirk Shelby

Ernesto Avila – Planning Commission Liaison

AGENDA

PUBLIC COMMENT PERIOD

ADDITIONS/CONTINUANCES/WITHDRAWALS

CONSENT CALENDAR

A. 6/12/14 Meeting Minutes

STAFF REPORTS

1. Commercial Addition at 4670 Clayton Road

HEARINGS

FINAL REVIEW

- 1. [Commercial Development at 1100 Concord Avenue \(PL140047 – DR\)](#) – Final Design Review to demolish an existing 9,500 sq. ft. vacant building and construct two new pad buildings measuring approximately 8,400 sq. ft. and 6,000 sq. ft. fronting on Meridian Park Boulevard and Concord Avenue respectively and associated improvements including parking, landscaping, and lighting on a 1.48-acre site at 1100 Concord Avenue. The General Plan designation is West Concord Mixed Use; Zoning classification is WMX (West Concord Mixed Use); APN 126-010-054. **Project Planner: G. Ryan Lenhardt @ (925) 671-3162.****

PRELIMINARY REVIEW

2. [3041 Cowell Road Minor Subdivision \(PL140038 – DR\)](#) – Preliminary Design Review for a three-lot Minor Subdivision on a 0.44-acre site at 3041 Cowell Road. The General Plan designation is Low Density Residential; Zoning classification is RS-6 (Single Family Residential, 6,000 sq. ft. minimum lot size); APN 105-186-005. **Project Planner: Frank Abejo @ (925) 671-3128.**
3. [Oakmont Senior Living \(PL140211 – DR\)](#) – Preliminary Design Review for an approximately 100,000 square foot, 76 unit, senior assisted living facility on a 2.42-acre site located at 1401 Civic Court (formerly 1401 Enea Circle). The General Plan land use designation is Downtown Mixed Use; Zoning classification is DMX (Downtown Mixed Use); APN 126-300-052. **Project Planner: Frank Abejo @ (925) 671-3128.**

BOARD CONSIDERATIONS/ANNOUNCEMENTS**STAFF ANNOUNCEMENTS****ADJOURNMENT**

NOTICE TO PUBLIC

No item will be considered for hearing after 9 P.M. Items remaining on the agenda will be rescheduled.

At the beginning of the meeting any items to be held over will be announced. The staff may bring up following this, any items on the agenda that are of a routine and non-controversial nature, and the chairperson may call for action on these items without further discussion if there is no opposition present at the meeting. Normal hearings will then proceed for the remainder of the agenda.

Staff will not provide written summaries of the Board's discussions on preliminary review or continued agenda items. Applicants should be prepared to take all necessary notes regarding the Board's comments, suggestions, and directions on projects, or schedule an appointment to review tape recordings of the meetings. For items resulting in a final action by the Board, action letters will be prepared by staff and distributed to the applicant.

Correspondence and writings received that constitutes a public record under the Public Records Act concerning any matter on this agenda are available for inspection during normal business hours by contacting the Planning Division, located at 1950 Parkside Drive, Wing D, Concord, CA. For additional information contact (925) 671-3152.

In accordance with the Americans with Disabilities Act and California Law, it is the policy of the City of Concord to offer its public programs, services and meetings in a manner that is readily accessible to everyone, including those with disabilities. If you are disabled and require a copy of a public hearing notice, or an agenda and/or agenda packet in an appropriate alternative format; or if you require other accommodation, please contact the ADA Coordinator at (925) 671-3031, at least five (5) days in advance of the hearing. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility.

NEXT DESIGN REVIEW BOARD MEETINGS:

July 10, 2014

July 24, 2014



REPORT TO DESIGN REVIEW BOARD

DATE: June 26, 2014

I. GENERAL INFORMATION

Project Name: COMMERCIAL DEVELOPMENT AT 1100 CONCORD AVENUE (PL14047 – DR)

Review Status: Final Design Review

Location: 1100 Concord Avenue

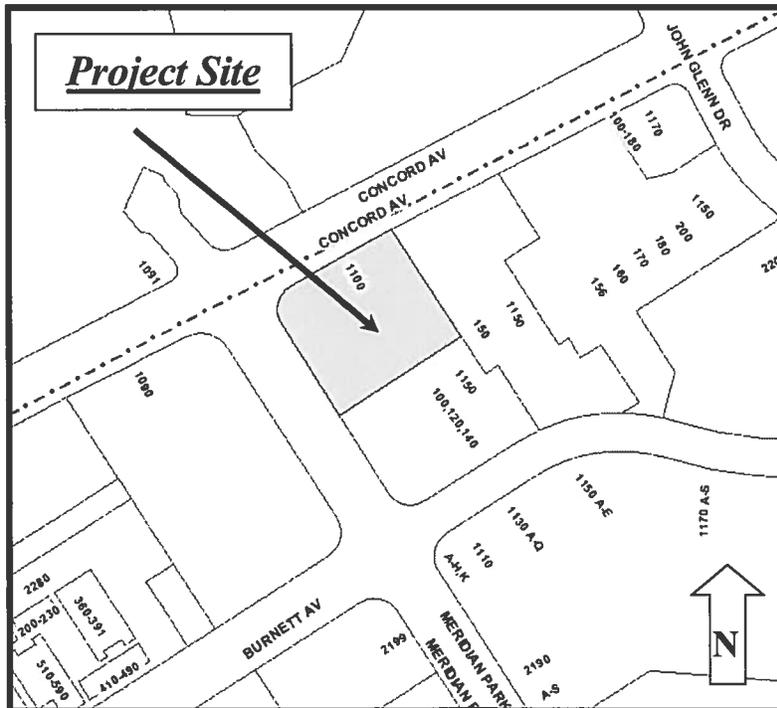
Parcel Number: APN 126-010-054

General Plan: West Concord Mixed Use

Zoning: WMX (West Concord Mixed Use)

Applicant: LRG Investors, LLC
Attn: Steve Cutter
433 Airport Blvd., Ste. 426
Burlingame CA 94010
(650) 548-2672

Vicinity Map:



II. PROJECT BACKGROUND

On February 27, 2014, the Board conducted Preliminary Design Review of the Commercial Development at 1100 Concord Avenue for the construction of two new buildings and associated improvements including parking, landscaping, and lighting. The Board provided the applicant with comments regarding the site design, architecture, and landscaping and recommended the applicant return for Final Design Review approval.

In March of 2014, BevMo withdrew as the center's anchor tenant. The applicant revised the site design increasing Building A (Concord Avenue) from 7,000 sq. ft. to 8,000 sq. ft. and reducing Building B (Meridian Park Boulevard) from 8,000 sq. ft. to 6,000 sq. ft., added six parking stalls, and landscaping to the south end of Building B. A new anchor tenant has not been identified.

On June 6, 2014, LRG Investors, LLC submitted revised plans for Final Design Review. The Development Advisory Committee (DAC) is scheduled to conduct their completeness review on June 24, 2014.

The Board's Final Design Review recommendations will be incorporated into revised plans submitted for a building permit. The Planning Division will issue an Administrative Design Review only after first determining that the Board's recommendations have been incorporated and the application complies with all Development Code provisions applicable to the project.

III. DISCUSSION

The February 27 meeting minutes are *italicized* below with the applicant's response in **bold** followed by staff's comments and bulleted recommendations when applicable. Overall, staff believes the Board's comments have been addressed and that any additional recommendations can be incorporated into the project's conditions of approval.

Architecture

- *Four-sided design is required especially on the tower elements given the visibility of the buildings at this location.*

The tower elements incorporate painted structural veneer block material, warm earth tone colors, and stucco finishes on all four elevations.

The materials are carried around three sides of the towers where the two buildings meet. Staff recommends the materials be carried around all four sides of the towers as previously recommended by the Board.

- *Balance the aesthetics with the "back of house" operations on the north wall of the Concord Avenue building.*

The tower element on the eastern end of the building has been wrapped to the northern façade to add emphasis and drama to this key portion of the building. The parapet along the intermediate wall of the north elevation has been stepped for further articulation and the wall below projects from the main building wall for added relief. The raised parapet of the west elevation has been wrapped around the corner to the north elevation and the trellis along the north façade extended to nearly the full length of the north façade. The modifications made provide ample articulation and shadowing which reduce the amount of blank façade at the utilitarian “back of house” area.

The applicant addressed the Board’s direction.

- *Carry the tower mass east on the north end of the Meridian Park Blvd. building.*

The bulk of the corner tower element on the north end of the Meridian Park Building has been increased in both directions.

The applicant addressed the Board’s direction.

- *Consider installing a pergola on the north elevation of the Meridian Park Blvd. building that follows the curve of the patio and connects the two buildings to mitigate the amount of paving at this location.*

The plaza area is not curved. Paving at this area has been reduced with the addition of landscaping adjacent to the southern portion of the Meridian Park building’s west façade. The remaining paving adjacent to this elevation is required for pedestrian access to the man door of the west elevation as well as the required bicycle parking stalls located south of the door.

Staff supports the asymmetrical appearance of the patio, specifically a trellis on one side and landscaping on the other side, as long as the trees opposing the trellis are of adequate size to provide shade.

- *Consider using the alcoves as seating areas on the north end of the Meridian Park Blvd. building.*

The northern elevation of the Meridian Park building has minimal alcoves. The southern half of the elevation is enhanced with landscaping plantings directly adjacent to the façade.

The alcoves are not substantial enough for seating; staff supports the proposed site design.

- *The trellis(es) should project enough to provide ample shade for the patio.*

Trellises along the various facades range in depth between four and six feet and will provide ample shading along the walkways. The large relocated and redesigned pergola within the plaza will provide ample shade.

Staff supports the proposed use of trellises and recommends the applicant submit a dimensioned trellis detail and method of attachment to the building for the Board's review.

- *Consider creating an arch/gateway element at the northwest intersection of the site to create a sense of entry.*

Landscaping around the west and north perimeters of the plaza has been increased toward the intersection and within the plaza (interior to the plaza walls). The previously proposed rectangle pergola along Building A's west façade has been changed to a triangle with free-form shape top members. The pergola has been pulled toward the center of the plaza to accentuate the main pedestrian pathway, increase shading and the sense of enclosure.

Staff supports the proposed changes and added landscaping to the patio area.

- *Bring back details of the accent lighting, timber sizes on pergola, façade sections, plant list, materials and colors.*

The submitted packets include lighting cut sheets and a section of the proposed trellis/pergola with sizes called out. Sheet A301 includes building sections. Included sheets L-1 and L-3 provide a plant list and details. Sheets A201 and A202 includes material and color callouts which are visually represented on the included renderings.

The applicant addressed the Board's direction.

IV. Recommendation and Motion

Staff has prepared the following motion for the Board's consideration for the project.

I (Board Member _____) hereby move that the Design Review Board recommend approval of Commercial Development at 1100 Concord Avenue (PL14047 – DR), subject to the following recommendations as well as any additional recommendations made by the Board.

Recommended Conditions of Approval

- Carry the materials and colors around all four sides of all the building towers.
- Submit a dimensioned trellis detail and method of attachment for the Board's approval.
- The applicant shall submit a Master Sign Program for review and approval by the Board.

Prepared by:



G. Ryan Lenhardt
Senior Planner
(925) 671-3162
ryan.lenhardt@cityofconcord.org

Exhibits:

- A - Response letter from architect date stamp received June 6, 2014
- B - Project plans date stamp received date stamp received June 6, 2014
- C - Light fixture specifications date stamp received June 6, 2014

14sdrb.016



EXHIBIT A

June 05, 2014

City of Concord
Planning Division
Community & Economic Development Department
1950 Parkside Drive, M/S 53
Concord, CA 94519-2578

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JUN 06 2014

PLANNING

RE: Response to Design Review Board Comments from March 13, 2014
LRG Investors, LLC
1100 Concord Avenue
Assessor's Parcel Number 126-010-054-8

Dear Staff and Board,

Since the March 13, 2014 Design Review Board meeting the original anchor tenant for Building B has withdrawn from the project resulting in minor program and design changes. The primary changes can be summarized as follows:

- The area of Building A has been increased from 7,000 square feet to approximately 8,500 square feet by increasing the length of the building.
- Parking east of Building A was reduced.
- A small plaza has been added adjacent to the east elevation of Building A.
- A pedestrian walkway has been added along north elevation of Building A to provide access to all anticipated tenant spaces.
- The area of Building B has been reduced from 8,000 square feet to approximately 6,000 square feet by reducing the length of the building.
- The loading and refuse area for Building B was move north with the building reduction and parking added south of the loading and refuse area.
- A pedestrian walkway has been added along the south façade of Building B to provide access to the Meridian Park Boulevard right-of-way.
- The refuse area proposed with the southernmost bank of existing compact parking stalls (adjacent to the main drive aisle from Meridian) has been removed and the trash enclosure proposed for Building A enlarged.
- Pedestrian Plaza
 - Landscaping has been increased along the west and north edges adjacent to the intersection.
 - A large triangular trellis has been added in the northeast corner of the plaza to provide shading of Building A's outdoor seating area.
 - Landscaping has been added along a portion of Building B's north façade adjacent to the plaza

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- Architectural changes include, but are not limited to:
 - Increased building corner accentuation
 - Increased articulation through stepped parapets and wall projections

The updated design reflects the change in tenant and overall program while responding to the thoughts of the Design Review Board. The changes at the pedestrian plaza will provide a sense of enclosure and create shade while maintaining a welcoming atmosphere to pedestrians; resulting in a great statement for this key corner. Updated architectural elements and colors are compatible with Heritage Square, but continue to maintain an upmarket and contemporary design.

This letter accompanies revised drawings (site plan, elevations and landscape) as well as lighting cut sheets to illustrate the changes discussed within this document. We trust that this submittal will be to your satisfaction and look forward to your informed response in the near future.

Sincerely,



Jennifer L. Rinkus, Planner
Baysinger Partners Architecture

Comments from the March 13, 2014 Design Review Board Meeting

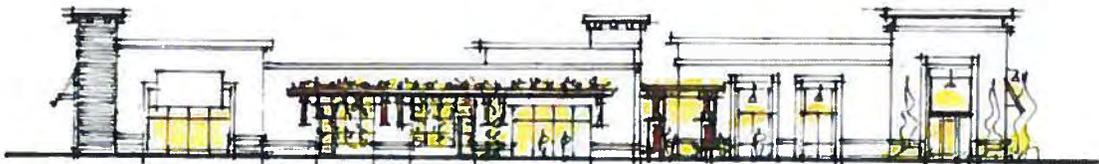
Comment #1:

Four-sided design is required especially on the tower elements given the visibility of the buildings at this location.

Response: The tower elements and detailing previously provided, painted structural veneer block material, warm earth tone colors, and stucco finishes, have been carried around each tower to all four elevation.

Comment #2:

Balance the aesthetics with the "back of house" operations on the north wall of the Concord Avenue Building.



Previous Proposed North Elevation facing Concord

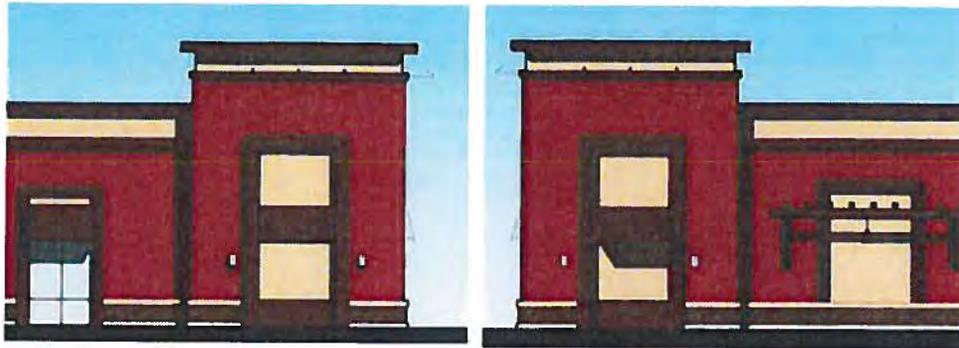


NORTH ELEVATION
Current North Elevation facing Concord

Response: The tower element on the eastern end of the building has been wrapped to the northern façade to add emphasis and drama to this key portion of the building. The parapet along the intermediate wall of the north elevation has been stepped for further articulation and the wall below projects from the main building wall for added relief. The raised parapet of the west elevation has been wrapped around the corner to the north elevation and the trellis along the north façade extended to nearly the full length of the north façade. The modifications made provide ample articulation and shadowing which reduce the amount of blank façade at the utilitarian "back of house" area.

Comments #3:

Carry the tower mass east on the north end of the Meridian Park Blvd. building.



Proposed Building B North Elevation

Proposed Building B West Elevation

Response: The bulk of the corner tower element on the north end of the Meridian Park Building has been increased in both directions.

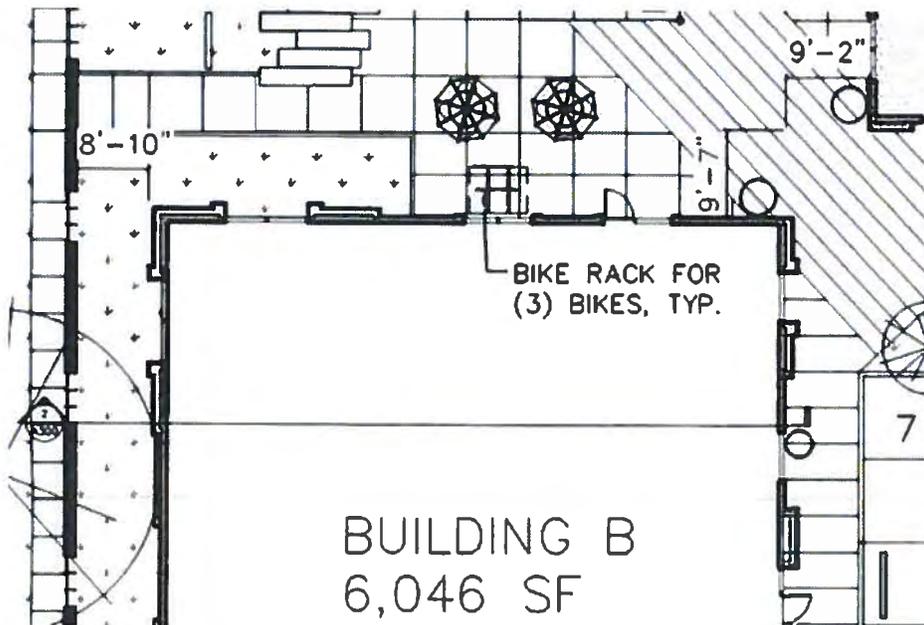
Comment #4:

Consider installing a pergola on the north elevation of the Meridian Park Blvd. building that follows the curve of the patio and connects the two building to mitigate the amount of paving at this location.

Response: The plaza area is not curved. Paving at this area has been reduced with the addition of landscaping adjacent to the southern portion of the Meridian Park building's west façade. The remaining paving adjacent to this elevation is required for pedestrian access to the man door of the west elevation as well as the required bicycle parking stalls located south of the door.

Comment #5:

Consider using the alcoves as seating areas on the north end of the Meridian Park Blvd. building.



Plan View of Meridian Park North Elevation

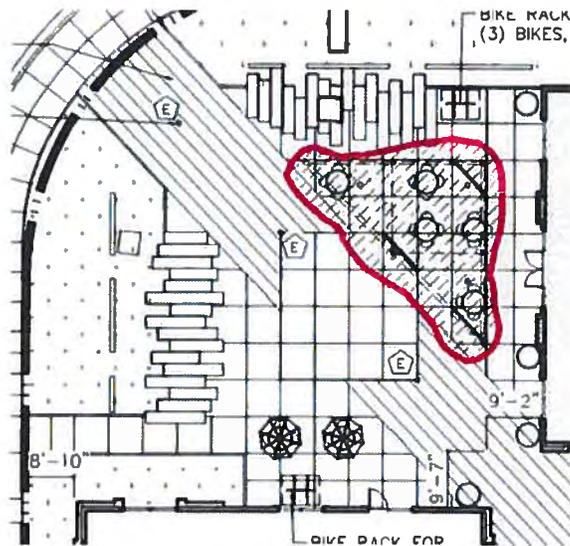
Response: The north elevation of the Meridian Park building has minimal alcoves. The southern half of the elevation is enhanced with landscaping plantings directly adjacent to the façade. North of the landscaping required bicycle parking stalls are planned beside the customer entry also on that façade.

Comment #6:

The trellis(es) should project enough to provide ample shade for the patio.



Elevation of wall trellis

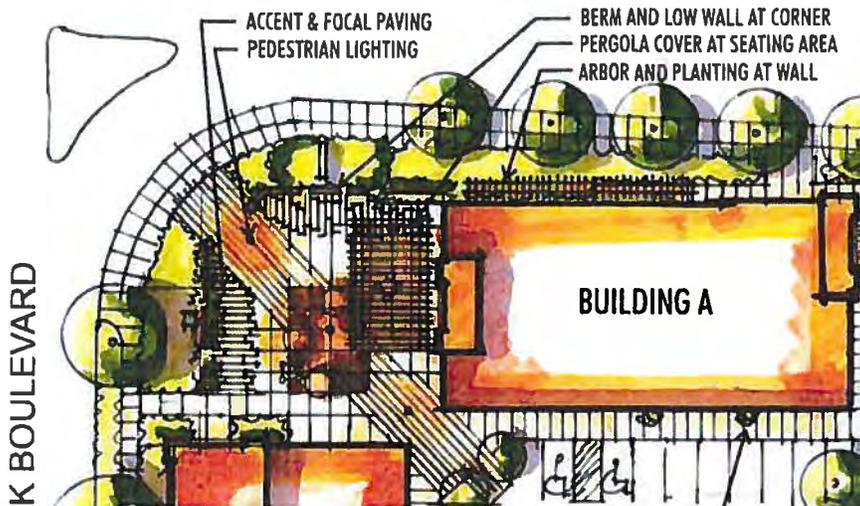


Plan View of Plaza Pergola

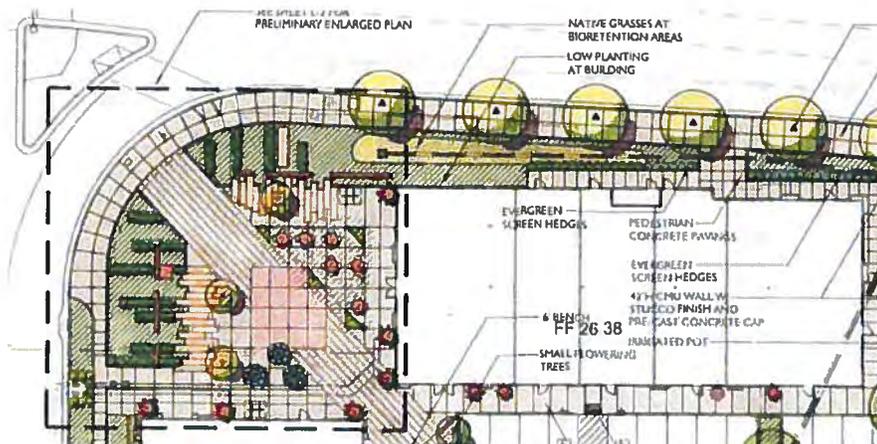
Response: Trellises along the various facades range in depth between four and six feet and will provide ample shading along the walkways. The large relocated and redesigned pergola within the plaza will provide ample shade.

Comment #7:

Consider creating an arch/gateway element at the northwest intersection of the site to create a sense of entry.



Prior Design Presented March 13, 2014



Prior Design Presented March 13, 2014

Response: Landscaping around the west and north perimeters of the plaza has been increased toward the intersection and within the plaza (interior to the plaza walls). The previously proposed rectangle pergola along Building A's west façade has been changed to a triangle with free-form shape top members. The pergola has been pulled toward the center of the plaza to accentuate the main pedestrian pathway, increase shading and the sense of enclosure.

Comment #8:

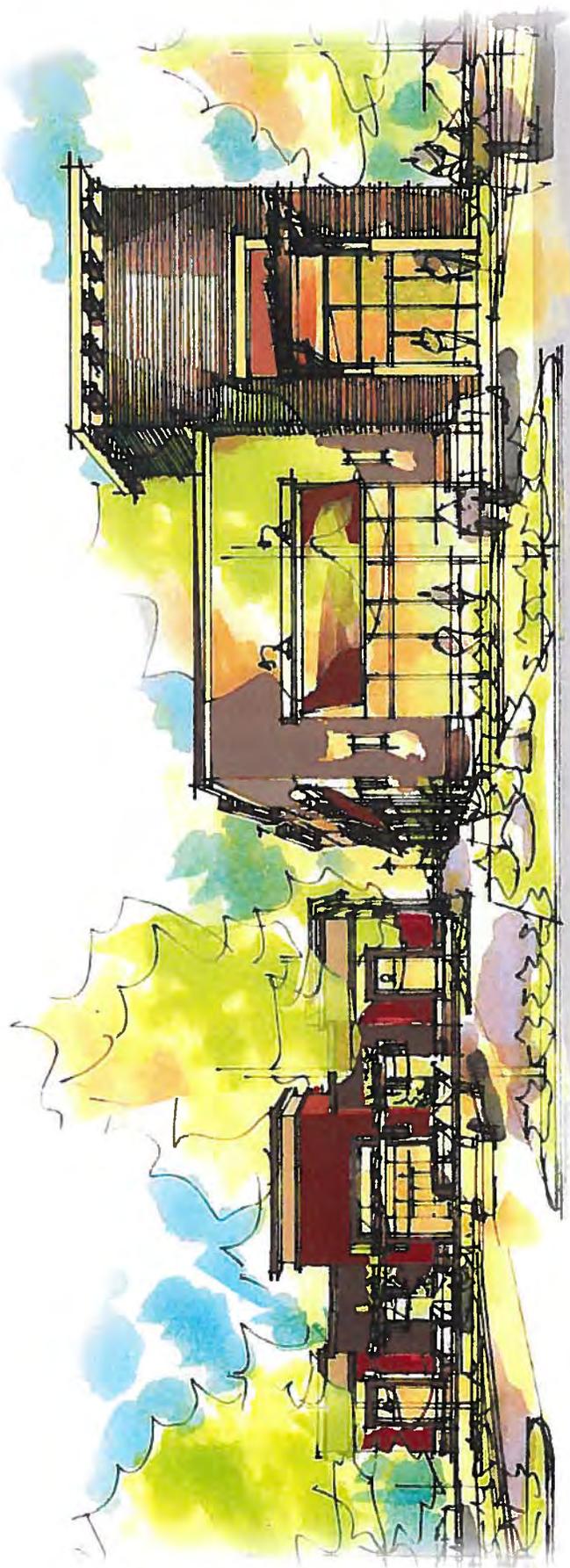
Bring back details of the accent lighting, timber sizes on pergola, façade sections, plant list, materials and colors.

Response: The submitted packets include lighting cut sheets and a section of the proposed trellis/pergola with sizes called out. Sheet A301 includes building sections. Included sheets L-1 and L-3 provide a plant list and details. Sheets A201 and A202 includes material and color callouts which are visually represented on the included renderings.

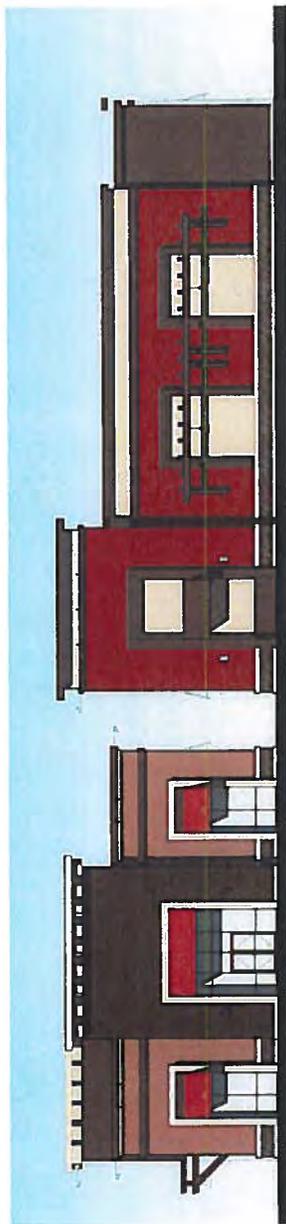


NORTHWEST VIEW

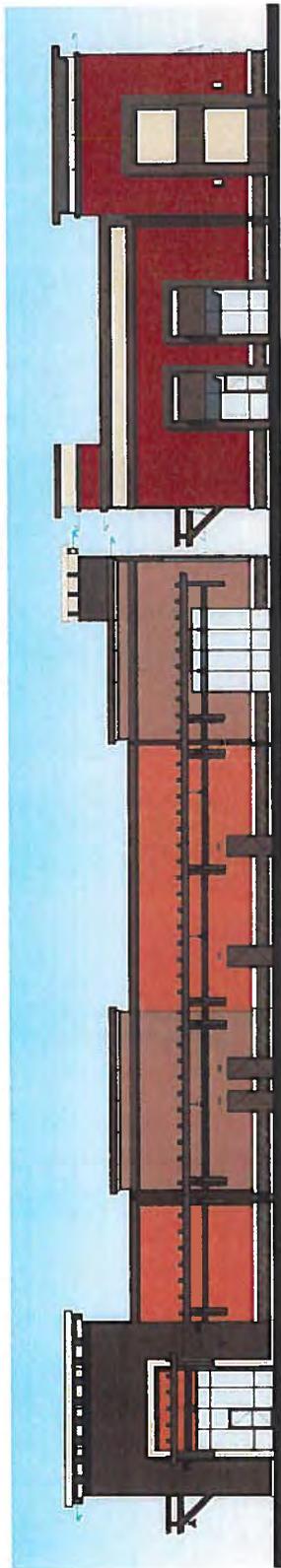
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PLANNING



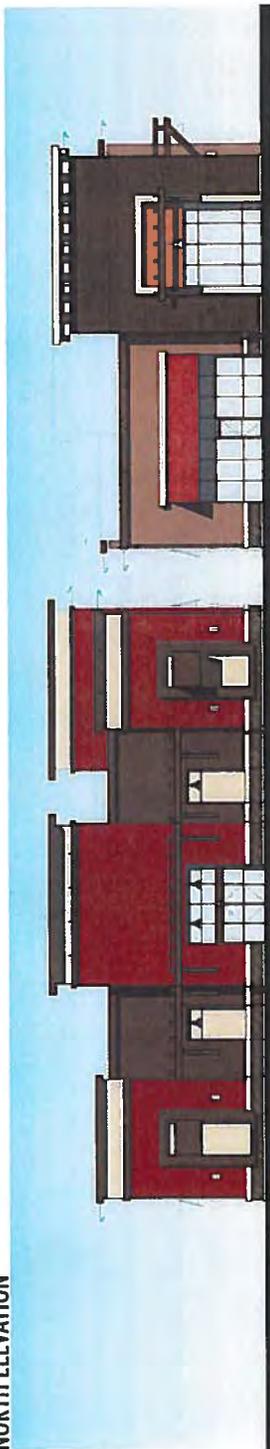
NORTHEAST VIEW



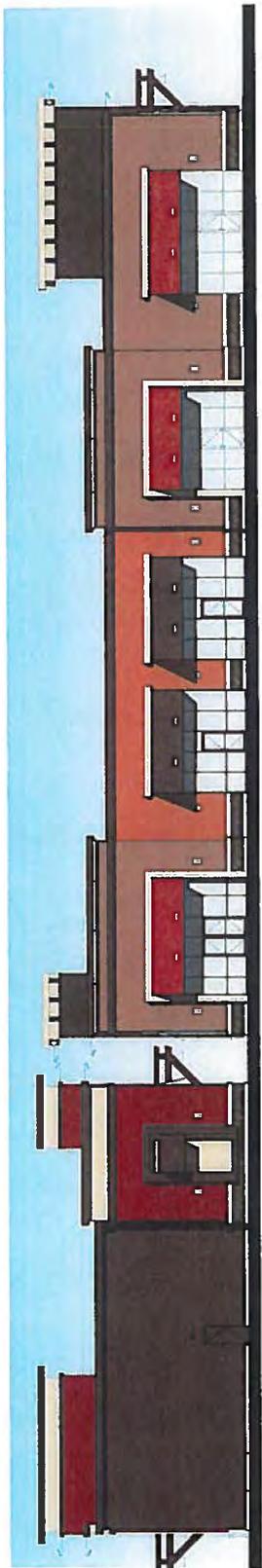
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



PLAZA - TRELLIS DETAIL SECTION



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 Email: info@baysingerpartners.com

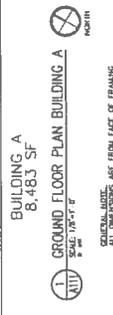
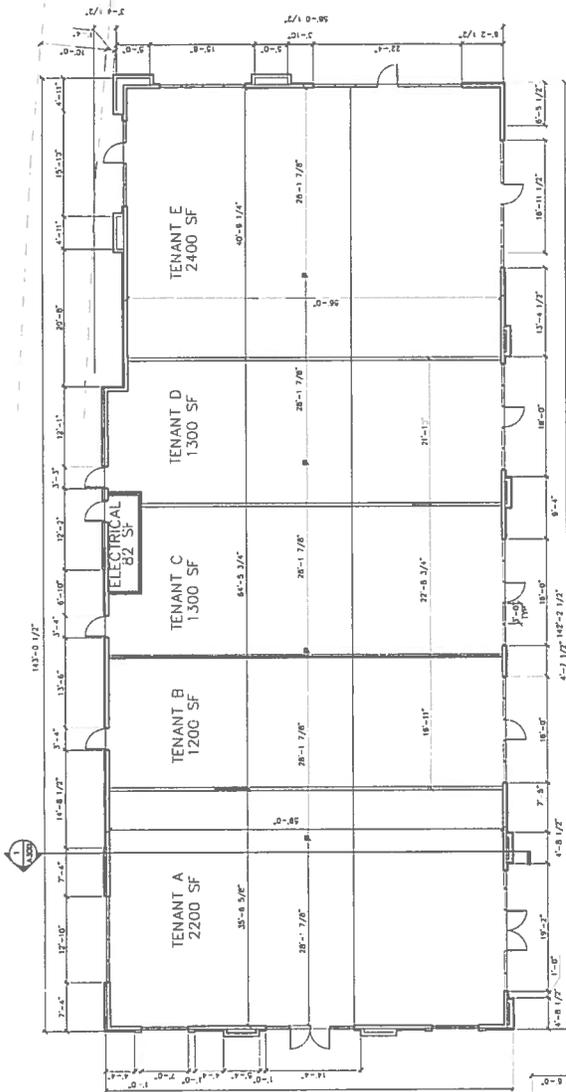
LRG INVESTORS, LLC
 CONCORD AVENUE RETAIL
 1100 Concord Ave.
 Concord, CA 94520
 Phone: 650 672 3000 Fax: 650 672 3402

FOR REVIEW
 ONLY

ISSUED / REVISIONS
 DATE

ORIGINAL DESIGN DATE: 04/14/11
 DRAWING NO. OR: 0100-01-01
 FLOOR PLAN

A112
 DESIGN REVIEW





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 Email: @baysingerpartners.com

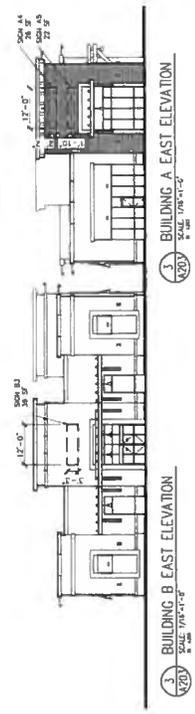
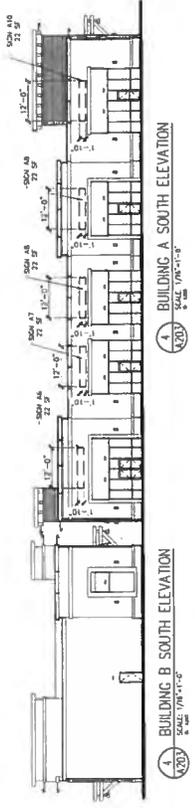
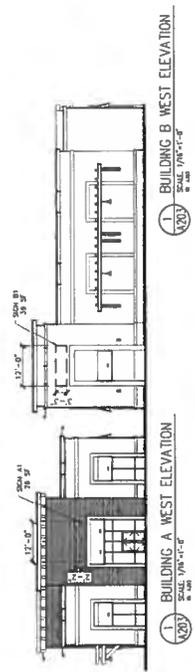
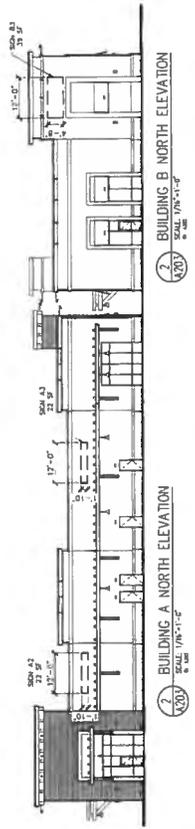
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CONCORD AVENUE RETAIL
 LH13078



ISSUED / REVISED DATE

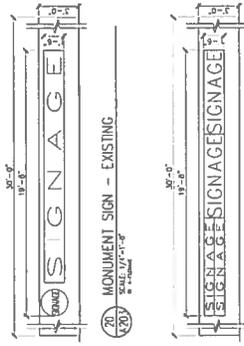
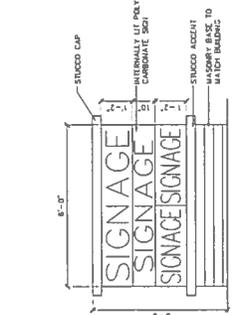
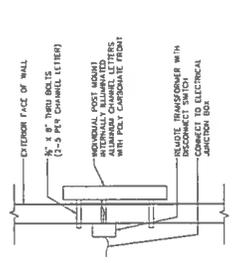
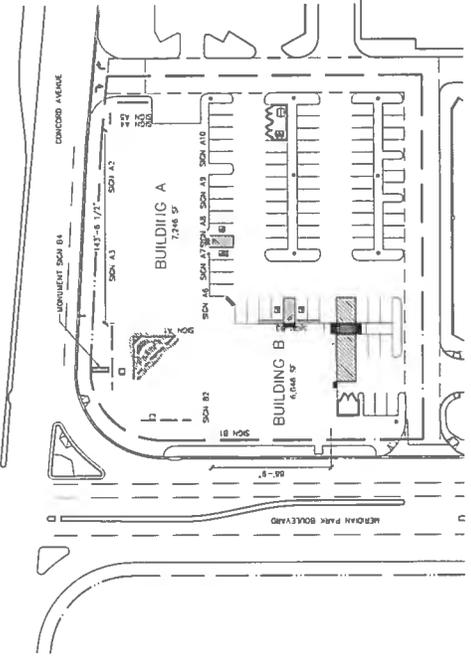
BUILDING SIGNAGE ELEVATIONS
 A203
 DESIGN REVIEW



SIGNAGE CALCULATIONS

ALLOWABLE SIGNAGE: 15% OF TOTAL FLOOR AREA
 15% OF 7248 SF = 1087 SF
 15% OF 6048 SF = 907 SF
 15% OF 7248 SF = 1087 SF

MONUMENT SIGNAGE	144.0 SF
CHANNEL LETTER SIGNAGE	144.0 SF
STUCCO ACCENT SIGNAGE	144.0 SF
TOTAL SIGNAGE	432.0 SF





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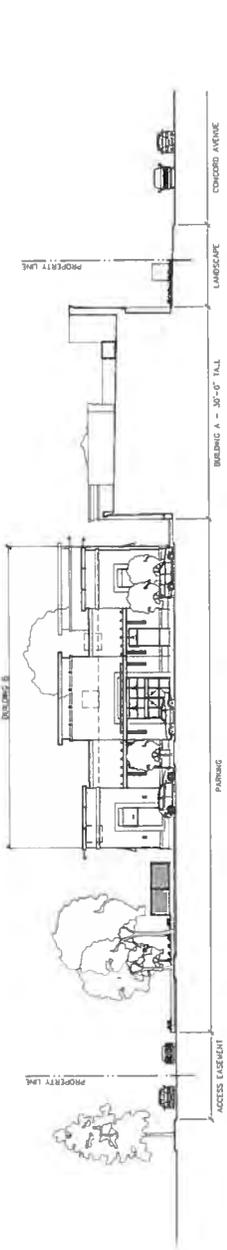
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ISSUED / REVISED DATE

ORIGINAL DATE: 04/2011
 DRAWN BY: SUE OROSCOTT, AIA

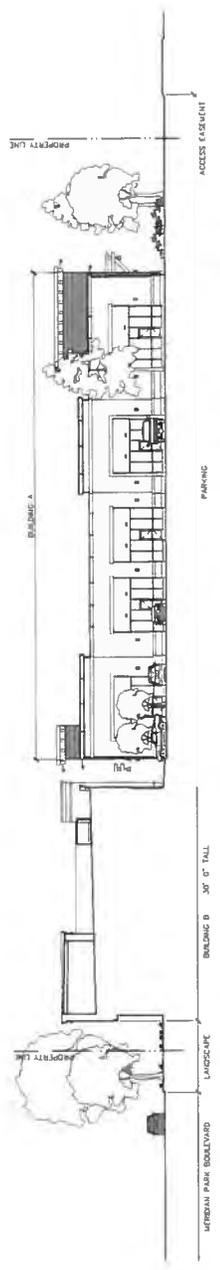
A300
 DESIGN REVIEW



1 SITE SECTION
 SCALE: 1/8" = 1'-0"



11 SITE GRADE COMPARISON
 SCALE: 1/8" = 1'-0"



2 SITE SECTION
 SCALE: 1/8" = 1'-0"



211 SITE GRADE COMPARISON
 SCALE: 1/8" = 1'-0"



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 CONCORD AVENUE RETAIL
 LHI307B

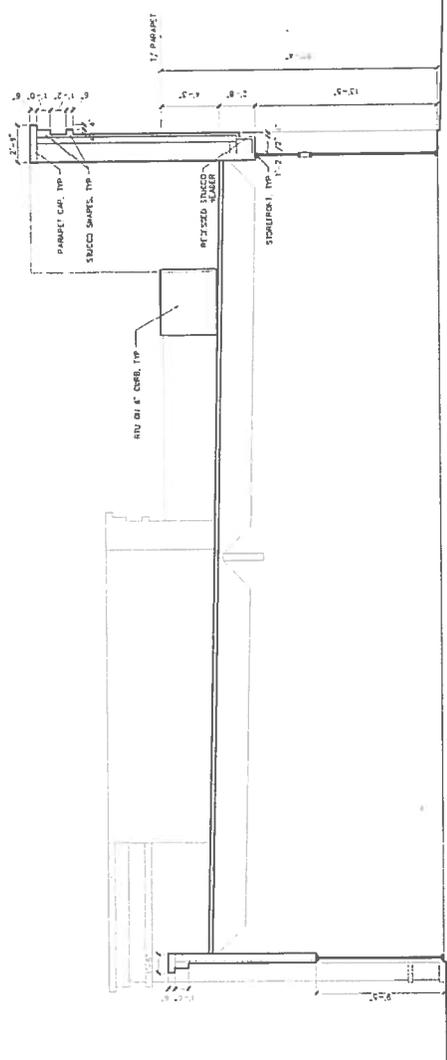
1100 Grand Ave.
 Concord, CA 94520
 Phone: 503 546 1600 Fax: 503 546 1601
 1006 SE Grand Ave., Suite 300, Portland, OR 97214
 Phone: 503 546 1600 Fax: 503 546 1601

FOR REVIEW ONLY

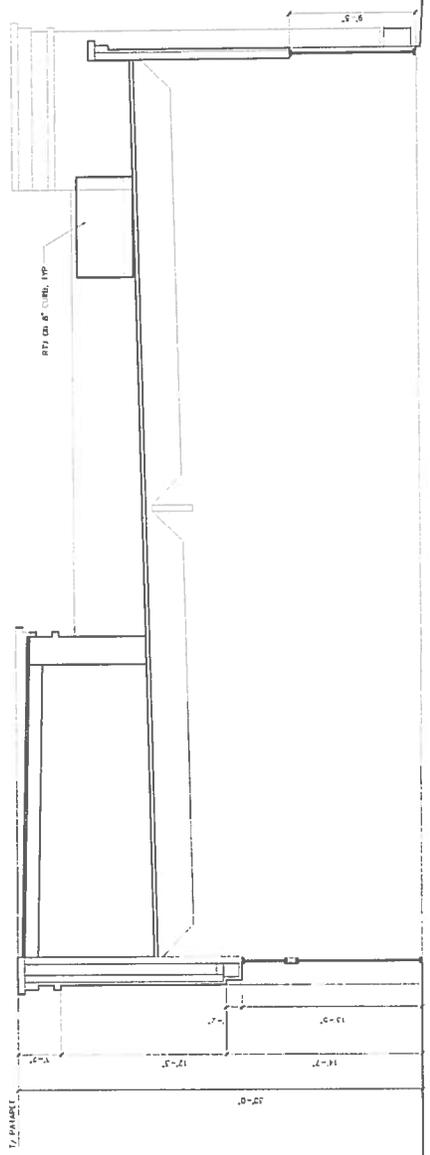
ISSUED / REVISED DATE

SECTIONS

A301
 DESIGN REVIEW



SECTION BUILDING A
 SCALE 1/4" = 1'-0"



SECTION BUILDING B
 SCALE 1/4" = 1'-0"

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Concord, CA 94520
Phone: 658.692.3400 Fax: 658.692.3402

LRG INVESTORS, LLC
CONCORD AVENUE RETAIL

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1004 55 Street Ave, Suite 200, Fremont, CA 94538
Phone: 505.545.1600 Fax: 505.545.1601
Email: info@baysingerpartners.com

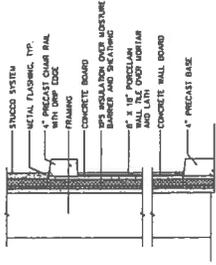
FOR REVIEW
ONLY

ISSUED / PERIOD DATE

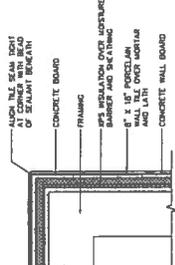
ORIGINAL ISSUE DATE: 06/04/11
CURRENT SET CHECKED BY: MLL

SECTIONS

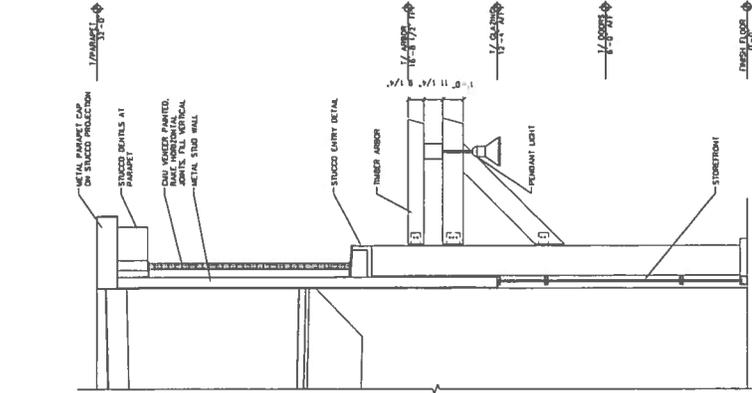
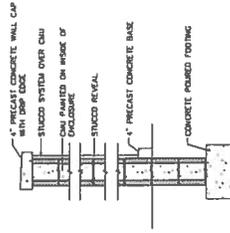
A501
DESIGN REVIEW



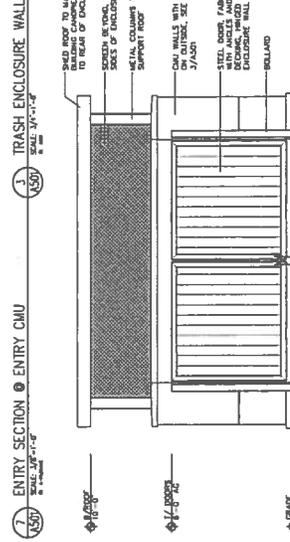
1 TILE WANSKOT - SECTION VIEW
SCALE: 1/4" = 1'-0"



2 TILE WANSKOT CORNER - PLAN VIEW
SCALE: 1/4" = 1'-0"



7 ENTRY SECTION - ENTRY CMU
SCALE: 1/4" = 1'-0"



8 TRASH ENCLOSURE
SCALE: 1/4" = 1'-0"

3 TRASH ENCLOSURE WALL
SCALE: 1/4" = 1'-0"

CONCORD AVENUE

MERIDIAN PARK BLVD.

TREE INVENTORY SPREADSHEET (LOCKEHOUSE):

TREE NO	COMMON NAME	BOTANICAL NAME	TRUNK DIAMETER (IN)	HEIGHT (FT)	CANOPY SPREAD (FT)	OVERALL CONDITION	HERITAGE TREE
1	ITALIAN STONE PINE	PHAEDESMA	18			POOR	
2	ITALIAN STONE PINE	PHAEDESMA	18			POOR	
3	ITALIAN STONE PINE	PHAEDESMA	18			POOR	
4	HONEY LOCUST	GLADIA TRIMACANTHOS	8			POOR	
5	HONEY LOCUST	GLADIA TRIMACANTHOS	8			POOR	
6	ITALIAN STONE PINE	PHAEDESMA	18			POOR	
7	HONEY LOCUST	GLADIA TRIMACANTHOS	8			POOR	
8	HONEY LOCUST	GLADIA TRIMACANTHOS	8			POOR	
9	HONEY LOCUST	GLADIA TRIMACANTHOS	8			POOR	
10	FAN PALM	WASHINGTONIA PALMERA	18			POOR	
11	ITALIAN STONE PINE	PHAEDESMA	18			POOR	
12	TULIP TREE	LIRIODENDRON TULIPIFERA	24			GOOD	
13	COTTONWOOD	POPULUS TREMULANS	18			POOR	
14	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			POOR	
15	FAN PALM	WASHINGTONIA PALMERA	18			POOR	
16	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			POOR	
17	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			POOR	
18	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			POOR	
19	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			POOR	
20	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			POOR	
21	CHINESE PRINCE	PRUNELLA CHINENSIS	17			POOR	
22	CHINESE PRINCE	PRUNELLA CHINENSIS	17			POOR	
23	CHINESE PRINCE	PRUNELLA CHINENSIS	17			POOR	
24	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			POOR	
25	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			POOR	
26	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			POOR	
27	CHINESE PRINCE	PRUNELLA CHINENSIS	17			POOR	
28	FAN PALM	WASHINGTONIA PALMERA	18			POOR	
29	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			POOR	
30	FAN PALM	WASHINGTONIA PALMERA	18			POOR	
31	FAN PALM	WASHINGTONIA PALMERA	18			POOR	
32	FAN PALM	WASHINGTONIA PALMERA	18			POOR	

TREE NO	COMMON NAME	BOTANICAL NAME	TRUNK DIAMETER (IN)	HEIGHT (FT)	CANOPY SPREAD (FT)	OVERALL CONDITION	HERITAGE TREE
1	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
2	TULIP TREE	LIRIODENDRON TULIPIFERA	24			GOOD	
3	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
4	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
5	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
6	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
7	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
8	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
9	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
10	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
11	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
12	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
13	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
14	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
15	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
16	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
17	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
18	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
19	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
20	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
21	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
22	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
23	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
24	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
25	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
26	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
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30	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
31	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	
32	PEPPER WINE LEAF	EUCALYPTUS INDONATA	18			GOOD	

TREE TO BE PRESERVED

LEGEND:

- ✦ EXISTING TREE TO BE REMOVED
- ⊗ PROTECTED STATUS TREE TO BE REMOVED
- ⊙ PROTECTED STATUS TREE TO BE REMAIN
- TREE PROTECTIVE FENCING

NOTE:
 1. INFORMATION PROVIDED ON THIS PLAN IS BASED ON THE FEBRUARY 4, 2014 AND
 2. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT AND
 3. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT AND
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NOT FOR CONSTRUCTION

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 1100 Concord Ave. Concord, CA 94520
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GATES ASSOCIATES

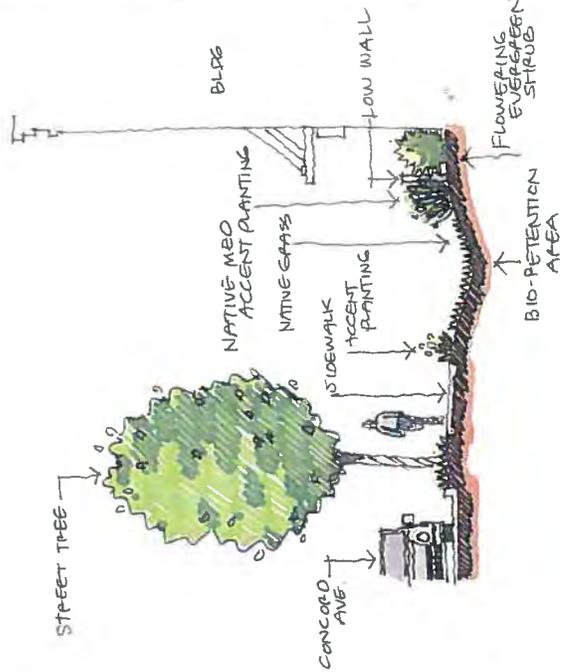
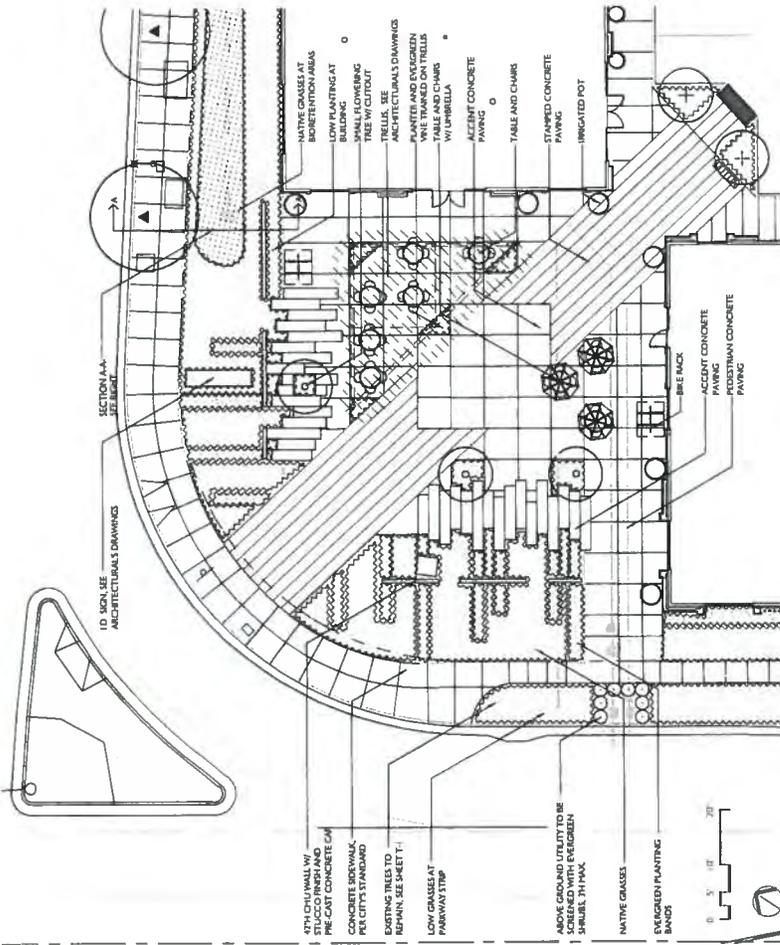
ISSUED / REVISED DATE

ORIGINAL ISSUE DATE: 04/20/14
 DRAWN BY: JACOB BY
 PRELIMINARY TREE INVENTORY PLAN

T-1



ISSUED / REVISED DATE



2 SECTION A-A



NOT FOR CONSTRUCTION

TREES



ARBUTUS MENZIESII



BETULA U. JACQUEMONTII



CERCIS CANADENSIS



LAGERSTROEMIA L. TUSCADORIA



PLATANUS A. COLUMBIA



PYRUS C. ARISTOCRAT



PRUNUS C. CHANTICLEER

SHRUBS/ GROUNDCOVER/ VINES



ANIGOZANTHOS BUSH RANGER



DIETES VEGETA



HEMEROCALLIS



HEUCHERA M. PALACE PURPLE



LANTANA M. SPREADING SUNSHINE



LAVATERA T. ROSEUS



PHORMIUM T. MAORI MAIDEN



PHORMIUM T. TOM THUMB



RHAMNUS C. EVE CASE



RHABDHOLES INDICA JACK EVANS



ROSA M. CORAL



ROSA M. PINK



WESTRINGIA FRUTICOSA



CAREX TUNICOLA



CALAMAGROSTIS X A. KARL FOERSTER



EQUISETUM SCIRPOIDES



ERIGERON KARWINSKIANUS



FESTUCA G. SISKIYOU BLUE



GERANIUM S. RUSSELL PRITCHARDII



JUNCUS PATENS



LAMPRANTHUS DELTOIDES



LEYMUS ARENARIUS



PELARGONIUM FELTATUM



CLYTOSTOMA CALLISTEGOIDES



DISTICTIS BUCCINATORIA

LRG INVESTORS, LLC
CONCORD AVENUE RETAIL
1100 Concord Ave
Concord, CA 94520
Phone: 650.692.3400 Fax: 650.692.3407

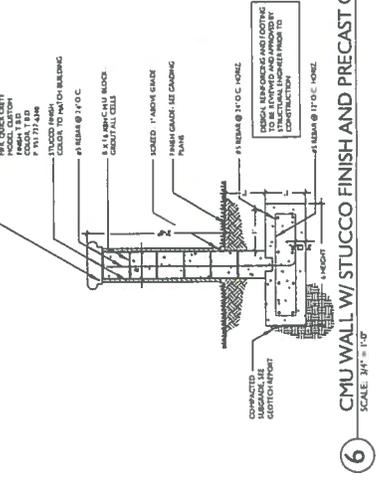
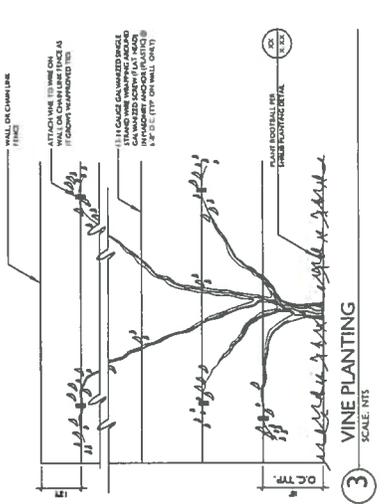
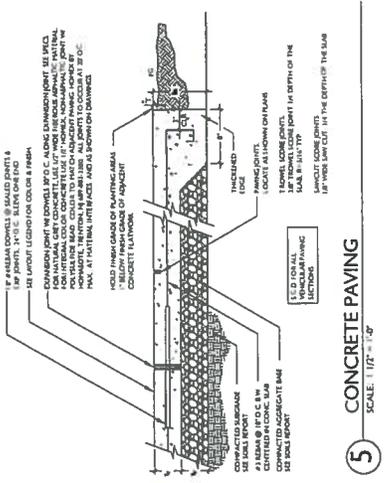
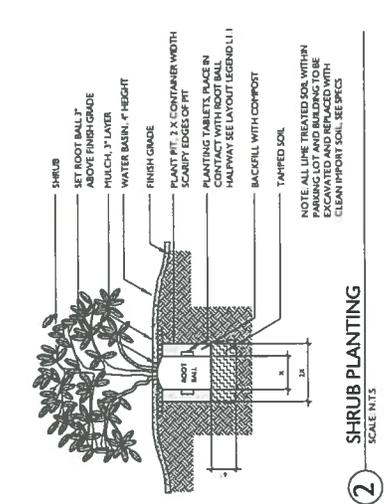
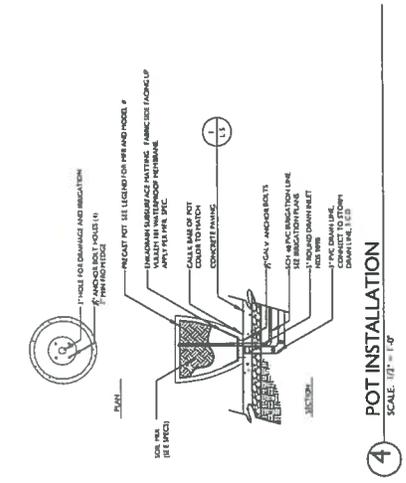
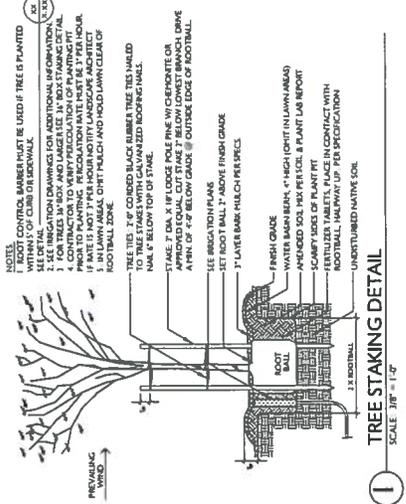
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ISSUED / REVISED DATE

DESIGNED BY: GATES ASSOCIATES
DRAWN BY: GATES ASSOCIATES
PLANT PALLETTE IMAGES

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lumière

EXHIBIT C



LED

**Next Generation
MR16 LED Module**

COOPER Lighting

MR16 LED MODULE

Lumière's next generation LED module is dimmable, comes in four different color temperatures, with three beam spreads and two power settings. In combination, there are now 24 different options to choose from. The next generation LED module offers significantly more output, less power and much higher efficacies. The driver is integrated into the module, all-in-one, so there is no need for separate driver enclosures. This results in the smallest possible fixture.



POWER	COLOR TEMPERATURE	BEAM SPREAD
6 WATTS	2700K	12°
10 WATTS	3000K	21°
	4000K	41°
	5700K	

HALOGEN MR16 VS. LED MR16

80% less power vs. 50 watt MR16.

Up to 10 times the life.



	Watts	Beam	CP	Beam Lumens	Total Lumens	Color Temp	Life
MR16	75	15	9720	341	1024	3050K	4000 hrs
MR16	50	15	7560	243	652	3050K	6000 hrs
MR16	35	12	6750	127	447	3000K	5000 hrs
LED	10	12	5500	105	305	3000K	50000 hrs
MR16	20	12	2835	53	188	2900K	5000 hrs
MR16	75	40	1800	558	1038	3050K	4000 hrs
LED	10	21	1500	114	233	3000K	50000 hrs
MR16	50	40	1350	379	723	3050K	6000 hrs
LED	10	41	1000	98	225	3000K	50000 hrs
MR16	35	40	810	213	424	3000K	5000 hrs
MR16	20	40	428	121	231	2900K	5000 hrs



DIMMING

Lumière's next generation LED module is dimmable and has been tested and validated with several transformer-dimmer combinations. Both electronic and magnetic transformers have been tested with a variety of different dimming systems. For further details, refer to the Transformer and Dimmer Compatibility List document posted on Lumière's website, www.lumiereighting.com.

COMPATIBLE FIXTURES

203	213	230	301
904	904-UD	904-SQ	904-SQ-UD
920	922	903	903-2
206	206-2	2003	204
501	504	510	1407
1409	696	650	

Lumière's next generation LED module is compatible with a variety of fixtures and applications including accent, flood, pathway, inground, wall, sign, bollards and underwater. Fixtures are available as either low voltage (12V) or line voltage with integral transformers (120V, 230V, 240V, 277V). The high and low mode power settings (6 & 10 watts) enable designers to fine-tune

illumination levels in the field. To change the power setting, the module needs to be removed from the fixture. A switch is located on the side of the module that allows the user to change between high and low power settings. The next generation LED module is also compatible with both magnetic and electronic transformers.

Lumière

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Cooper Lighting

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Peachtree City, GA 30269

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F: 770-486-4801

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International Sales, USA

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The Cooper Lighting Family

Halo
Metalux
Lumark
Sure-Lites
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Portfolio
Iris
Shaper
io
Lumière
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McGraw-Edison
Streetworks
Fail-Safe
MWS
DLS
RSA
Ametrix

Domestic Facilities

Cranbury, New Jersey
Elk Grove Village, Illinois
Irving, Texas
Ontario, California
Peachtree City, Georgia

Canadian Facilities

Calgary, Alberta T2E 7V9

Cooper Lighting and Lumière logos are valuable trademarks of Cooper Industries in the United States and other countries. You are not permitted to use the Cooper Trademarks without the prior written consent of Cooper Industries.

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P: 713-209-8400
www.cooperindustries.com

DESCRIPTION

Cambria 922 is a small dimmable LED or MR16 low voltage sign lighting luminaire. It attaches to a wall mounted straight arm and delivers full vertical adjustment for easy aiming. Optional 24", 30" or 36" straight arms are available in lieu of the standard 14-3/8" arm. Various lenses, louvers, and color or dichroic filters can be combined - up to three at once - to create multiple lighting effects. Lumiere's exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

A ... Material

Housing, hood, straight arm and wall mounting plate are precision-machined from corrosion-resistant billet stock 6061-T6 aluminum, C360 brass, C932 bronze, C110 copper or 303/304 stainless steel.

B ... Finish

Fixtures constructed from 6061-T6 aluminum are double protected by a chemical film undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available.

D ... Hood

Hood is removable for easy relamping and accepts up to three internal accessories at once (lenses, louvers, filters) to achieve multiple lighting effects. Weep holes prevent water and mineral stains from collecting on the lens, even in the straight-up position.

E ... Gasket

Housing and hood are sealed with a high temperature silicone o-ring gasket to prevent water intrusion.

F ... Lens

Tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock.

G ... Adjustable Mounting Arm

Standard 14-3/8" straight arm with adjustable side swivel provides 340° of vertical adjustment for easy aiming. Center rear swivel also available and has 33-1/67" straight arm as standard, providing 195° of vertical adjustment. Optional 24", 30" or 36" straight arms are available in lieu of standard length arms (specify option -SA24, -SA30 or -SA36). Stainless steel aim-locking mechanisms are standard. 4-1/4" diameter wall mounting plate attaches directly to standard J-box with provided screws. Lumiere's exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.

H ... Hardware

Stainless steel hardware is standard to provide maximum corrosion-resistance.

I ... Socket

Ceramic socket with 250° C Teflon® coated lead wires and GU5.3 bi-pin base.

J ... Electrical

Remote 12V transformer required (not included). Transformers used in conjunction with LED's must be magnetic only, not electronic. Available from Lumiere as an accessory - see the Accessories & Technical Data section of the catalog for details.

K ... Lamp

Halogen lamp not included. Available from Lumiere as an accessory - see reverse side for details and catalog logic. LED modules are included and are available in three color temperatures (warm, neutral and cool) and three distributions (spot, narrow and flood). Both color temperature and distribution must be specified when ordering - see reverse side for details and catalog logic. Due to the onboard thermal feedback control circuitry, LED modules are non-dimmable.

L ... Labels & Approvals

UL and cUL listed, standard wet label. IP65 rated. Manufactured to ISO 9001-2000 Quality Systems Standard. IBEW union made.

M ... Warranty

Lumiere warrants its fixtures against defects in materials & workmanship for three (3) years. Auxiliary equipment such as transformers, ballasts and lamps carry the original manufacturer's warranty.



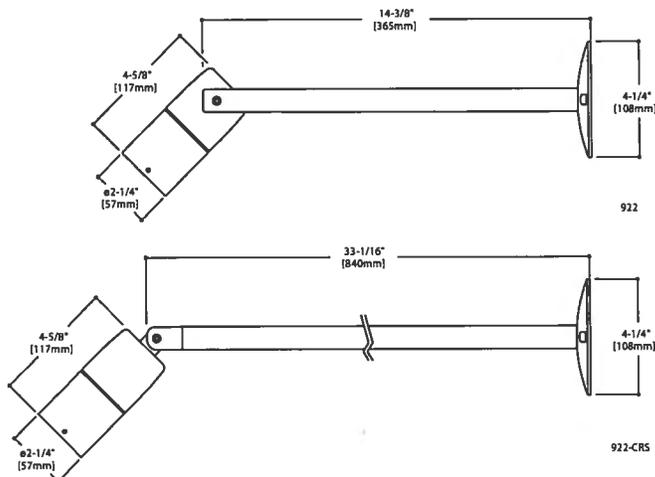
CAMBRIA

922

10W LED
6W LED
50W (max.) MR16

LED
Halogen
Low Voltage

Sign Light



LAMP INFORMATION

Lamp	Watts	Beam Spread	CBCP	°K	Life (hrs.)	Base	Volts
6LED2712	6	12°	3358	2700	50000	GU5.3 bi-pin	12
6LED2721	6	21°	937	2700	50000	GU5.3 bi-pin	12
6LED2741	6	41°	472	2700	50000	GU5.3 bi-pin	12
6LED3012	6	12°	3694	3000	50000	GU5.3 bi-pin	12
6LED3021	6	21°	1019	3000	50000	GU5.3 bi-pin	12
6LED3041	6	41°	646	3000	50000	GU5.3 bi-pin	12
6LED4012	6	12°	4280	4000	50000	GU5.3 bi-pin	12
6LED4021	6	21°	1179	4000	50000	GU5.3 bi-pin	12
6LED4041	6	41°	754	4000	50000	GU5.3 bi-pin	12
6LED5712	6	12°	4496	5700	50000	GU5.3 bi-pin	12
6LED5721	6	21°	1275	5700	50000	GU5.3 bi-pin	12
6LED5741	6	41°	792	5700	50000	GU5.3 bi-pin	12
10LED2712	10	12°	5037	2700	50000	GU5.3 bi-pin	12
10LED2721	10	21°	1406	2700	50000	GU5.3 bi-pin	12
10LED2741	10	41°	708	2700	50000	GU5.3 bi-pin	12
10LED3012	10	12°	5513	3000	50000	GU5.3 bi-pin	12
10LED3021	10	21°	1521	3000	50000	GU5.3 bi-pin	12
10LED3041	10	41°	964	3000	50000	GU5.3 bi-pin	12
10LED4012	10	12°	6389	4000	50000	GU5.3 bi-pin	12
10LED4021	10	21°	1759	4000	50000	GU5.3 bi-pin	12
10LED4041	10	41°	1125	4000	50000	GU5.3 bi-pin	12
10LED5712	10	12°	6711	5700	50000	GU5.3 bi-pin	12
10LED5721	10	21°	1903	5700	50000	GU5.3 bi-pin	12
10LED5741	10	41°	1182	5700	50000	GU5.3 bi-pin	12
50MR16/NSP	50	12°	11,000	3050	4000	GU5.3 bi-pin	12
50MR16/NSL	50	25°	3200	3050	4000	GU5.3 bi-pin	12
50MR16/FL	50	40°	2000	3050	4000	GU5.3 bi-pin	12
50MR16/WFL	50	60°	1200	3050	4000	GU5.3 bi-pin	12

PHOTOMETRIC DATA

Cambria 922
Lamp=50MR16/NSP
(EXT)
CBCP=11,000

Cone of Light		
Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	45	4'0"
10'0"	102	3'0"
8'0"	159	2'0"
6'0"	283	1'6"
4'0"	638	1'0"
2'0"	2550	0'6"

Lamp Wattage Multiplier
20W x 0.32

Cambria 922
Lamp=50MR16/NFL
(EXZ)
CBCP=3200

Cone of Light		
Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	13	10'0"
10'0"	29	6'6"
8'0"	45	5'0"
6'0"	81	4'0"
4'0"	181	2'6"
2'0"	725	1'0"

Cambria 922
Lamp=50MR16/FL
(EXN)
CBCP=2000

Cone of Light		
Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	7	12'0"
10'0"	17	8'0"
8'0"	27	6'6"
6'0"	48	5'0"
4'0"	106	3'0"
2'0"	431	1'6"

Lamp Wattage Multiplier
20W x 0.30
35W x 0.57

Cambria 922
Lamp=50MR16/WFL
(FNV)
CBCP=1200

Cone of Light		
Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	5	17'0"
10'0"	11	11'6"
8'0"	17	9'0"
6'0"	30	7'0"
4'0"	67	4'6"
2'0"	269	2'0"

NOTES AND FORMULAS

- Beam diameter is to 50% of maximum footcandles, rounded to the nearest half-foot.
- Footcandle values are initial. Apply appropriate light loss factors where necessary.
- Bare lamp data shown. Consult lamp manufacturers to obtain detailed specifications for their lamps.

Sample Number: 922-10LED2712-120/12-BK-F70

<p>Series</p> <p>922 = LED or MR16 Cambria Sign Light, Standard 14-3/8" Straight Arm, Side Stem, Single Head</p> <p>922-CRS = LED or MR16 Cambria Sign Light, Standard 33-1/16" Straight Arm, Center Rear Swivel, Single Head</p> <p>Source</p> <p>50MR16 = 50W Max Halogen MR16, GU5.3 Base</p> <p>6LED2712 = 6W 2700K, 12" Spot, GU5.3 Base</p> <p>6LED2721 = 6W 2700K, 21" Narrow, GU5.3 Base</p> <p>6LED2741 = 6W 2700K, 41" Wide, GU5.3 Base</p> <p>6LED3012 = 6W 3000K, 12" Spot, GU5.3 Base</p> <p>6LED3021 = 6W 3000K, 21" Narrow, GU5.3 Base</p> <p>6LED3041 = 6W 3000K, 41" Wide, GU5.3 Base</p> <p>6LED4012 = 6W 4000K, 12" Spot, GU5.3 Base</p> <p>6LED4021 = 6W 4000K, 21" Narrow, GU5.3 Base</p> <p>6LED4041 = 6W 4000K, 41" Wide, GU5.3 Base</p> <p>6LED5712 = 16W 5700K, 12" Spot, GU5.3 Base</p> <p>6LED5721 = 6W 5700K, 21" Narrow, GU5.3 Base</p> <p>6LED5741 = 6W 5700K, 41" Wide, GU5.3 Base</p> <p>10LED2712 = 10W 2700K, 12" Spot, GU5.3 Base</p> <p>10LED2721 = 10W 2700K, 21" Narrow, GU5.3 Base</p> <p>10LED2741 = 10W 2700K, 41" Wide, GU5.3 Base</p> <p>10LED3012 = 10W 3000K, 12" Spot, GU5.3 Base</p> <p>10LED3021 = 10W 3000K, 21" Narrow, GU5.3 Base</p> <p>10LED3041 = 10W 3000K, 41" Wide, GU5.3 Base</p> <p>10LED4012 = 10W 4000K, 12" Spot, GU5.3 Base</p> <p>10LED4021 = 10W 4000K, 21" Narrow, GU5.3 Base</p> <p>10LED4041 = 10W 4000K, 41" Wide, GU5.3 Base</p> <p>10LED5712 = 10W 5700K, 12" Spot, GU5.3 Base</p> <p>10LED5721 = 10W 5700K, 21" Narrow, GU5.3 Base</p> <p>10LED5741 = 10W 5700K, 41" Wide, GU5.3 Base</p>	<p>Voltage</p> <p>12 = 12 Volt Remote Transformer Required</p> <p>Finish</p> <p><u>Painted</u></p> <p>BK = Black</p> <p>BZ = Bronze</p> <p>CS = City Silver</p> <p>VE = Verde</p> <p>WT = White</p>	<p>Accessories</p> <p><u>Filters</u></p> <p>F71 = Peach Dichroic Filter, 2.00" Dia</p> <p>F72 = Amber Dichroic Filter, 2.00" Dia</p> <p>F73 = Green Dichroic Filter, 2.00" Dia</p> <p>F74 = Medium Blue Dichroic Filter, 2.00" Dia</p> <p>F75 = Yellow Dichroic Filter, 2.00" Dia</p> <p>F76 = Red Dichroic Filter, 2.00" Dia</p> <p>F77 = Dark Blue Dichroic Filter, 2.00" Dia</p> <p>F78 = Light Blue Dichroic Filter, 2.00" Dia</p> <p>F79 = Neutral Density Dichroic Filter, 2.00" Dia</p> <p>F80 = Magenta Dichroic Filter, 2.00" Dia</p> <p>F22 = Red Color Filter, 2.00" Dia</p> <p>F33 = Blue Color Filter, 2.00" Dia</p> <p>F44 = Green Color Filter, 2.00" Dia</p> <p>F55 = Yellow Color Filter, 2.00" Dia</p> <p>F66 = Mercury Vapor Color Filter, 2.00" Dia</p> <p><u>Optical Lenses</u></p> <p>LSL = Linear Spread Lens (elongate standard beam spread), 2.00" Dia</p> <p>OSL = Overall Spread Lens (increase beam spread), 2.00" Dia</p> <p>DIF = Diffused Lens (provide even illumination), 2.00" Dia</p> <p><u>Optical Louver</u></p> <p>LVR = Hex Cell Louver (reduce glare), 2.00" Dia</p>	<p><u>Lamps for MR16</u></p> <p>EZX = 20W MR16 GU5.3 Bi-Pin Very Narrow Spot</p> <p>BAB = 20W MR16 GU5.3 Bi-Pin Flood</p> <p>FRA = 35W MR16 GU5.3 Bi-Pin Spot</p> <p>EXT = 50W MR16 GU5.3 Bi-Pin Narrow Spot</p> <p>EXN = 50W MR16 GU5.3 Bi-Pin Flood</p> <p>ESX = 20W MR16 GU5.3 Bi-Pin Narrow Spot</p> <p>FRB = 35W MR16 GU5.3 Bi-Pin Narrow Spot</p> <p>FMW = 35W MR16 GU5.3 Bi-Pin Flood</p> <p>EXZ = 50W MR16 GU5.3 Bi-Pin Narrow Flood</p> <p>FNV = 50W MR16 GU5.3 Bi-Pin Very Wide Flood</p>
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Notes:

- Lamp not included in MR16 version.
- See ACCESSORIES & TECHNICAL DATA section of the Lumière catalog for Mounting Accessories.
- Consult your Cooper Lighting representative for additional options and finishes.

DESCRIPTION

660-WP Floating Shield Wall Sconce features bronze construction with a fully enclosed lamp compartment.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Material

Solid bronze shield with open top, sides and bottom.

Finish

Natural bronze or two component polyurethane paint, 2.5 mil nominal thickness for superior protection against fade and wear.

Standard: Natural Bronze (NBZ) [Sustainable Design].

Note: Bronze will weather to a dark bronze patina.

Premium: Aluminum Paint (ALP), Black Paint (BK), Bronze Metallic Paint (BM), Dark Platinum Paint (DP), Gold Metallic Paint (GM), Graphite Metallic Paint (GRM), Grey Paint (GY), Verdigris (VG), White Paint (WH) or Custom Color (CC).

Optics

Refer to www.shaperlighting.com for complete photometrics.

Ballast

Integral electronic HPF, multi-volt 120/277V (347V Canada), thermally protected with end-of-life circuitry to accommodate the specified lamp wattage.

Lamp/Socket

One (1) 26W (G24q-3) or 32W (GX24q-3) triple CFL lamp or one (1) 60W A-19 lamp.

CFL socket injection molded plastic. INC socket fired ceramic rated for 660W-250V. Lamps furnished by others.

Installation

Supplied with a universal circular strap for a standard 4" J-box or stucco ring.

Labels

U.L. and C.U.L. listed for wet location.

Modifications

Shaper's skilled craftspeople with their depth of experience offer the designer the flexibility to modify standard exterior wall luminaires for project specific solutions. Contact the factory regarding scale options, unique finishes, mounting, additional materials/colors, or decorative detailing.



660-WP SERIES

Exterior Wall Luminaire
Floating Shield



ORDERING INFORMATION

Sample Number: 660-WP-CFL/1/26-277V-BK

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Series

660 = Floating Shield

Mounting Type

WP = Exterior Wall

Lamp

CFL/1/26
CFL/1/32
INC/1/60

Voltage

120V
277V¹
347V¹

Finish^{2,3}

Standard
NBZ = Natural Bronze
Premium
ALP = Aluminum Paint
BK = Black
BM = Bronze Metallic Paint
CC = Custom Color
DP = Dark Platinum Paint
GM = Gold Metallic Paint
GRM = Graphite Metallic Paint
GY = Grey
VG = Verdigris
WH = White

Notes:

¹ Available with CFL only.

² Premium TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear.

³ Bronze will weather to a dark bronze patina.

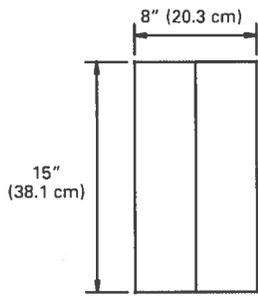
ARRA

Shaper Lighting certifies that its products satisfy the requirements of Section 1605 of the American Recovery and Reinvestment Act (also known as the ARRA Buy American provision).

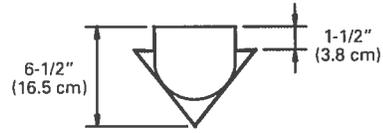
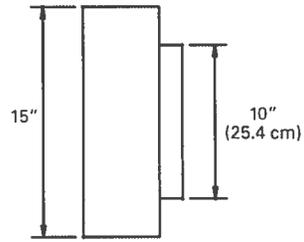
SUSTAINABLE DESIGN

Shaper has a long-standing history of offering environmentally-friendly fixtures. The copper and bronze alloys used in our exterior luminaires feature up to 98% recycled content, contribute less undesirable air emissions compared to painted aluminum and are easy to recycle.

MOUNTING TYPE



660-WP STANDARD



MUNICH SERIES

Small Luminaires



EM17RT ACD

SPECIFICATIONS

DESCRIPTION

The luminaire shall consist of a ballast housing and skirt with internal reflector and horizontal lamp. Lens shall be flat, sag, half sphere or drop globe.

DIMENSIONS

Dimensions shall be as detailed on the back page.

MATERIALS

The ballast housing and skirt shall be cast aluminum. Globe material shall be clear glass, flat or sag, or clear acrylic, half sphere or drop globe. The reflector shall be anodized and segmented for superior uniformity and control. All hardware shall be stainless steel.

INSTALLATION

The luminaire shall have a swivel nipple at top for mounting to the Eurotique™ 4" diameter arms. The globe shall be gasketed and mounted on an aluminum ring which is hinged to the skirt and furnished with a captive screw for easy relamping. The reflector shall pivot and be secured with a captive screw for easy access to the ballast plate. The ballast and socket assembly shall be furnished with a quick disconnect plug and mount on a removable ballast plate.

FINISH

For finish specifications and color options, see "Finish" section in catalog.

LIGHT SOURCE

Luminaires shall be furnished with an H.I.D. ballast and socket assembly. Luminaire shall be UL listed and labeled as suitable for wet locations. Socket shall be glazed porcelain, medium base, with a copper alloy nickel plated screw shell and center contact. Ballast shall be core and coil, high power factor, regulating type.

CERTIFICATION

Upon request, manufacturer shall supply UL file# and listing information.

PHOTOMETRY

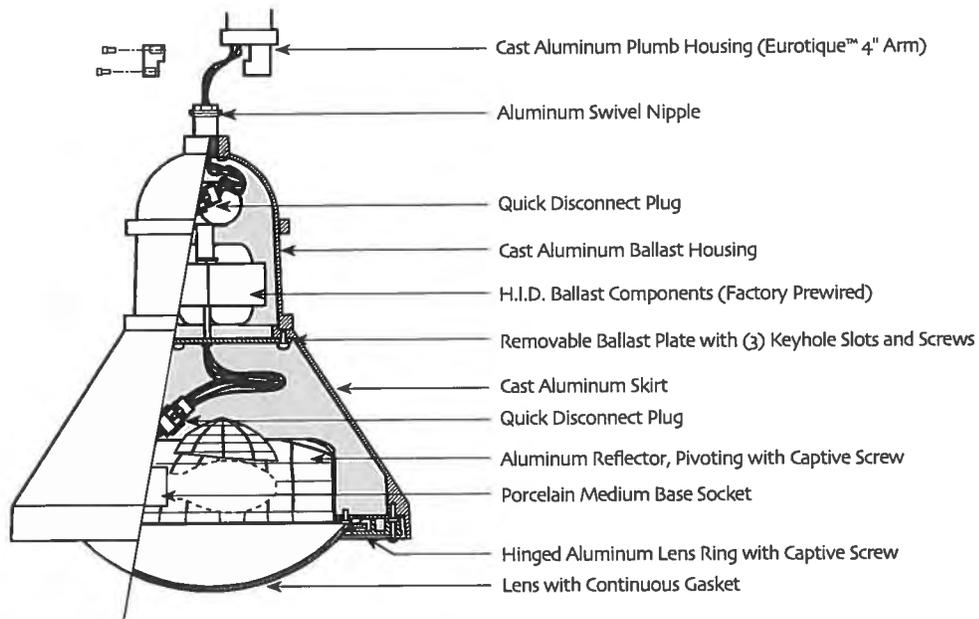
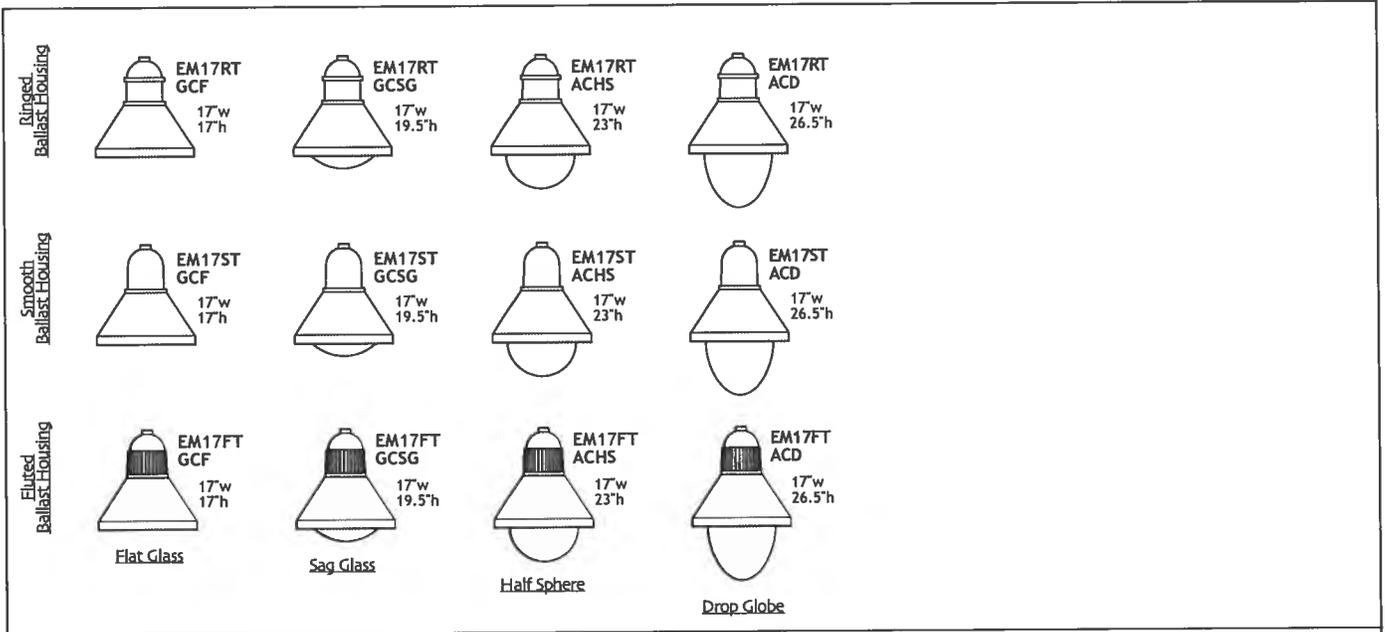
See "Eurotique™ PHOTOMETRICS" tab in catalog.

EUROTIQUE™
Architectural Lighting

ANTIQUE Street Lamps

An *Aaculty* Brands Company

2011-B W. Rundberg Ln. • Austin, TX 78758
Ph (512) 977-8444 • Fax (512) 977-9622
www.antiquestreetlamps.com



ORDERING INFORMATION

Choose the **boldface** catalog nomenclature that best suits your needs and write it on the appropriate line.

Example: **EM17RT 150S MED GCSG SR2 120 ANBK DF**

Series	Wattage/Lamp	Distribution ¹	Voltage	Finish ²	Options
EM17RT	50M MED 50 watt Metal Halide	SR2 IES Distribution	120	ANBK Black	HS House Side Shield
EM17ST	70M MED 70 watt Metal Halide	SR3 IES Distribution	208	ANDB Dark Bronze	SF Single Fusing
EM17FT	100M MED 100 watt Metal Halide	SR4SC IES Distribution	240	ANDG Dark Green	DF Double Fusing
	150M MED 150 watt Metal Halide	SR5S IES Distribution	277	ANVG Verde Green	
	35S MED 35 watt High Pressure Sodium		347	ANPP Prime Painted	
	50S MED 50 watt High Pressure Sodium		480³	CM Custom Match	
	70S MED 70 watt High Pressure Sodium		TB¹	CS Custom Select	
	100S MED 100 watt High Pressure Sodium			RAL colors	
	150S MED 150 watt High Pressure Sodium				

Lens Material
GCF Glass, Clear Flat
GCSG Glass, Clear Sag
ACHS Acrylic, Clear Half Sphere
ACD Acrylic, Clear Drop Globe

NOTES:
 1. Multi-tap Ballast (120, 208, 240, 277v), (120, 277, 347v in Canada). For wattages under 70S or 70M contact ASL for voltage availability.
 2. For finish and color options, see Finish section in catalog.
 3. See Photometric tab for IES classifications and Iso Illuminance plots for each lens type and reflector combination.

ANTIQUÉ Street Lamps
 An Acuity Brands Company
 2011-B W. Rundberg Ln. • Austin, TX 78758
 Ph (512) 977-8444 • Fax (512) 977-9622
 www.antiquestreelamps.com

DESCRIPTION

Boca 696 is a compact 6-1/4 inch diameter in-ground dimmable LED luminaire. It comes with standard with either an integral 12V step down transformer or a low voltage fixture, in which case a remote low voltage transformer is required. The integral transformer allows the fixture to be connected directly to 120V, 230V, 240V, 277V or 347V line voltage (specify). The adjustable lamp assembly provides +/- 23° vertical tilt and 360° horizontal rotation for precision uplighting, wall washing or general illumination in constricted areas. Designed for recessed mounting in concrete, brick, stone or dirt, it is suitable for drive-over applications. Fixture is also suitable for recessed mounting in indoor or outdoor wood

SPECIFICATION FEATURES

A ... Material

Recessed housing is constructed from corrosion-resistant stainless steel. Trim ring and trim collar are die cast from corrosion resistant solid brass. The trim ring and trim collar are also available in machined stainless steel, machined bronze or machined copper.

B ... Finish

Solid brass, bronze, copper or stainless steel trim ring and trim collar are unpainted to reveal the natural beauty of the material. Brass, bronze and copper will patina naturally over time. The brass trim ring and trim collar can also be painted a variety of standard colors or custom colors as requested.

C ... Gasket

Recessed housing and trim ring are sealed with a high temperature silicone o-ring gasket to prevent water intrusion.

D ... Lens

Minimum 1/4" thick tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock. Suitable for drive-over applications up to 5000 pounds.

E ... Hardware

Stainless steel hardware is standard to provide maximum corrosion-resistance.

F ... Socket

Ceramic socket with 250° C Teflon® coated lead wires and GU5.3 bi-pin base.

G ... Electrical

When ordered as a line voltage fixture, an integral 12V transformer is included for connection to 120V, 230V, 240V, 277V, or 347V line voltage (specify). Bottom of line voltage fixtures include two 1/2-14 NPSM brass female conduit fittings for through wiring. When ordered as a low voltage fixture, a remote 12V transformer is required (not included). Sides of the low voltage fixture include two 1/2-14 NPSM brass female conduit fittings 180° apart for through wiring. NOTE: initial power draw on LED equipped fixtures is 15 watts. When sizing remote transformers use 15 watts per LED fixture. Nominal power draw after start up is 6 watts or 10 watts accordingly.

H ... LED

LED modules are included and are available in four color temperatures (2700,3000,4000,5700) and three distributions (spot, narrow, and flood). Both color temperature and distribution must be specified when ordering - see reverse side for details and catalog logic.

I ... Labels & Approvals

UL and cUL listed, standard wet label. Manufactured to ISO 9001-2000 Quality Systems Standard. IBEW union made.

J ... Warranty

Lumière warrants its fixtures against defects in materials & workmanship for three (3) years. Auxiliary equipment such as transformers, ballasts and lamps carry the original manufacturer's warranty.

Catalog #		Type
Project		
Comments		Date
Prepared by		

K ... Recessed Housing

Recessed housing is available to ship in advance of complete fixture for rough-in purposes. Specify option -LBB and order separately the accompanying recessed housing from below. Finish must be specified on recessed housing as trim collar is permanently attached and sealed to the housing at the factory.

Line Voltage

696-NBR-xxx/12-BB
Brass line voltage recessed housing
xxx specifies voltage:
120,230,240, 277 or 347

696-NBZ-xxx/12-BB
Bronze line voltage recessed housing
xxx specifies voltage:
120,230,240, 277 or 347

696-NCP-xxx/12-BB
Copper line voltage recessed housing
xxx specifies voltage:
120,230,240, 277 or 347

696-NSS-xxx/12-BB
Stainless steel line voltage recessed housing
xxx specifies voltage:
120,230,240, 277 or 347

696-yy-xxx/12-BB
Painted brass line voltage recessed housing
yy specifies painted finish: BK, BZ, CS, VE, WT
xxx specifies voltage:
120,230,240, 277 or 347

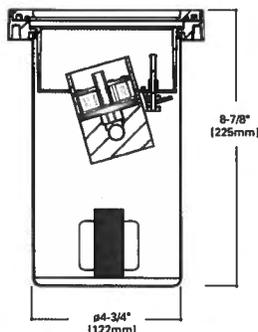


**BOCA
696**

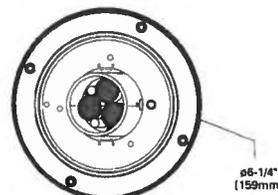
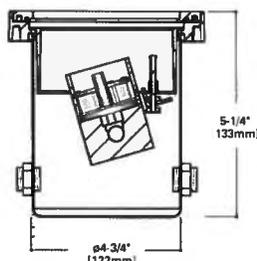
**10W LED
6W LED**
Line Voltage
w/ Integral 12V transformer
Low Voltage

Inground

Boca 696-LED
w/ Integral Transformer



Boca 696-LED
for Remote Transformer



Lamp	Watts	Beam Spread	CBCP	°K	Life (hrs.)	Base	Volts
6LED2712	6	12°	3358	2700	50000	GU5.3 bi-pin	12
6LED2721	6	21°	937	2700	50000	GU5.3 bi-pin	12
6LED2741	6	41°	472	2700	50000	GU5.3 bi-pin	12
6LED3012	6	12°	3694	3000	50000	GU5.3 bi-pin	12
6LED3021	6	21°	1019	3000	50000	GU5.3 bi-pin	12
6LED3041	6	41°	646	3000	50000	GU5.3 bi-pin	12
6LED4012	6	12°	4280	4000	50000	GU5.3 bi-pin	12
6LED4021	6	21°	1179	4000	50000	GU5.3 bi-pin	12
6LED4041	6	41°	754	4000	50000	GU5.3 bi-pin	12
6LED5712	6	12°	4496	5700	50000	GU5.3 bi-pin	12
6LED5721	6	21°	1275	5700	50000	GU5.3 bi-pin	12
6LED5741	6	41°	792	5700	50000	GU5.3 bi-pin	12
10LED2712	10	12°	5037	2700	50000	GU5.3 bi-pin	12
10LED2721	10	21°	1406	2700	50000	GU5.3 bi-pin	12
10LED2741	10	41°	708	2700	50000	GU5.3 bi-pin	12
10LED3012	10	12°	5513	3000	50000	GU5.3 bi-pin	12
10LED3021	10	21°	1521	3000	50000	GU5.3 bi-pin	12
10LED3041	10	41°	964	3000	50000	GU5.3 bi-pin	12
10LED4012	10	12°	6389	4000	50000	GU5.3 bi-pin	12
10LED4021	10	21°	1759	4000	50000	GU5.3 bi-pin	12
10LED4041	10	41°	1125	4000	50000	GU5.3 bi-pin	12
10LED5712	10	12°	6711	5700	50000	GU5.3 bi-pin	12
10LED5721	10	21°	1903	5700	50000	GU5.3 bi-pin	12
10LED5741	10	41°	1182	5700	50000	GU5.3 bi-pin	12
50MR16/NSP	50	12°	11,000	3050	4000	GU5.3 bi-pin	12
50MR16/NSL	50	25°	3200	3050	4000	GU5.3 bi-pin	12
50MR16/FL	50	40°	2000	3050	4000	GU5.3 bi-pin	12
50MR16/WFL	50	60°	1200	3050	4000	GU5.3 bi-pin	12

ORDERING INFORMATION

Sample Number: 696-10LED2712-120/12-BK-F70

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Series
696 : 6 1/4" dia. Boca Inground LED Uplight, 22° Tilt, 360° Rotation

Source
6LED2712 : 6W 2700K, 12° Spot, GU5.3 Base
6LED2721 : 6W 2700K, 21° Narrow, GU5.3 Base
6LED2741 : 6W 2700K, 41° Wide, GU5.3 Base
6LED3012 : 6W 3000K, 12° Spot, GU5.3 Base
6LED3021 : 6W 3000K, 21° Narrow, GU5.3 Base
6LED3041 : 6W 3000K, 41° Wide, GU5.3 Base
6LED4012 : 6W 4000K, 12° Spot, GU5.3 Base
6LED4021 : 6W 4000K, 21° Narrow, GU5.3 Base
6LED4041 : 6W 4000K, 41° Wide, GU5.3 Base
6LED5712 : 16W 5700K, 12° Spot, GU5.3 Base
6LED5721 : 6W 5700K, 21° Narrow, GU5.3 Base
6LED5741 : 6W 5700K, 41° Wide, GU5.3 Base
10LED2712 : 10W 2700K, 12° Spot, GU5.3 Base
10LED2721 : 10W 2700K, 21° Narrow, GU5.3 Base
10LED2741 : 10W 2700K, 41° Wide, GU5.3 Base
10LED3012 : 10W 3000K, 12° Spot, GU5.3 Base
10LED3021 : 10W 3000K, 21° Narrow, GU5.3 Base
10LED3041 : 10W 3000K, 41° Wide, GU5.3 Base
10LED4012 : 10W 4000K, 12° Spot, GU5.3 Base
10LED4021 : 10W 4000K, 21° Narrow, GU5.3 Base
10LED4041 : 10W 4000K, 41° Wide, GU5.3 Base
10LED5712 : 10W 5700K, 12° Spot, GU5.3 Base
10LED5721 : 10W 5700K, 21° Narrow, GU5.3 Base
10LED5741 : 10W 5700K, 41° Wide, GU5.3 Base

Voltage
12 = 12 Volt Remote Transformer Required (not included)
120/12 = 120V to 12V Integral Transformer
230/12 = 230V to 12V Integral Transformer
240/12 = 240V to 12V Integral Transformer
277/12 = 277V to 12V Integral Transformer

Finish
Painted
BK = Black
BZ = Bronze
CS = City Silver
VE = Verde
WT = White
Premium Finishes
NBR = Natural Brass
NBZ = Natural Bronze
NCP = Natural Copper
NSS = Natural Stainless Steel

Accessories
Filters
F71 = Peach Dichroic Filter, 2.00" Dia
F72 = Amber Dichroic Filter, 2.00" Dia
F73 = Green Dichroic Filter, 2.00" Dia
F74 = Medium Blue Dichroic Filter, 2.00" Dia
F75 = Yellow Dichroic Filter, 2.00" Dia
F76 = Red Dichroic Filter, 2.00" Dia
F77 = Dark Blue Dichroic Filter, 2.00" Dia
F78 = Light Blue Dichroic Filter, 2.00" Dia
F79 = Neutral Density Dichroic Filter, 2.00" Dia
F80 = Magenta Dichroic Filter, 2.00" Dia
F22 = Red Color Filter, 2.00" Dia
F33 = Blue Color Filter, 2.00" Dia
F44 = Green Color Filter, 2.00" Dia
F55 = Yellow Color Filter, 2.00" Dia
F66 = Mercury Vapor Color Filter, 2.00" Dia
Optical Lenses
LSL = Linear Spread Lens (elongate standard beam spread), 2.00" Dia
OSL = Overall Spread Lens (increase beam spread), 2.00" Dia
DIF = Diffused Lens (provide even illumination), 2.00" Dia
Optical Louver
LVR = Hex Cell Louver (reduce glare), 2.00" Dia

- Notes:
- Integral Options Include 12V transformer.
 - See ACCESSORIES & TECHNICAL DATA section of the Lumière catalog for Mounting Accessories.
 - Consult your Cooper Lighting representative for additional options and finishes.

DESCRIPTION

The Atlantis 1407 is an ultra compact underwater fixture for use with a low voltage dimmable LED or halogen MR16 lamp. Its heavy duty, adjustable mounting plate provides easy and secure aiming. A standard quick release mechanism enables easy relamping out of the water. Various lenses, louvers and color or dichroic filters can be combined - up to three at once - to create multiple underwater lighting effects. The Atlantis series is designed for use in freshwater decorative ponds, fountains and water gardens. Not suitable for use in salt water.

Catalog #		Type	
Project		Date	
Comments			
Prepared by			

SPECIFICATION FEATURES

A ... Material

Housing, hood and mounting plate are precision-machined from corrosion-resistant C932 bronze or 303/304 stainless steel.

B ... Finish

Solid bronze or stainless steel finish is unpainted to reveal the natural beauty of the material.

C ... Hood

Hood is removable for easy relamping and accepts up to three internal accessories at once (lenses, louvers, filters) to achieve multiple lighting effects. A standard quick release mechanism enables easy relamping out of the water.

D ... Gasket

Housing and hood are sealed with a high temperature silicone o-ring gasket to prevent water intrusion.

E ... Lens

Tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock.

F ... Hardware

Stainless steel hardware is standard to provide maximum corrosion-resistance.

G ... Socket

Ceramic socket with 250°C Teflon coated lead wires and GU5.3 bi-pin base.

H ... Cord & Fitting

Fixture is equipped with 15 feet of low voltage SJO cord and a machined, solid brass liquid tight fitting

I ... Electrical

Remote 12V transformer required (not included). Use Lumiere model T300 or equivalent only. Available from Lumiere as an accessory - see the Accessories & Technical Data section of the catalog for details. NOTE: initial power draw on LED equipped fixtures can be up to 15 watts in cold weather. When sizing transformer use 15 watts per LED fixture. Nominal power draw after start up is 10 watts or 6 watts accordingly. Also, LEDs are more voltage sensitive than standard halogen MR16 lamps. The LED module is designed to operate between 10 and 13 volts. Any less or more voltage can cause premature failures.

J ... Lamp

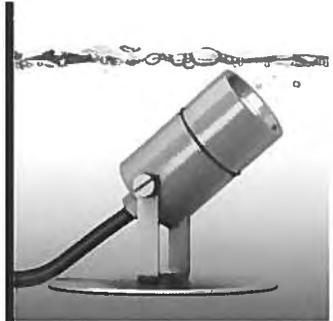
UL and cUL listed, standard wet label. IP68 rated. Manufactured to ISO 9001-2000 Quality Systems Standard. IBEW union made. Approved by New York City Department of Buildings, Bureau of Electrical Control for use in NYC, NY. Some models are California Title 24 compliant. available in four color temperatures (2700K, 3000K, 4000K and 5700K), three distributions (spot, narrow and flood) and two field adjustable power levels (6watts or 10watts). Color temperature, distribution and power setting must be specified when ordering - see reverse side for details and catalog logic.

K ... Labels & Approvals

UL and cUL listed, standard wet label. IP68 rated. Manufactured to ISO 9001-2000 Quality Systems Standard. IBEW union made. Approved by New York City Department of Buildings, Bureau of Electrical Control for use in NYC, NY. Some models are California Title 24 compliant.

L ... Warranty

Lumiere warrants its fixtures and LEDs against defects in materials & workmanship for five (5) years. Auxiliary equipment such as transformers, ballasts, drivers and lamps carry the original manufacturer's warranty.



**ATLANTIS
1407**

10W LED

6W LED

75W (max.) MR16

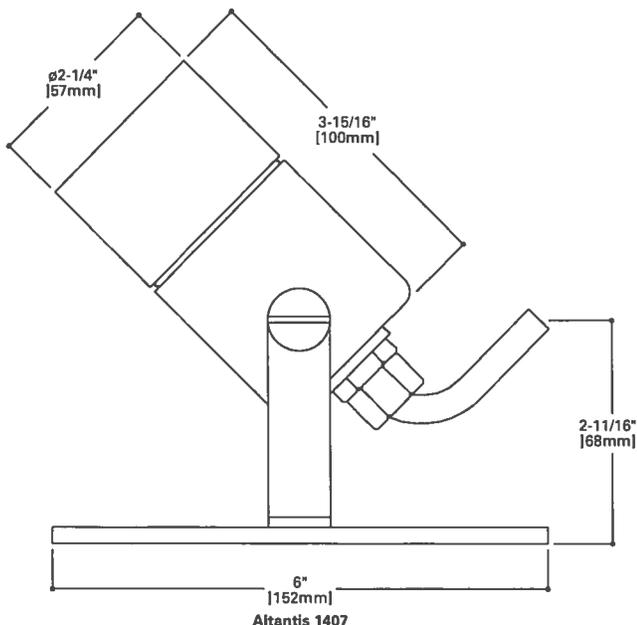
LED

Halogen

Low Voltage

UNDERWATER

IP68



Altantis 1407

PHOTOMETRIC DATA

Atlantis 1407
Lamp=75MR16/NSP
(EYF)
CBCP=12,300

Cone of Light		
Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	54	4'0"
10'0"	123	3'0"
8'0"	192	2'0"
6'0"	342	1'6"
4'0"	769	1'0"
2'0"	3075	0'6"

Lamp Wattage Multiplier
50W x 0.83
20W x 0.29

Atlantis 1407
Lamp=75MR16/NFL
(EYJ)
CBCP=4600

Cone of Light		
Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	20	9'0"
10'0"	46	6'0"
8'0"	72	4'6"
6'0"	128	3'6"
4'0"	287	2'0"
2'0"	1150	1'0"

Lamp Wattage Multiplier
50W x 0.63

Atlantis 1407
Lamp=75MR16/FL
(EYC)
CBCP=2100

Cone of Light		
Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	9	10'6"
10'0"	21	7'0"
8'0"	33	5'6"
6'0"	58	4'3"
4'0"	131	2'9"
2'0"	525	1'6"

Lamp Wattage Multiplier
50W x 0.82
35W x 0.48
20W x 0.25

LAMP INFORMATION

Lamp	ANSI Code	Watts	Beam Spread	CBCP	*K	Life (hrs.)	Base	Volts
75MR16/NSP	EYF	75	14°	12,300	3050	4000	GU5.3 bi-pin	12
75MR16/NFL	EYJ	75	25°	4600	3050	4000	GU5.3 bi-pin	12
75MR16/FL	EYC	75	42°	2100	3050	4000	GU5.3 bi-pin	12

NOTE: Inferior quality lamps may adversely affect the performance of this product. Use only name brand lamps from reputable lamp manufacturers.

NOTES & FORMULAS

- Beam diameter is to 50% of maximum footcandles, rounded to the nearest half-foot.
- Footcandle values are initial. Apply appropriate light loss factors where necessary.
- Bare lamp data shown. Consult lamp manufacturers to obtain detailed specifications for their lamps.

ORDERING INFORMATION

Sample Number: 1407 - 10LED3012 - 12 - NBZ



<p>Series 1407 = LED or MR16 Atlantis Underwater Fixture, Yoke Mounted</p> <p>Source 75MR16 : 75W Max Halogen MR16, GU5.3 Base 20MR16 : 20W Max Halogen MR16, GU5.3 Base, CA Title 24 Compliant</p> <p>6LED2712 : 6W 2700K, 12° Spot, GU5.3 Base 6LED2721 : 6W 2700K, 21° Narrow, GU5.3 Base 6LED2741 : 6W 2700K, 41° Wide, GU5.3 Base 6LED3012 : 6W 3000K, 12° Spot, GU5.3 Base 6LED3021 : 6W 3000K, 21° Narrow, GU5.3 Base 6LED3041 : 6W 3000K, 41° Wide, GU5.3 Base 6LED4012 : 6W 4000K, 12° Spot, GU5.3 Base 6LED4021 : 6W 4000K, 21° Narrow, GU5.3 Base 6LED4041 : 6W 4000K, 41° Wide, GU5.3 Base 6LED5712 : 16W 5700K, 12° Spot, GU5.3 Base 6LED5721 : 6W 5700K, 21° Narrow, GU5.3 Base 6LED5741 : 6W 5700K, 41° Wide, GU5.3 Base 10LED2712 : 10W 2700K, 12° Spot, GU5.3 Base 10LED2721 : 10W 2700K, 21° Narrow, GU5.3 Base 10LED2741 : 10W 2700K, 41° Wide, GU5.3 Base 10LED3012 : 10W 3000K, 12° Spot, GU5.3 Base 10LED3021 : 10W 3000K, 21° Narrow, GU5.3 Base 10LED3041 : 10W 3000K, 41° Wide, GU5.3 Base 10LED4012 : 10W 4000K, 12° Spot, GU5.3 Base 10LED4021 : 10W 4000K, 21° Narrow, GU5.3 Base 10LED4041 : 10W 4000K, 41° Wide, GU5.3 Base 10LED5712 : 10W 5700K, 12° Spot, GU5.3 Base 10LED5721 : 10W 5700K, 21° Narrow, GU5.3 Base 10LED5741 : 10W 5700K, 41° Wide, GU5.3 Base</p>	<p>Voltage 12 = 12 Volts</p> <p>Finish <u>Premium Finishes.</u> NBZ : Natural Bronze NSS : Natural Stainless Steel</p>	<p>Accessories</p> <p><u>Filters</u> F71 = Peach Dichroic Filter, 2.00" Dia F72 = Amber Dichroic Filter, 2.00" Dia F73 = Green Dichroic Filter, 2.00" Dia F74 = Medium Blue Dichroic Filter, 2.00" Dia F75 = Yellow Dichroic Filter, 2.00" Dia F76 = Red Dichroic Filter, 2.00" Dia F77 = Dark Blue Dichroic Filter, 2.00" Dia F78 = Light Blue Dichroic Filter, 2.00" Dia F79 = Neutral Density Dichroic Filter, 2.00" Dia F80 = Magenta Dichroic Filter, 2.00" Dia F22 = Red Color Filter, 2.00" Dia F33 = Blue Color Filter, 2.00" Dia F44 = Green Color Filter, 2.00" Dia F55 = Yellow Color Filter, 2.00" Dia F66 = Mercury Vapor Color Filter, 2.00" Dia</p> <p><u>Optical Lenses</u> LSL : Linear Spread Lens (elongate standard beam spread), 2.00" Dia OSL : Overall Spread Lens (increase beam spread), 2.00" Dia DIF : Diffused Lens (provide even illumination), 2.00" Dia</p> <p><u>Optical Louver</u> LVR = Hex Cell Louver (reduce glare), 2.00" Dia</p>	<p>Lamps for MR16 EZX : 20W MR16 GU5.3 Bi-Pin Very Narrow Spot BAB : 20W MR16 GU5.3 Bi-Pin Flood FRA : 35W MR16 GU5.3 Bi-Pin Spot EXT : 50W MR16 GU5.3 Bi-Pin Narrow Spot EXN : 50W MR16 GU5.3 Bi-Pin Flood ESX : 20W MR16 GU5.3 Bi-Pin Narrow Spot FRB : 35W MR16 GU5.3 Bi-Pin Narrow Spot FMW : 35W MR16 GU5.3 Bi-Pin Flood EXZ : 50W MR16 GU5.3 Bi-Pin Narrow Flood FNV : 50W MR16 GU5.3 Bi-Pin Very Wide Flood</p>
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Notes: • Halogen lamp not included
• 12V remote transformer required - not included
• See ACCESSORIES & TECHNICAL DATA section of the Lumiere catalog for Low Voltage Cable & Transformers
• Consult your Cooper Lighting representative for additional options and finishes.

DESCRIPTION

Cambria 203 is a small, low voltage dimmable LED and halogen MR16 luminaire. It is available with a fully adjustable side swivel stem (203, 203-FL), an adjustable center rear swivel (203-CRS) or a stationary rear flush mount (203-FM). Side swivel models 203 and 203-FL provide 340° tilt and 360° rotation. Center rear swivel model CRS provides 200° tilt and 360° rotation. Center rear swivel model CRS provides 200° tilt and 360° rotation. Various lenses, louvers and color or dichroic filters can be combined - up to three at once - to create multiple lighting effects. The Lumiere exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

A ... Material

Housing, hood and mounting stem are precision-machined from corrosion-resistant billet stock 6061-T6 aluminum, C360 brass, C932 bronze, C110 copper or 303/304 stainless steel.

B ... Finish Painted

Fixtures constructed from 6061-T6 aluminum are double protected by an ROHS compliant chemical film undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available.

C ... Brass, Bronze, Copper or Stainless Steel

Fixtures constructed from brass, bronze, copper or stainless steel are left unpainted to reveal the natural beauty of the material. Brass, bronze and copper will patina naturally over time.

D ... Hood

Hood is removable for easy relamping and accepts up to three internal accessories at once (lenses, louvers, filters) to achieve multiple lighting effects. Model 203, 203-CRS & 203-FM: Weep holes prevent water and mineral stains from collecting on the lens, even in the straight-up position. Model 203-FL: The flush lens design reduces fixture length, minimizes debris collection and prevents water and mineral stains from collecting on the lens.

E ... Gasket

Housing and hood are sealed with a high temperature silicone o-ring gasket to prevent water intrusion.

F ... Lens

Tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock.

G ... Mounting Stem

Model 203 and 203-FL include fully adjustable side-mounted swivel stem, providing 340° tilt and 360° rotation for easy aiming. Center rear swivel (203-CRS) or stationary rear flush mount (203-FM) models are also available. All models include 1/2" NPS threaded male fitting. Stainless steel aim-locking mechanisms are standard (not available on 203-FM). Lumiere's exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.

H ... Hardware

Stainless steel hardware is standard to provide maximum corrosion-resistance.

I ... Socket

Ceramic socket with 250° C Teflon® coated lead wires and GU5.3 bi-pin base.

J ... Electrical

Remote 12V transformer required (not included). NOTE: initial power draw on LED equipped fixtures is 15 watts. When sizing transformer use 15 watts per LED fixture. Nominal power draw after start up is 6 watts or 10 watts accordingly. Also, LEDs are more voltage sensitive than standard halogen MR16 lamps. The LED module is designed to operate between 10 and 13 volts. Any less or more voltage can cause premature failures.

K ... Lamp

Halogen lamp not included. Available from Lumiere as an accessory. LED modules are included and are available in four color temperatures (2700, 3000, 4000, and 5700) and three distributions (spot, narrow, and flood). Both color temperature and distribution must be specified when ordering - see reverse side for details and catalog logic.

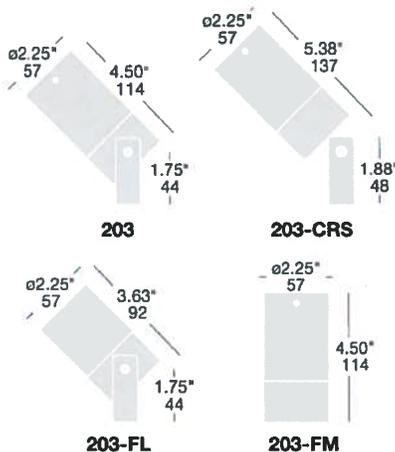


**CAMBRIA
203**

**10W LED
6W LED
50W (max.) MR16
Halogen
Low Voltage**

Accent/Flood

IP65



ORDERING INFORMATION

Sample Number: 203-FL-50MR16-12-NCP

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Series
203=LED or MR16 Cambria Accent Fixture

Construction
 _ : Standard Side Swivel Stem, 1/2" NPS
CRS: Center Rear Swivel Stem, 1/2" NPS
FM: Rear Flush Mount, 1/2" NPS
FL: Flush Lens, Side Swivel Stem, 1/2" NPS

Source
50MR16=50W Max Halogen MR16, GU5.3 Base
6LED2712=6W 2700K, 12 Degree Spot, GU5.3 Base
6LED2721=6W 2700K, 21 Degree Narrow, GU5.3 Base
6LED2741=6W 2700K, 41 Degree Wide, GU5.3 Base
6LED3012=6W 3000K, 12 Degree Spot, GU5.3 Base
6LED3021=6W 3000K, 21 Degree Narrow, GU5.3 Base
6LED3041=6W 3000K, 41 Degree Wide, GU5.3 Base
6LED4012=6W 4000K, 12 Degree Spot, GU5.3 Base
6LED4021=6W 4000K, 21 Degree Narrow, GU5.3 Base
6LED4041=6W 4000K, 41 Degree Wide, GU5.3 Base
6LED5712=6W 5700K, 12 Degree Spot, GU5.3 Base
6LED5721=6W 5700K, 21 Degree Narrow, GU5.3 Base
6LED5741=6W 5700K, 41 Degree Wide, GU5.3 Base
10LED2712=10W 2700K, 12 Degree Spot, GU5.3 Base
10LED2721=10W 2700K, 21 Degree Narrow, GU5.3 Base
10LED2741=10W 2700K, 41 Degree Wide, GU5.3 Base
10LED3012=10W 3000K, 12 Degree Spot, GU5.3 Base
10LED3021=10W 3000K, 21 Degree Narrow, GU5.3 Base
10LED3041=10W 3000K, 41 Degree Wide, GU5.3 Base
10LED4012=10W 4000K, 12 Degree Spot, GU5.3 Base
10LED4021=10W 4000K, 21 Degree Narrow, GU5.3 Base
10LED4041=10W 4000K, 41 Degree Wide, GU5.3 Base
10LED5712=10W 5700K 12 Degree Spot, GU5.3 Base
10LED5721=10W 5700K, 21 Degree Narrow, GU5.3 Base
10LED5741=10W 5700K, 41 Degree Wide, GU5.3 Base

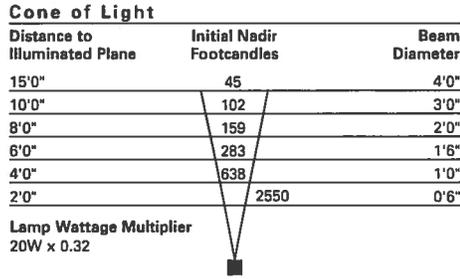
Voltage
12=12V

Finish
Painted
BK: Black
BZ: Bronze
CS: City Silver
VE: Verde
WT: White
Metal
NBR: Brass
NBZ: Bronze
NCP: Copper
NSS: Stainless Steel

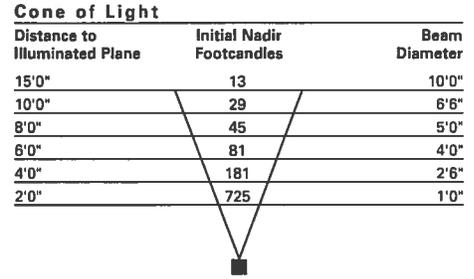
Accessories
Filters
F71=Paach Dichroic Filter, 2.00" Dia
F73= Green Dichroic Filter, 2.00" Dia
F75= Yellow Dichroic Filter, 2.00" Dia
F77= Dark Blue Dichroic Filter, 2.00" Dia
F79= Neutral Density Dichroic Filter, 2.00" Dia
F22= Red Color Filter, 2.00" Dia
F44= Green Color Filter, 2.00" Dia
F66= Mercury Vapor Color Filter, 2.00" Dia
Optical Lenses
LSL= Linear Spread Lens (elongate standard beam spread), 2.00" Dia
DIF= Diffused Lens (provide even illumination), 2.00" Dia
Optical Louver
LVR=Hex Cell Louver (reduca glare), 2.00" Dia
F72=Amber Dichroic Filter, 2.00" Dia
F74= Medium Blue Dichroic Filter, 2.00" Dia
F76= Red Dichroic Filter, 2.00" Dia
F78= Light Blue Dichroic Filter, 2.00" Dia
F80= Magenta Dichroic Filter, 2.00" Dia
F33= Blue Color Filter, 2.00" Dia
F55= Yellow Color Filter, 2.00" Dia
OSL= Overall Spread Lens (increase beam spread), 2.00" Dia

PHOTOMETRIC DATA

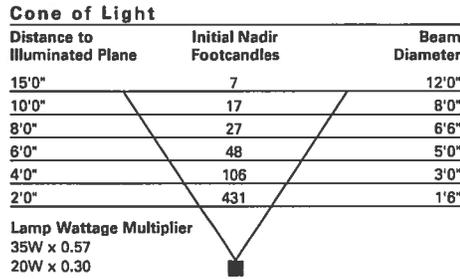
Cambria 203
Lamp=50MR16/NSP
(EXT)
CBCP=11,000



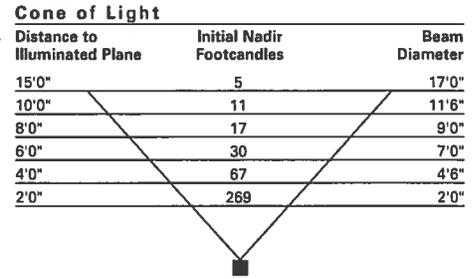
Cambria 203
Lamp=50MR16/NFL
(EXZ)
CBCP=3200



Cambria 203
Lamp=50MR16/FL
(EXN)
CBCP=2000



Cambria 203
Lamp=50MR16/WFL
(FNV)
CBCP=1200



NOTES AND FORMULAS

- Beam diameter is to 50% of maximum footcandles, rounded to the nearest half-foot.
- Footcandle values are initial. Apply appropriate light loss factors where necessary.

LAMP INFORMATION

Lamp	Watts	Beam Spread	CBCP	°K	Life (hrs.)	Base	Volts
6LED2712	6	12°	3358	2700	50000	GU5.3 bi-pin	12
6LED2721	6	21°	937	2700	50000	GU5.3 bi-pin	12
6LED2741	6	41°	472	2700	50000	GU5.3 bi-pin	12
6LED3012	6	12°	3694	3000	50000	GU5.3 bi-pin	12
6LED3021	6	21°	1019	3000	50000	GU5.3 bi-pin	12
6LED3041	6	41°	646	3000	50000	GU5.3 bi-pin	12
6LED4012	6	12°	4280	4000	50000	GU5.3 bi-pin	12
6LED4021	6	21°	1179	4000	50000	GU5.3 bi-pin	12
6LED4041	6	41°	754	4000	50000	GU5.3 bi-pin	12
6LED5712	6	12°	4496	5700	50000	GU5.3 bi-pin	12
6LED5721	6	21°	1275	5700	50000	GU5.3 bi-pin	12
6LED5741	6	41°	792	5700	50000	GU5.3 bi-pin	12
10LED2712	10	12°	5037	2700	50000	GU5.3 bi-pin	12
10LED2721	10	21°	1406	2700	50000	GU5.3 bi-pin	12
10LED2741	10	41°	708	2700	50000	GU5.3 bi-pin	12
10LED3012	10	12°	5513	3000	50000	GU5.3 bi-pin	12
10LED3021	10	21°	1521	3000	50000	GU5.3 bi-pin	12
10LED3041	10	41°	964	3000	50000	GU5.3 bi-pin	12
10LED4012	10	12°	6389	4000	50000	GU5.3 bi-pin	12
10LED4021	10	21°	1759	4000	50000	GU5.3 bi-pin	12
10LED4041	10	41°	1125	4000	50000	GU5.3 bi-pin	12
10LED5712	10	12°	6711	5700	50000	GU5.3 bi-pin	12
10LED5721	10	21°	1903	5700	50000	GU5.3 bi-pin	12
10LED5741	10	41°	1182	5700	50000	GU5.3 bi-pin	12
50MR16/NSP	50	12°	11,000	3050	4000	GU5.3 bi-pin	12
50MR16/NSL	50	25°	3200	3050	4000	GU5.3 bi-pin	12
50MR16/FL	50	40°	2000	3050	4000	GU5.3 bi-pin	12
50MR16/WFL	50	60°	1200	3050	4000	GU5.3 bi-pin	12



REPORT TO DESIGN REVIEW BOARD

DATE: June 26, 2014

I. GENERAL INFORMATION

Project Name: 3041 Cowell Road Minor Subdivision (PL140038 – DR)

Review Status: Final Design Review

Location(s): 3041 Cowell Road

Parcel Number(s): 105-186-005

General Plan: Low Density Residential

Zoning: RS-6 (Single Family Residential; 6,000 sq. ft. minimum lot size)

Applicant: Damon Reese
M & R REO Inc.
5976 West Las Positas, #222
Pleasanton CA 94588

Vicinity Map:



II. PROJECT BACKGROUND

The Board conducted Preliminary Design Review for this project on May 22nd. The plans were also reviewed by the Development Advisory Committee (DAC) on May 27th and deemed incomplete.

Revised plans were submitted on June 9th in response to comments from the Board and DAC. The DAC will review the revised plans on June 24th. Staff will update the Board on any design-related issues identified by the DAC.

A neighborhood meeting was held for the project on May 28th. Neighbors asked for clarification on the project's use of Fifth Avenue, the orientation of homes relative to neighboring properties, and replacement fencing; no comments were made regarding the project's design.

III. DISCUSSION

The Board's May 22nd comments are listed below in italics followed by a summary of the applicant's response to each and staff recommendations.

Architecture

1. *The Board felt the architecture had a Contemporary style but needs more details to articulate this style or the desired look (e.g., add recessed windows, glass block, massing through different materials such as tile, bolder colors, etc.)*

All windows are now recessed. Stone veneer has been replaced with tile and applied on different building elements to differentiate the homes. Samples of revised colors and materials will be provided at the hearing. Staff recommends the Board consider if additional changes are necessary to further strengthen the Contemporary look of the homes, such as using glass block for the stairwell window and/or a "bolder" color scheme.

2. *Elevations need more variation especially for the two homes facing Cowell Road. This can be done by using different materials in addition to colors.*

The Parcel One and Parcel Two elevations facing Cowell Road are differentiated by applying the same type of tile to different elements of the homes. The Parcel Three elevation proposes a second type of tile that will be applied more liberally than the tile areas proposed on Parcel One or Parcel Two. Staff recommends applying the architectural treatment proposed on Parcel Three to either Parcel One or Parcel Two to provide a stronger contrast between the homes.

3. *Wood siding and wainscot can be eliminated to achieve a more "austere" look for Contemporary architecture.*

Wood siding and wainscot has been eliminated. The exterior materials now consist of stucco body with tile accents. Staff believes the revised materials palette addresses the Board's recommendation.

4. *Add windows to break up blank walls at upper story side elevations.*

Windows have been added to the second floor side elevation where the master bedroom is located. Staff requests the Board consider the symmetry and rhythm created by the new windows, and whether a window should also be added to the adjacent bedroom.

5. *Use the same "triangular" look of the front gable roof for the side gables.*

The front gable treatment has not been applied to the side gables. Staff recommends the Board discuss this further with the applicant to determine the design and/or cost considerations for incorporating this change.

6. *Enlarge windows at side elevation pop-out.*

Windows at the first floor living room pop-out have been enlarged.

Landscaping

7. *Use five gallon minimum shrub size.*

No changes were made to the quantity and size of shrubs proposed under the previous landscape plan. The plan includes five gallon shrubs (New Zealand Flax and English Lavender) and would need to upsize all other shrubs to five gallons, or as recommended by the Board.

8. *Return with bioretention details if required for stormwater control.*

The project's new or disturbed impervious surface quantities do not meet the threshold for requiring stormwater treatment; therefore, no bioretention facilities are necessary.

9. *Comply with 25% limit for lawn within front yard landscaping.*

No lawn is proposed for Parcel Three. Lawn areas will not occupy more than 14% of front yard landscaping on Parcel One or Parcel Two.

10. *Review City fencing detail to make sure it is "beefy" enough; double lap fencing is preferred.*

The City's standard residential fencing detail consists of 1 x 6 boards with a minimum 1.5 inch overlap supported by 4 x 6 posts at eight foot intervals. Staff supports using the City's fence standard for this project. The fence meets a minimum standard but an alternate fence type can be required if the Board feels a "beefier" fence is necessary. Also, staff requests the Board consider whether the City's fence standard is compatible with supporting Bougainvillea, which will be attached to the fence at the site's northeast corner.

IV. RECOMMENDED ACTION

Staff recommends the Board review the plans, consider the recommendations discussed in this report, identify any additional issues, and provide the applicant with comments for incorporation into revised plans for Final Design Review or approval as a Staff Report Item.

Staff has prepared the following motion for the Board's consideration for the project.

I (Board Member _____) hereby move that the Design Review Board recommend approval of 3041 Cowell Road Minor Subdivision (PL140038 – DR) subject to the following recommendations as well as any additional recommendations made by the Board.

Staff Recommendations

Project shall be revised to include the following changes subject to review and approval by the Board as Staff Report items:

- Revised color scheme with “bolder” colors consistent with Contemporary style architecture.
- All shrubs shall be minimum five gallons in size.

Prepared by: Frank Abejo
Frank Abejo
Senior Planner
(925) 671-3128
frank.abejo@cityofconcord.org

Exhibits:

- A- Project Plans Received June 9, 2014

COWELL ROAD RESIDENCE

PARCEL MAP APPLICATION

PL14038-PM

3041 COWELL ROAD
CONCORD, CA

VICINITY MAP



PROJECT SITE

PROJECT CONTACTS

OWNER
M & R REO INC.
5976 LAS POSTAS BLVD., #222
PLEASANTON, CA 94568
ATTN: DAMON REES
(925) 525-4638

SURVEYOR
TY HAWKINS, LS 7973
3636 OAK CANYON LN.
JACKSONVILLE, CA 95688
(707) 974-9890

BUILDING DESIGNER
CHRIS WALTERS DESIGN
WWW.CHRISWALTERSDESIGN.COM

CIVIL ENGINEER
PLS PARTNERS, INC.
2151 SALVO STREET, SUITE S
CONCORD, CA 94520
ATTN: NOVAN TRAN, PE
(925) 270-1515

LANDSCAPE ARCHITECT
PLS PARTNERS, INC.
2151 SALVO STREET, SUITE S
CONCORD, CA 94520
ATTN: GREG FRIEL, CLA 2689
(925) 270-1515

PROJECT INFORMATION DATA

GENERAL PLAN
ZONING
LDR (LOW DENSITY RESIDENTIAL)
RS6

PROPERTY SIZE
19,004 SQUARE FEET (0.44 ACRES) GROSS

FLOOD ZONE:
A PORTION OF THE PROJECT SITE APPEARS TO BE WITHIN FEMA FLOOD HAZARD ZONE (AO (CERTIFIED) SHOWN ON THE FEMA FLOOD HAZARD MAP NUMBER 0601500284F, DATED JUNE 16, 2009

SEWAGE DISPOSAL:
CENTRAL SANITARY SERVICE

WATER SUPPLY:
CONTRA COSTA WATER DISTRICT

PROJECT DESCRIPTION:
PROJECT PROPOSES 3 PARCELS TO BE USED FOR RESIDENTIAL PURPOSES. EACH PARCEL WILL HAVE A 4 BEDROOM, 2.5 BATH SINGLE FAMILY RESIDENCE. EACH RESIDENCE WILL HAVE A FOOTPRINT OF 1,818 SQUARE FEET.

PROPOSED PARCEL ONE:
30% NET LOT AREA COVERED BY BUILDING, 70% NET LOT AREA DEVOTED TO LANDSCAPING AND DRIVEWAY.

PROPOSED PARCEL TWO:
30% NET LOT AREA COVERED BY BUILDING, 70% NET LOT AREA DEVOTED TO LANDSCAPING AND DRIVEWAY.

PROPOSED PARCEL THREE:
28% NET LOT AREA COVERED BY BUILDING, 74% NET LOT AREA DEVOTED TO LANDSCAPING AND DRIVEWAY.

PROPOSED PARCEL ONE SETBACKS:
FRONT--23.38', REAR--29.5', WEST SIDE--5.92', EAST SIDE--10.75'

PROPOSED PARCEL TWO SETBACKS:
FRONT--23.38', REAR--29.5', WEST SIDE--10.75', EAST SIDE--5.92'

PROPOSED PARCEL THREE SETBACKS:
NORTH SIDE--10.75', SOUTH SIDE 5.0'

APN: 105-186-005

PROJECT DATA

BENCHMARK
ELEVATIONS SHOWN HEREON ARE INDICATED DATUM BASE ON THE CITY OF CONCORD BENCHMARK #317. ELEVATION TAKEN AT 8.4.1

SHEET INDEX

- COVER SHEET C-0
- VESTING TENTATIVE PARCEL MAP A0.1
- PROJECT SITE PLAN (1"=20') A0.1
- PROJECT SITE PLAN (ENLARGED) C-1
- STORMWATER CONTROL PLAN C-2
- PRELIMINARY GRADING PLAN C-3
- ENGINEERED CROSS-SECTIONS C-4
- ENGINEERED CROSS-SECTIONS C-5
- TRUE CROSS-SECTIONS L-1
- LANDSCAPE PLAN L-2
- LANDSCAPE DETAILS L-2

DATE	BY	DATE	DESCRIPTION
06/04/14	REV #		
	SCALE		
	TITLE		
	DRAWN		
	CHECKED		
	DESIGNED		
	PROJECT		
	CLIENT		
	PROJECT		
	FILE PATH		

PLS PARTNERS, INC.
CONCORD, CA 94520
TEL: (925) 270-1515
WWW.PLSPARTNERS.COM

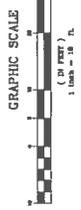
CALIFORNIA



PL9 PARTNERS INC
CONTRA COSTA COUNTY
CALIFORNIA
DATE: 08/24/14
PROJECT: 1011

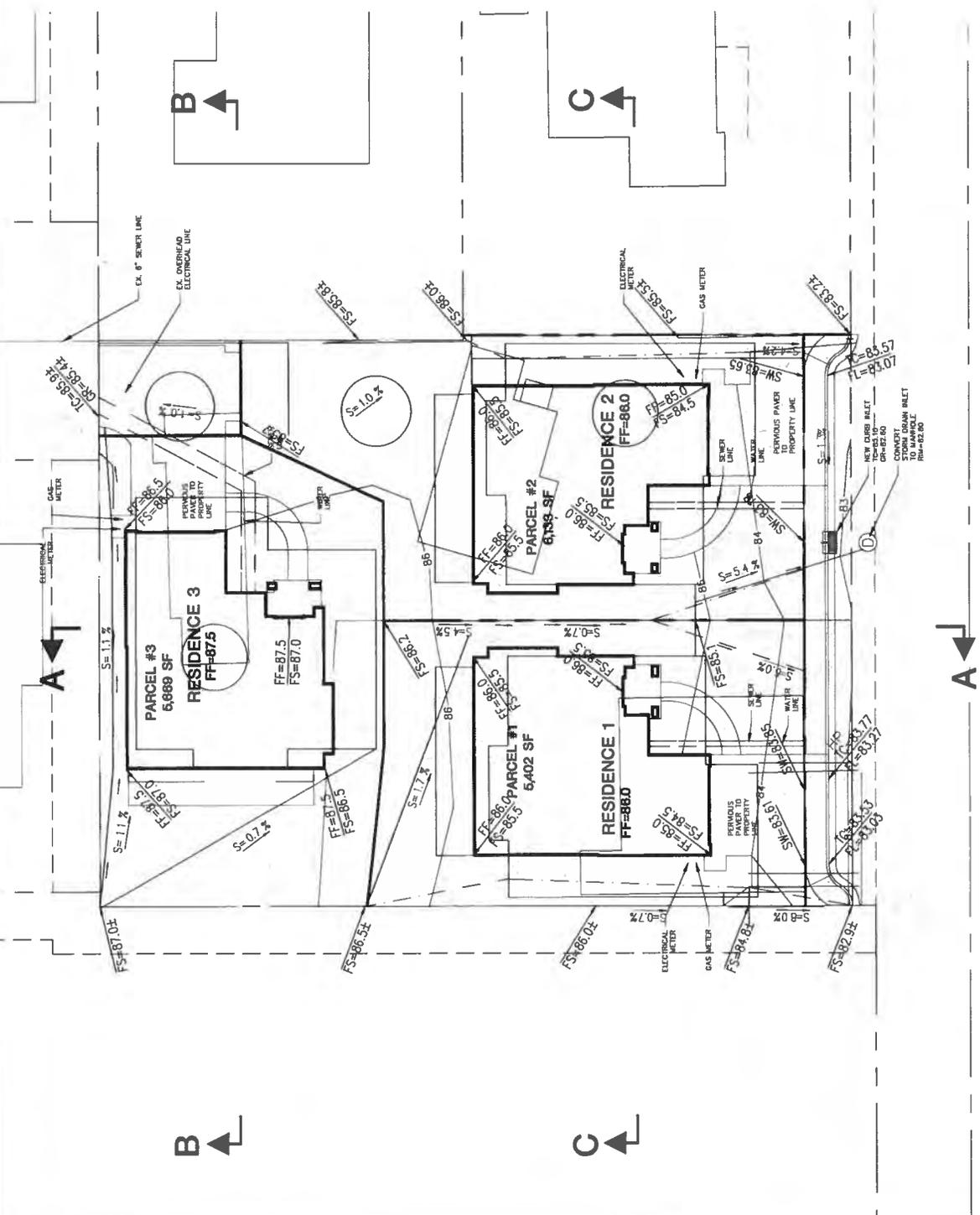


DATE	BY	DESCRIPTION
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08/24/14	RSV	REV # 2
08/24/14	RSV	REV # 3
08/24/14	RSV	REV # 4
08/24/14	RSV	REV # 5
08/24/14	RSV	REV # 6
08/24/14	RSV	REV # 7
08/24/14	RSV	REV # 8
08/24/14	RSV	REV # 9
08/24/14	RSV	REV # 10
08/24/14	RSV	REV # 11
08/24/14	RSV	REV # 12
08/24/14	RSV	REV # 13
08/24/14	RSV	REV # 14
08/24/14	RSV	REV # 15
08/24/14	RSV	REV # 16
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08/24/14	RSV	REV # 19
08/24/14	RSV	REV # 20



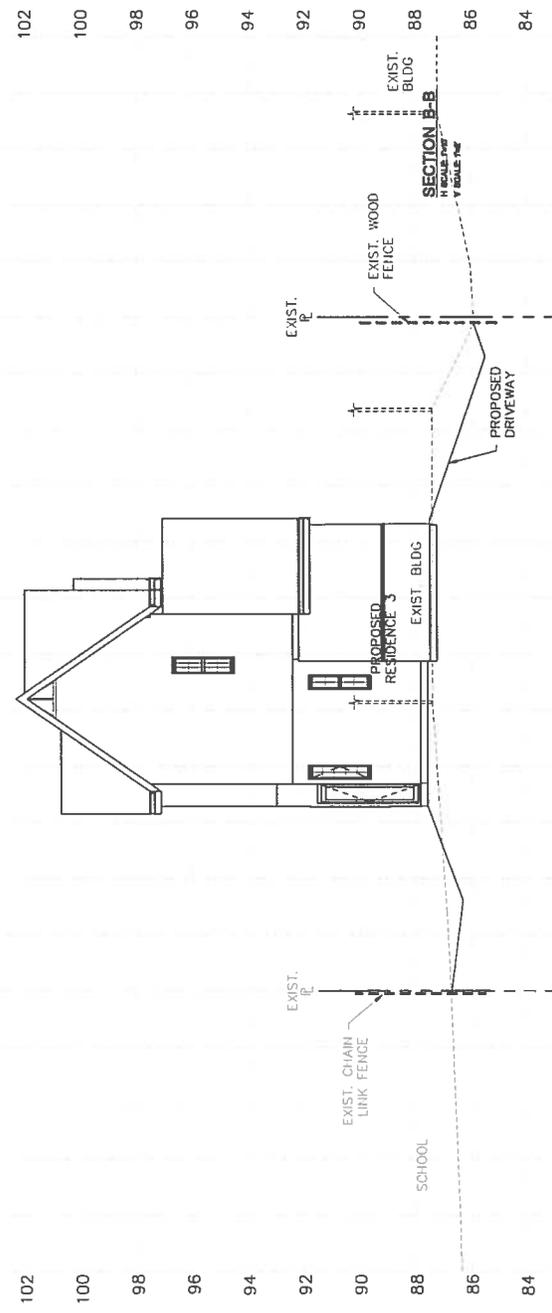
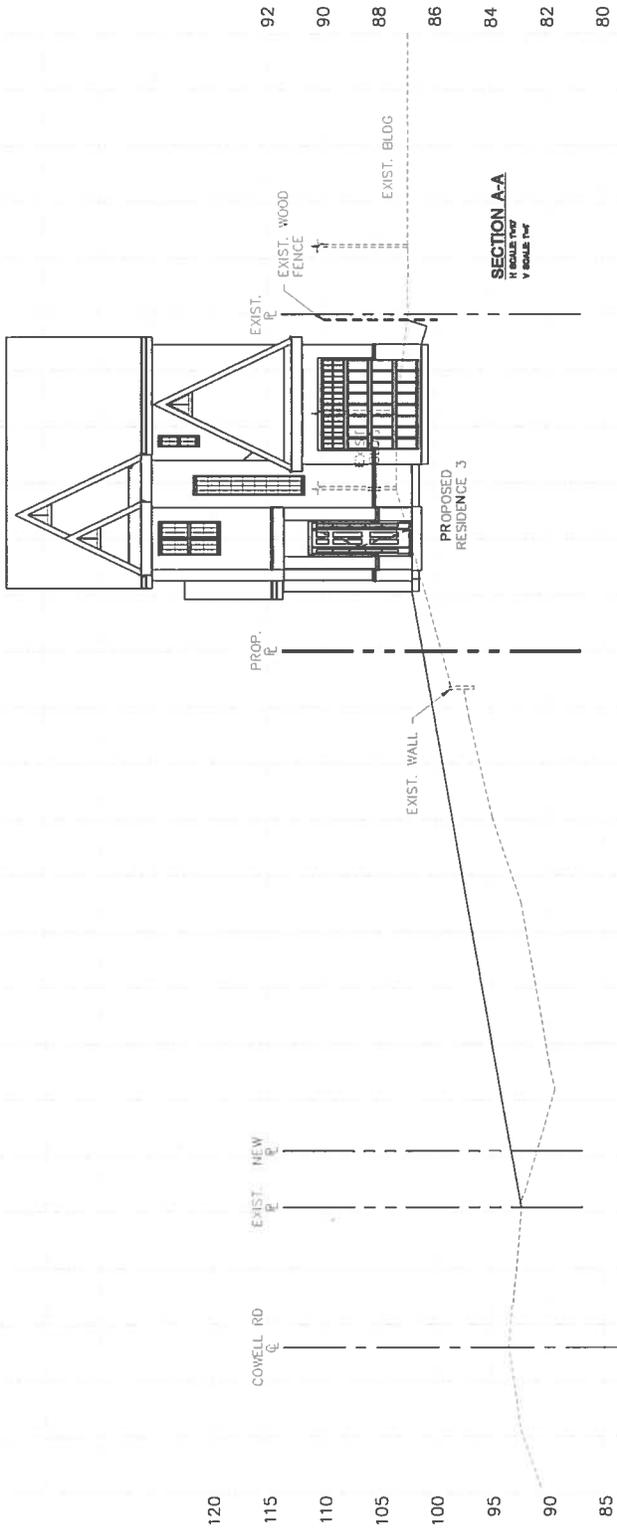
LEGEND:

- EXISTING STORM DRAIN CATCH BASIN
- EXISTING SANITARY SEWER CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- EXISTING WATER VALVE
- EXISTING GAS VALVE
- EXISTING CONTOUR
- EXISTING ELEVATION
- TC - TOP OF CURB ELEVATION
- FS - FINISHED SURFACE
- (TC/FS) - MATCH EX. GRADES
- GR - GRATE ELEVATION
- FL - FLOW LINE
- CATCH BASIN/AREA DRAIN
- PROPOSED CLEANOUT
- PROPOSED CONTOUR
- FLOW LINE



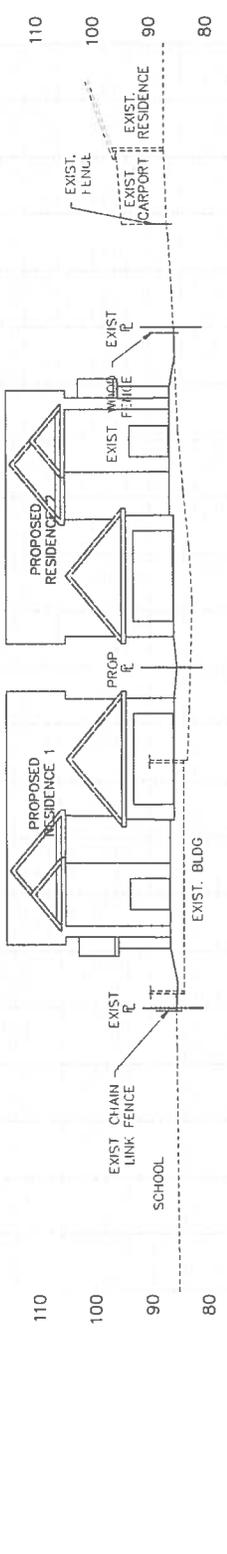
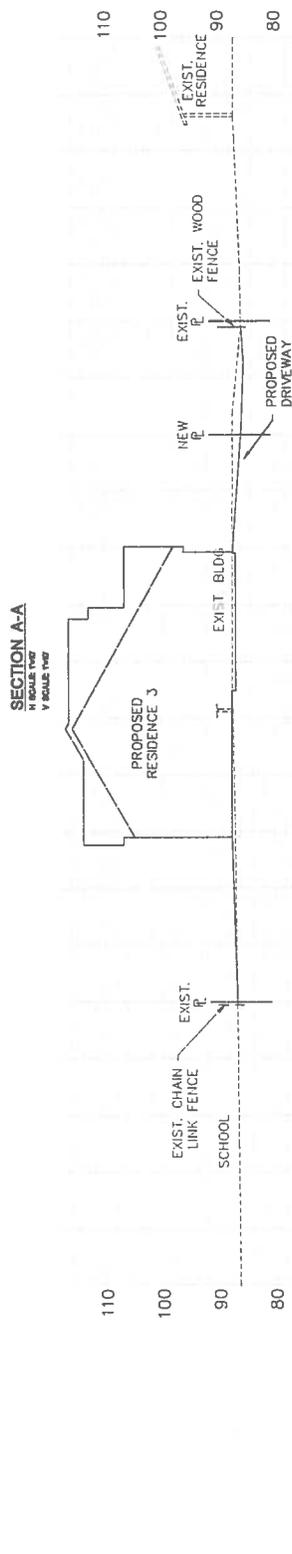
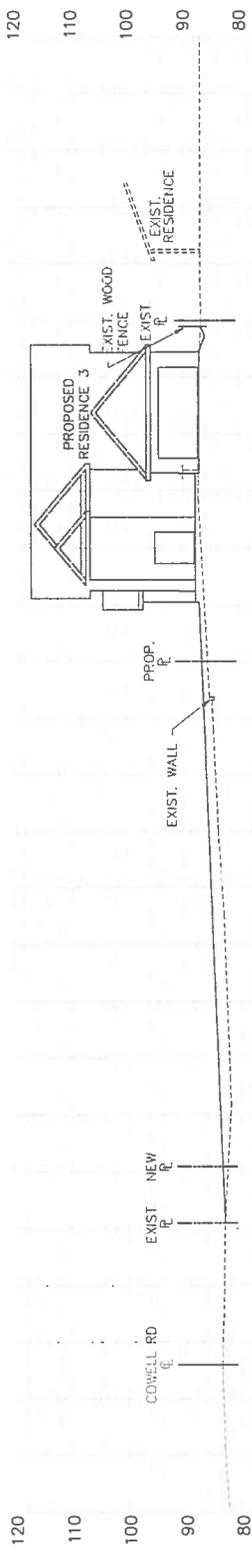


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DESCRIPTION	CITY COMMENTS		
DATE	12/11/13	REV #	01
DESCRIPTION	CITY COMMENTS		
DATE	04/04/14	REV #	01
DESCRIPTION	CITY COMMENTS		
DATE	04/04/14	REV #	01
DESCRIPTION	CITY COMMENTS		
DATE	04/04/14	REV #	01
DESCRIPTION	CITY COMMENTS		
DATE	04/04/14	REV #	01
DESCRIPTION	CITY COMMENTS		





DATE	06/24/14	REV #	1	DESCRIPTION
SCALE	1/8" = 1'-0"	DATE	12/21/13	QTY COMMENTS
DRAWN	MT	CHKD	04/04/14	QTY COMMENTS
CHECKED	MT	DATE		
PROJECT	3041 COWELL RD	FILE PATH	H:\1011\062414\14-03-30\1011_Section3 True.dwg	



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DATE	REV	BY	DESCRIPTION
08/05/14	1	MR	ISSUE FOR PERMITS
09/04/14	2	MR	QTY COMMENTS
09/04/14	3	MR	QTY COMMENTS
09/04/14	4	MR	QTY COMMENTS
09/04/14	5	MR	QTY COMMENTS
09/04/14	6	MR	QTY COMMENTS
09/04/14	7	MR	QTY COMMENTS
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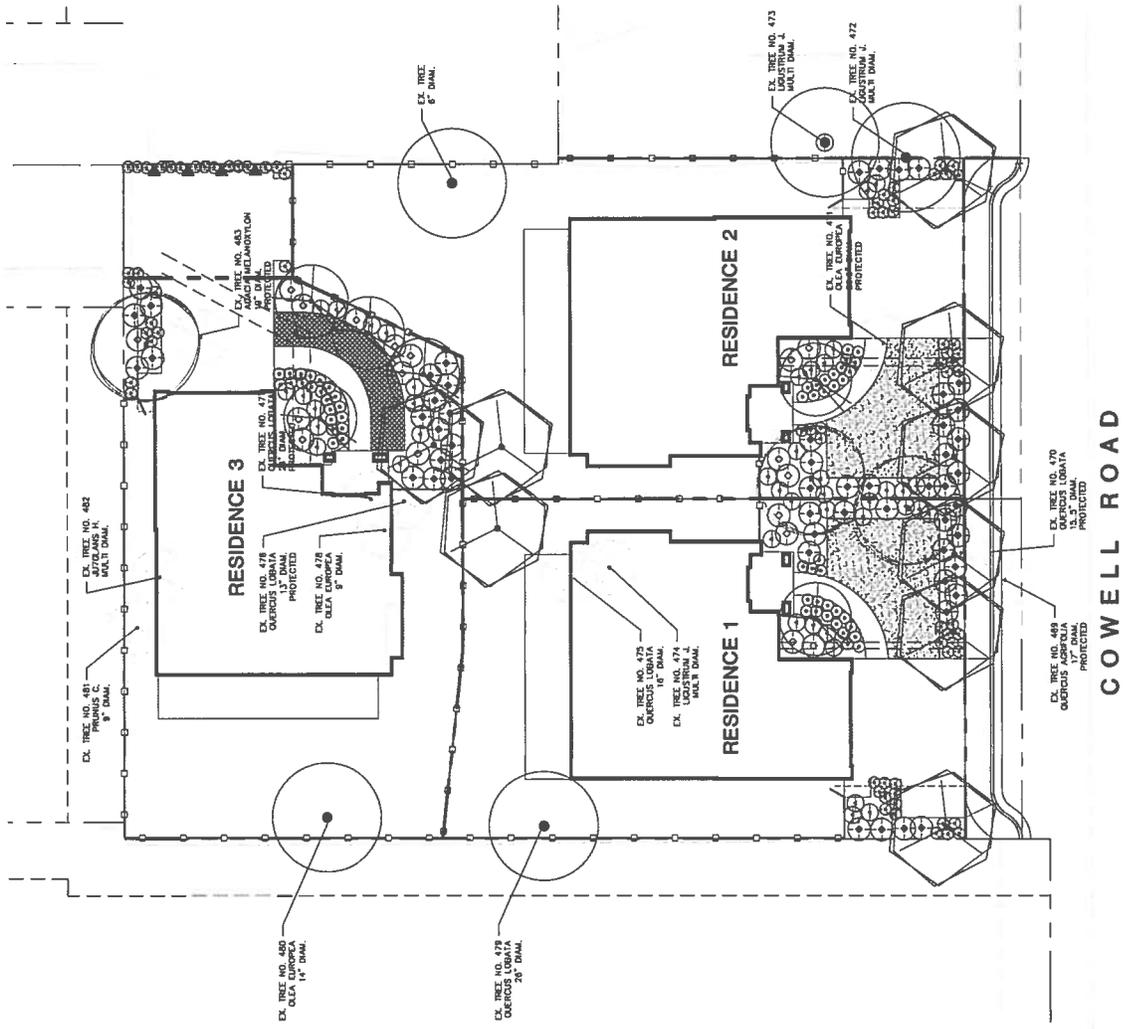
PLANT LEGEND	SYMBOL	QTY	SIZE	INCOLS	BOTANICAL NAME/ COMMON NAME
TREES		4	36" BOX	M	FRAX GALEYANA, AMERICAN AMERICAN FLORENCE PEAR
		3	36" BOX	L	PISTACHIA CHINENSIS CHINESE PISTACHE
		6	36" BOX	L	LAGERHEDERIA L. CAPE MYRTLE
SHRUBS		20	5 GAL	L	PRODRUM N. YAKUBI GREEN NEW ZEALAND FLAX
		30	5 GAL	L	LAVANDULA A. BUDA VISTA ENGLISH LAVENDER
		40	1.8 GAL	L	DIETES BICOLOR BUTTERFLY IRIS
		14	1.8 GAL	L	MADEIRA PALM PURPLE NEEDLE GRASS
		34	1.8 GAL	L	CRISTO X. MARIBRIS CRISTO ROSE
		4	5 GAL	L	DOHMANNIALLA SAN DIEGO RED DOHMANNIALLA TRANT TO FENCE
GROUNDCOVER		18'	OC LINERS	M	FRAX GALEYANA, AMERICAN FRAX GALEYANA
		500	SOD	M	MADEIRA PALM ACACIA RED FIDDLE LEAF NO-HON SOD
EXISTING TO REMAIN		TREE 476			GEORGIS LUBATA VALETT OAK
		TREE 472, 479			LAGERHEDERIA JAPONICA JAPANESE PRIVET
		TREE 471			OLEA EUROPEA OLIVE
EXISTING TO BE REMOVED		TREE 470, 473, 478, 477			GEORGIS LUBATA VALETT OAK
		TREE 469			GEORGIS AMERICALA CONST LIVE OAK
		TREE 474, 480			LAGERHEDERIA JAPONICA JAPANESE PRIVET
		TREE 475			OLEA EUROPEA OLIVE
		TREE 481			FRAX PLUM
		TREE 482			JAPANESE MOUNTAIN
		TREE 488			ACACIA ACACIA

LANDSCAPE ANALYSIS

LOT	LANDSCAPE AREA	TURF AREA
LOT 1	LANDSCAPE AREA	2,791 SF
	TURF AREA	380 SF (14 %)
LOT 2	LANDSCAPE AREA	9,546 SF
	TURF AREA	576 SF (6 %)
LOT 3	LANDSCAPE AREA	2,425 SF
	TURF AREA	0 SF (0 %)



FENCE LEGEND	SYMBOL	DESCRIPTION
		8" HOOD FENCE PER CITY OF CONCORD RESIDENTIAL FENCE DETAIL SEE SHEET L-2
		MATERIAL AND SERVICE LINES
		ELECTRIC AND GAS JOINT TRENCH



SEE SHEET L-2 FOR NOTES AND DETAILS

COWELL ROAD



REPORT TO DESIGN REVIEW BOARD

DATE: June 26, 2014

I. GENERAL INFORMATION

Project Name: Oakmont Senior Living (PL1400211 – UP, DR)
Review Status: Preliminary Design Review
Location(s): 1401 Civic Court (formerly Enea Circle)
Parcel Number(s): APN 126-300-052
General Plan: Downtown Mixed Use
Zoning: DMX (Downtown Mixed Use)
Applicant: William Mabry
Oakmont Senior Living
220 Concourse Blvd.
Santa Rosa, CA 95403

Vicinity Map:



II. PROJECT BACKGROUND

In 2006, the City approved entitlements to develop the 224-unit Palmero Condominiums at 1401 and 1465 Enea Circle (Enea Circle was recently renamed “Civic Court”). The Palmero developers decided not to construct the project and the 1465 Civic Court property has since been sold.

On May 29th, Oakmont Senior Living filed Use Permit and Design Review applications to construction an approximately 100,000 square foot, 76-unit senior assisted living facility at 1401 Civic Court. The project was reviewed by the Development Advisory Committee (DAC) which has determined that additional information is needed to complete its review. A neighborhood meeting has also been scheduled for the project on June 23rd.

The project requires Planning Commission review of a Use Permit for an Assisted Living Facility, which is a conditionally permitted use in the DMX district. The Board’s recommendations on the Design Review application will be forwarded to the Planning Commission along with the Use Permit application.

III. PROJECT DESCRIPTION AND DISCUSSION

The project proposes to construct an approximately 100,000 square foot, 76-unit senior assisted living facility on a 2.42 acre site located at the corner of Waterworld Parkway and Civic Circle. The site will also front Commerce Avenue in the future when the City’s Commerce Avenue Extension project is completed. The site of the future Commerce Avenue extension is currently utilized for Waterworld parking.

The site plan proposes to place the rectangular shaped building with its longer sides running parallel to Civic Circle and Commerce Avenue. The building is pushed towards the east property line to allow the west side of the site to be used for access and parking. A new driveway off Waterworld Parkway will provide site ingress/egress and a second exit-only driveway is proposed off Civic Court.

The applicant’s Statement of Design Intent (Exhibit A) describes the building’s design as “residential in character, with architectural elements of sloped roofs covered with mission style clay roof tiles and a stucco body, with visual interest added by the use of shutter and balcony/railing features and stucco capped foam and trim elements.” Proposed colors consist of medium-dark brown for the body and three accent trim colors ranging from light beige to dark brown.

The proposed landscape plan features a landscaped courtyard and exterior landscaping including perimeter street trees. Bioretention facilities will be located within both the courtyard and perimeter landscaping. The planting plan consists of both low and moderate water usage plants. Trees are mostly 24-inch box in size in addition to a few 36-inch box and 15-gallon trees. Shrubs are proposed at five-gallon and one-gallon size in addition to a few 15-gallon specimens.

A ground sign is proposed at the corner of Waterworld Parkway and Civic Circle. The approximately 5’ x 6’ sign will be framed by decorative columns and a trellis that increase the overall dimensions to 6.5’ x 10’. The sign columns and “frame” will have a stucco finish. The sign face will consist of recessed granite tiles and brass lettering.

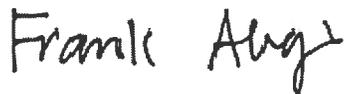
Staff has the following comments and recommendations on the project.

- Evaluate whether the building's horizontal and vertical elements are balanced to minimize mass and create visual interest along the long facades facing Civic Circle and the future Commerce Avenue extension.
- Enhance key building elements and focal points such as the main entrance and towers with accent colors or materials.
- Consider irrigation design requirements in areas where a combination of low and moderate water use plants are placed together.
- Consider reducing the overall dimensions and bulk of the sign by eliminating the space between the trellis and sign, or using a trellis frame or lighter column detail.
- Incorporate building address into the sign.
- Provide trash enclosure details. The enclosure shall be designed with the same architectural features as the building.

IV. RECOMMENDED ACTION

Staff recommends the Board review the plans, consider the recommendations discussed in this report, identify any additional issues, and provide the applicant with comments for incorporation into the formal application.

Prepared by:



Frank Abejo
Senior Planner
(925) 671-3128
frank.abejo@cityofconcord.org

Exhibits: (all exhibits stamped received May 29, 2014)

- A - Statement of Design Intent
- B - Project Plans
- C - Visual Simulations

RECEIVED

MAY 29 2014

PLANNING

Oakmont of Concord

Statement of Design Intent

This project is located in the Downtown Mixed Use zoning district. The project was designed to exceed the minimum required building height and floor area ratios, with the main roof line at about 31 ft above first floor elevation, and tower elements to 36 ft. The challenge for the architectural design was to provide a design that would meet the intent of the underlying zone, while meeting the needs of our business model and the needs of our residents to have a building with a residential character. We believe that we have created a design that will be visually pleasing as viewed from the outside by drivers and pedestrians while focusing the main design effort on the building courtyards and interiors, recognizing that this will be a senior assisted living facility where the average age of the residents will be over 80, including some with special memory care needs. The building height will be similar to and compatible with the adjoining low rise office buildings to the east and southeast of the project, but will be necessarily more residential in character, with architectural elements of sloped roofs covered with mission style clay roof tiles and a stucco body, with visual interest added by the use of shutter and balcony/railing features and stucco capped foam sill and trim elements, providing significant articulation to all building elevations.

There were few suitable design cues to pick up from the surrounding uses, which consist of Waterworld Parkway and the constructed channel of Walnut Creek to the west; the parking lot of Waterworld and the future Commerce Blvd to the north; a parking lot and low rise office project to the east; and a multi-story parking garage to the south. The proposed project will bring a welcomed softer residential feel to the architecture of the neighborhood, appropriate given the project's location adjoining the parking lot for Waterworld. Double rows of street trees are planned along the adjoining roadways, with one row between the curb and sidewalk and the other between the sidewalk and the parking lot or building, to create a shaded promenade effect along the roadways. Landscaped storm water treatment areas will be integrated into the planting areas outside of the building and in the courtyards. Because of the nature of the facility, and the fact that the surrounding uses are primarily daytime uses, non-emergency access to the project is focused at the main entrance on the west side of the building, and partially in response to the City's high floor area ratio goals for this site, the site plan was developed with minimal setbacks on the exterior, to allow for maximum interior courtyard space for the use and enjoyment of the residents, who generally have more limited mobility. Each of the courtyard spaces will be attractively landscaped with gardens, fountains, lawn and seating areas to encourage frequent use by the residents. Separate courtyards with similar amenities will be provided for the assisted living and the memory care residents. A fenced pet park has been incorporated along the south side of the building, surrounded with dense tree planting to provide shade. An outdoor dining patio will be provided at the southwest corner of the facility, and will be enclosed with a low wall.

Every effort is being made with the interior and exterior architecture and landscaping to create a visually appealing exterior and a functional and inviting interior and courtyard experience for the residents, while acknowledging the goals of the Downtown Mixed Use District.

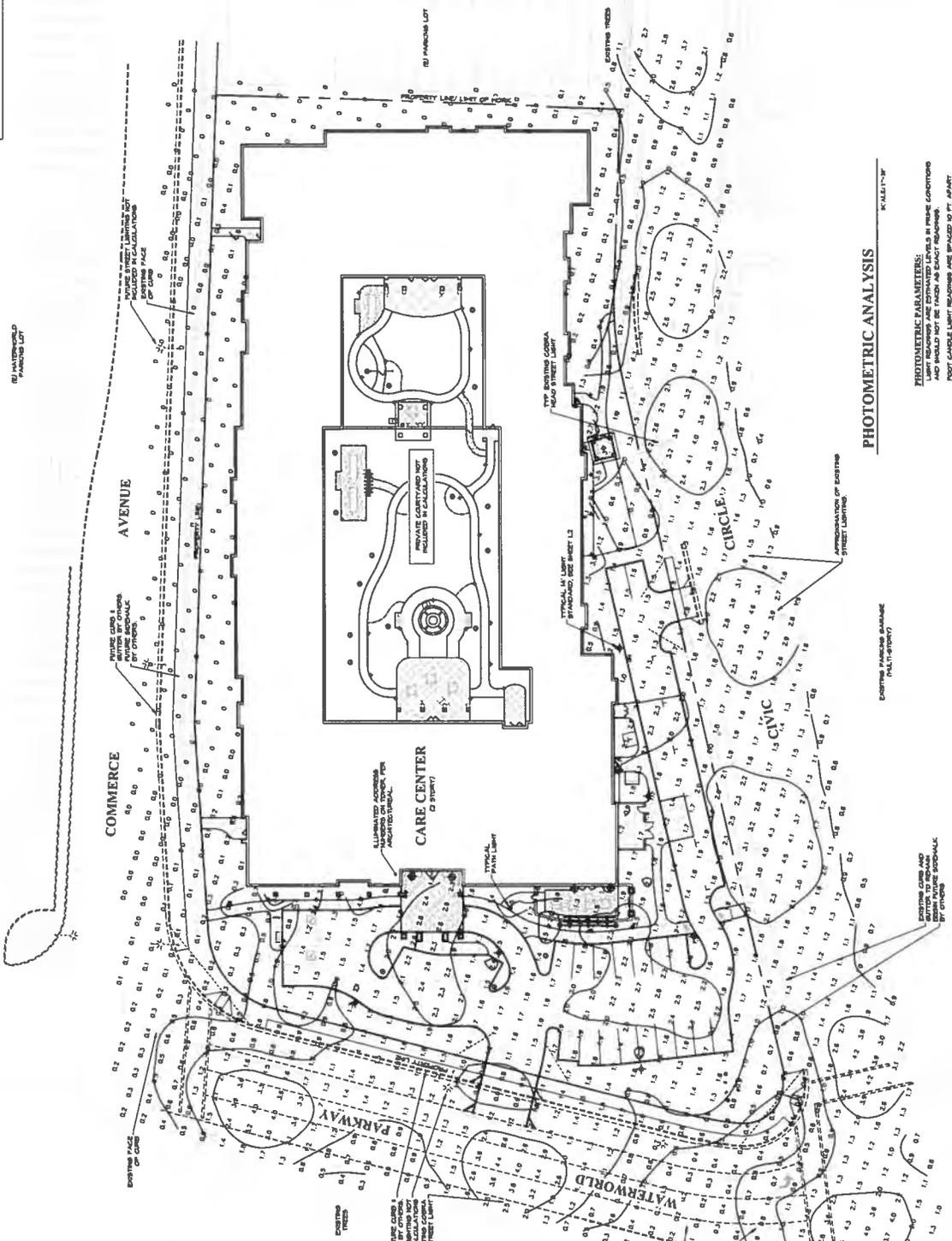
APPROXIMATE SHOWN (BASED ON THE AVAILABLE INFORMATION) SHALL BE USED FOR PUBLIC IMPROVEMENTS IN THIS PROJECT. THE PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF CONCORD, CALIFORNIA. THE PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF CONCORD, CALIFORNIA. THE PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF CONCORD, CALIFORNIA.

LIGHTING NOTES

1. ALL LIGHTING SHALL MEET THE APPLICABLE STANDARDS OF THE ILLUMINATING ENGINEERING SOCIETY (IES).
2. ALL LIGHTING SHALL BE IN ACCORDANCE WITH THE CITY OF CONCORD, CALIFORNIA.
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10. ALL LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH THE CITY OF CONCORD, CALIFORNIA.

LIGHTING LEGEND

- 1. FUTURE LIGHTING - IDENTIFIED AT OFF-SITE PLANNING LEVEL.
- 2. FUTURE LIGHTING - IDENTIFIED AT PRELIMINARY DESIGN LEVEL.
- 3. FUTURE LIGHTING - IDENTIFIED AT CONCEPT DESIGN LEVEL.
- 4. FUTURE LIGHTING - IDENTIFIED AT ARCHITECTURAL PLAN LEVEL.
- 5. FUTURE LIGHTING - IDENTIFIED AT CONCEPT DESIGN LEVEL.
- 6. FUTURE LIGHTING - IDENTIFIED AT ARCHITECTURAL PLAN LEVEL.
- 7. FUTURE LIGHTING - IDENTIFIED AT CONCEPT DESIGN LEVEL.
- 8. FUTURE LIGHTING - IDENTIFIED AT ARCHITECTURAL PLAN LEVEL.
- 9. FUTURE LIGHTING - IDENTIFIED AT CONCEPT DESIGN LEVEL.
- 10. FUTURE LIGHTING - IDENTIFIED AT ARCHITECTURAL PLAN LEVEL.



PHOTOMETRIC ANALYSIS

PHOTOMETRIC PARAMETERS: LIGHTING LEVELS AND FOOT CANDLE READINGS ARE SPACED 10 FT. APART. THESE VALUES ARE ESTIMATED LEVELS IN THESE CONDITIONS AND SHOULD NOT BE TAKEN AS EXACT READINGS.

PHOTOMETRIC PARAMETERS: LIGHTING LEVELS AND FOOT CANDLE READINGS ARE SPACED 10 FT. APART. THESE VALUES ARE ESTIMATED LEVELS IN THESE CONDITIONS AND SHOULD NOT BE TAKEN AS EXACT READINGS.

OAKMONT OF CONCORD
1401 CIVIC COURT
CONCORD, CALIFORNIA

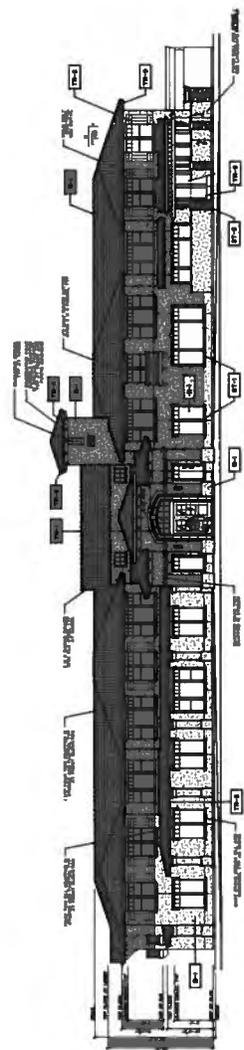
LAND DESIGN GROUP
3344 GRAVENSTEIN HWY., N. SEBASTOPOL, CA
(707) 829-2580

PHOTOMETRIC ANALYSIS

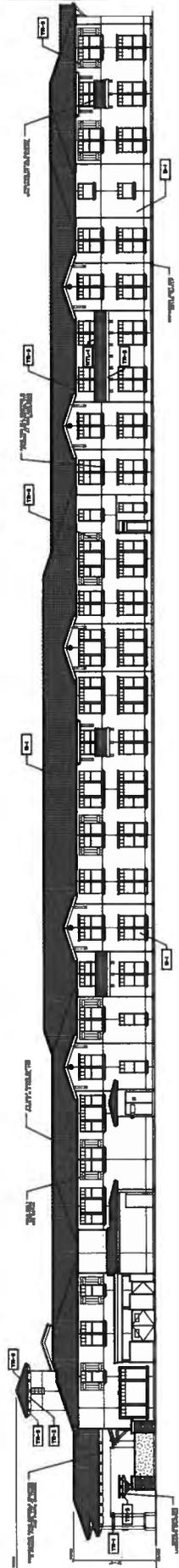
OAKMONT SENIOR LIVING



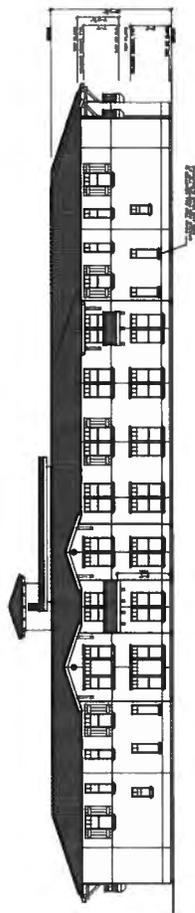
EXTERIOR ELEVATIONS



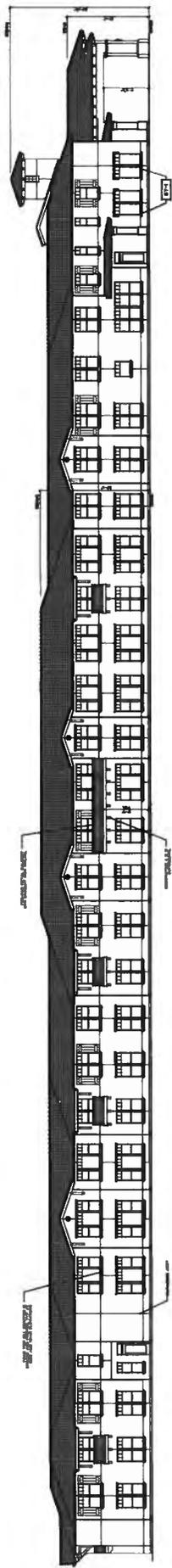
WEST ELEVATION
 1/8" = 1'-0"



SOUTH ELEVATION
 1/8" = 1'-0"



EAST ELEVATION
 1/8" = 1'-0"



NORTH ELEVATION
 1/8" = 1'-0"

COLOR AND MATERIAL SCHEDULE

NO.	DESCRIPTION	FINISH
01	WALLS	PAINT
02	CEILING	PAINT
03	FLOOR	PAINT
04	ROOF	ASPH/FLT
05	GLASS	GLASS
06	WOOD	WOOD
07	IRON	IRON
08	STEEL	STEEL
09	CONCRETE	CONCRETE
10	BRICK	BRICK
11	STONE	STONE
12	CLAY TILE	CLAY TILE
13	GLASS BLOCK	GLASS BLOCK
14	GLASS CURTAIN WALL	GLASS CURTAIN WALL
15	GLASS DOOR	GLASS DOOR
16	GLASS WINDOW	GLASS WINDOW
17	WOOD DOOR	WOOD DOOR
18	WOOD WINDOW	WOOD WINDOW
19	IRON DOOR	IRON DOOR
20	IRON WINDOW	IRON WINDOW
21	STEEL DOOR	STEEL DOOR
22	STEEL WINDOW	STEEL WINDOW
23	CONCRETE DOOR	CONCRETE DOOR
24	CONCRETE WINDOW	CONCRETE WINDOW
25	BRICK DOOR	BRICK DOOR
26	BRICK WINDOW	BRICK WINDOW
27	STONE DOOR	STONE DOOR
28	STONE WINDOW	STONE WINDOW
29	CLAY TILE DOOR	CLAY TILE DOOR
30	CLAY TILE WINDOW	CLAY TILE WINDOW



ALL IDEAL
220 CONCORD BLVD.
SANTA ROSA, CALIFORNIA 95403
707-532-1200



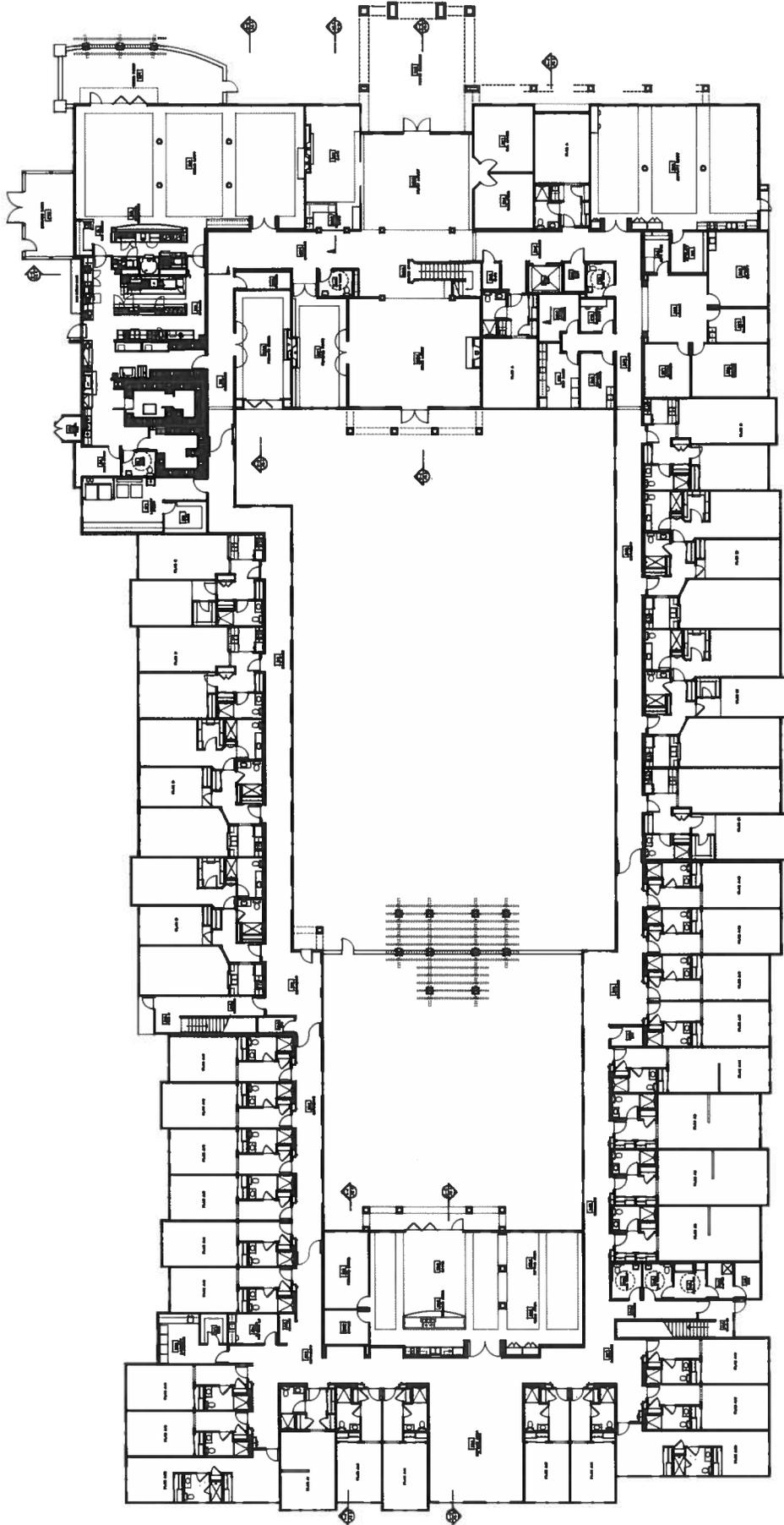
OAKMONT

Senior Living

FIRST FLOOR PLAN
OAKMONT OF CONCORD
H01 DVC COURT, CONCORD CA

DATE: 01/11/11
SCALE: AS SHOWN
PROJECT: OAKMONT OF CONCORD

SHEET NO. **A2.1**



UNIT COUNT:

FIRST FLOOR - ASSISTED	65
SUB TOTAL	65
SECOND FLOOR-ASSISTED-41	41
GRAND TOTAL	106



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

OWNER: ALI IGBAL
220 CONCOURSE BLVD.
SANTA ROSA, CALIFORNIA 95403
101-526-1200

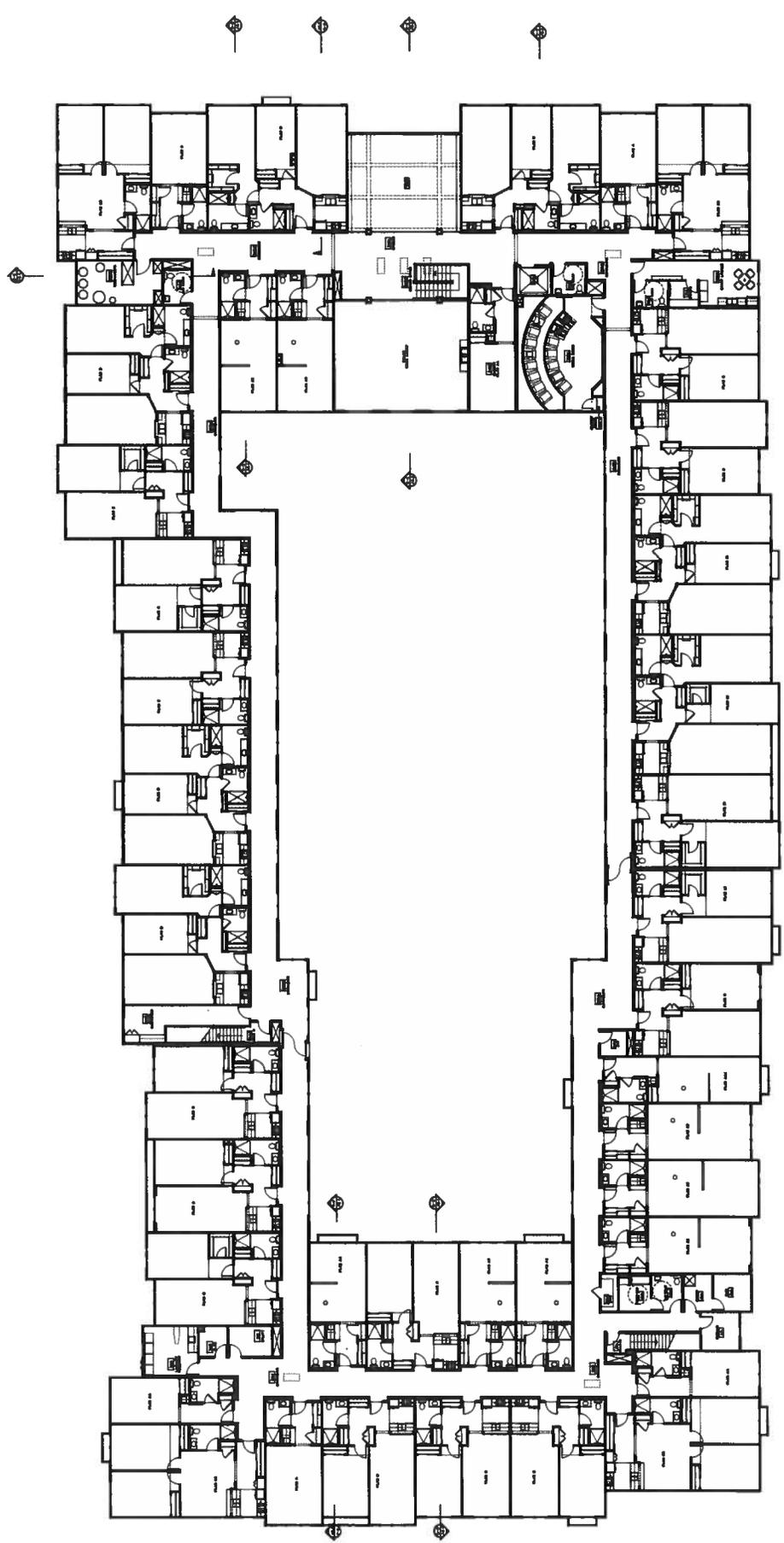


James Young
OAKMONT

SECOND FLOOR PLAN
OAKMONT OF CONCORD
100 DIVE COURT, CONCORD CA

DATE: 01/15/03
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/8" = 1'-0"

PAGE NO. **A2.2**



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



ALL IGBAL
220 CONCORD BLVD.
SANTA ROSA, CALIFORNIA 95403
107-532-3200

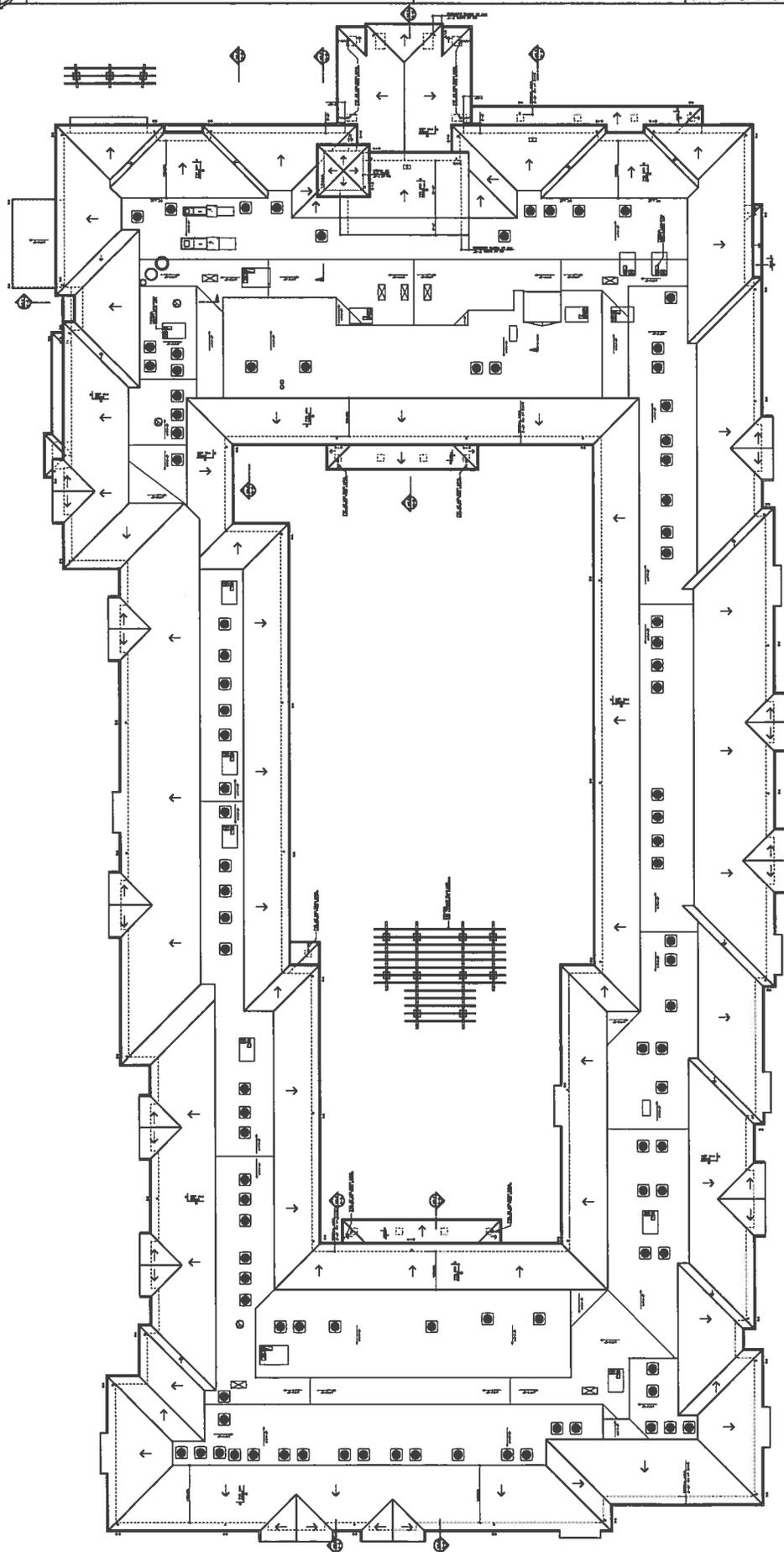


Donor Slings
OAKMONT

ROOF PLAN
OAKMONT OF CONCORD
H&I CIVIC COURT, CONCORD, CA

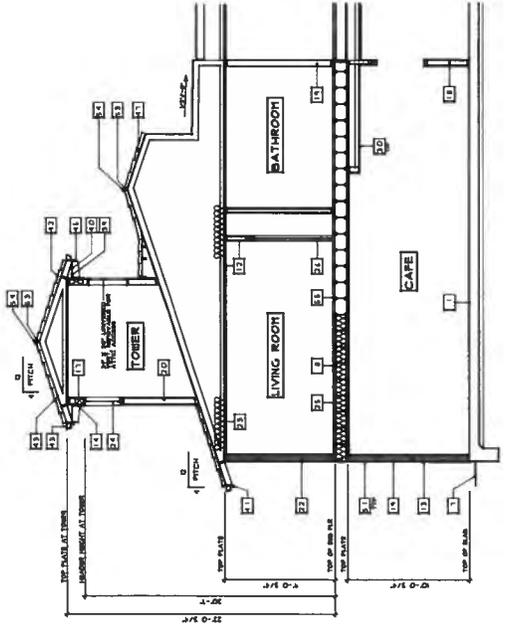
DATE: MAY 15, 2009
DRAWN BY: [Name]
CHECKED BY: [Name]

SHEET NO. **A2.3**



ROOF PLAN
SCALE: 3/32" = 1'-0"
NORTH



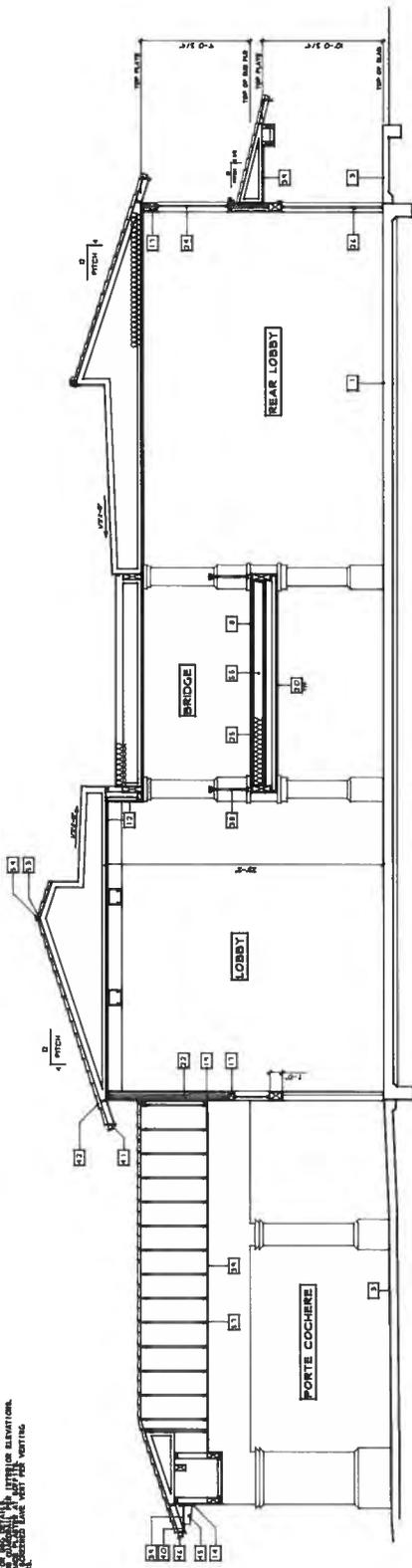


SECTION A-A
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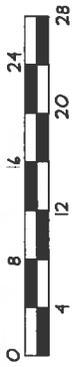
SECTION NOTES:

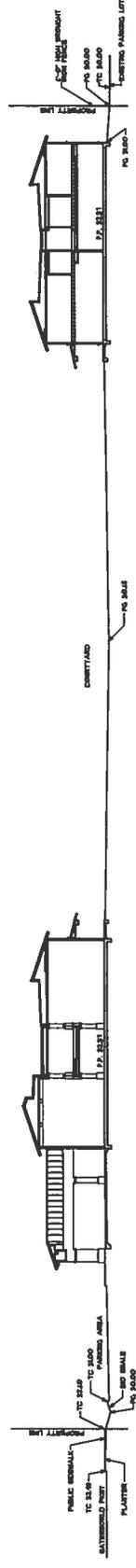
1. CONCRETE SLAB, 4" THICK.
2. CONCRETE WALLS, 12" THICK.
3. CONCRETE FLOOR, 4" THICK.
4. CONCRETE CEILING, 8" THICK.
5. CONCRETE ROOF, 12" THICK.
6. CONCRETE TOWER, 12" THICK.
7. CONCRETE BRIDGE, 12" THICK.
8. CONCRETE PORTICO, 12" THICK.
9. CONCRETE FOUNDATION, 12" THICK.
10. CONCRETE PIER, 12" THICK.
11. CONCRETE COLUMN, 12" THICK.
12. CONCRETE BEAM, 12" THICK.
13. CONCRETE SLAB, 4" THICK.
14. CONCRETE WALL, 12" THICK.
15. CONCRETE FLOOR, 4" THICK.
16. CONCRETE CEILING, 8" THICK.
17. CONCRETE ROOF, 12" THICK.
18. CONCRETE TOWER, 12" THICK.
19. CONCRETE BRIDGE, 12" THICK.
20. CONCRETE PORTICO, 12" THICK.
21. CONCRETE FOUNDATION, 12" THICK.
22. CONCRETE PIER, 12" THICK.
23. CONCRETE COLUMN, 12" THICK.
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32. CONCRETE PORTICO, 12" THICK.
33. CONCRETE FOUNDATION, 12" THICK.
34. CONCRETE PIER, 12" THICK.
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41. CONCRETE ROOF, 12" THICK.
42. CONCRETE TOWER, 12" THICK.
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200. CONCRETE PORTICO, 12" THICK.

SECTION B-B
 SCALE: 1/4" = 1'-0"

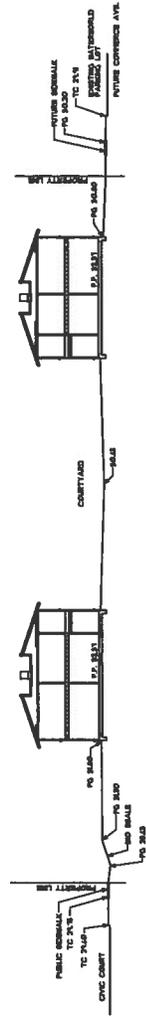


SECTION C-C
 SCALE: 1/4" = 1'-0"





SITE SECTION A-A
 SCALE: 1/8" = 1'-0"



SITE SECTION B-B
 SCALE: 1/8" = 1'-0"





OAKMONT
 OF
 CONCORD
 CIVIC COURT
 CONCORD, CALIFORNIA

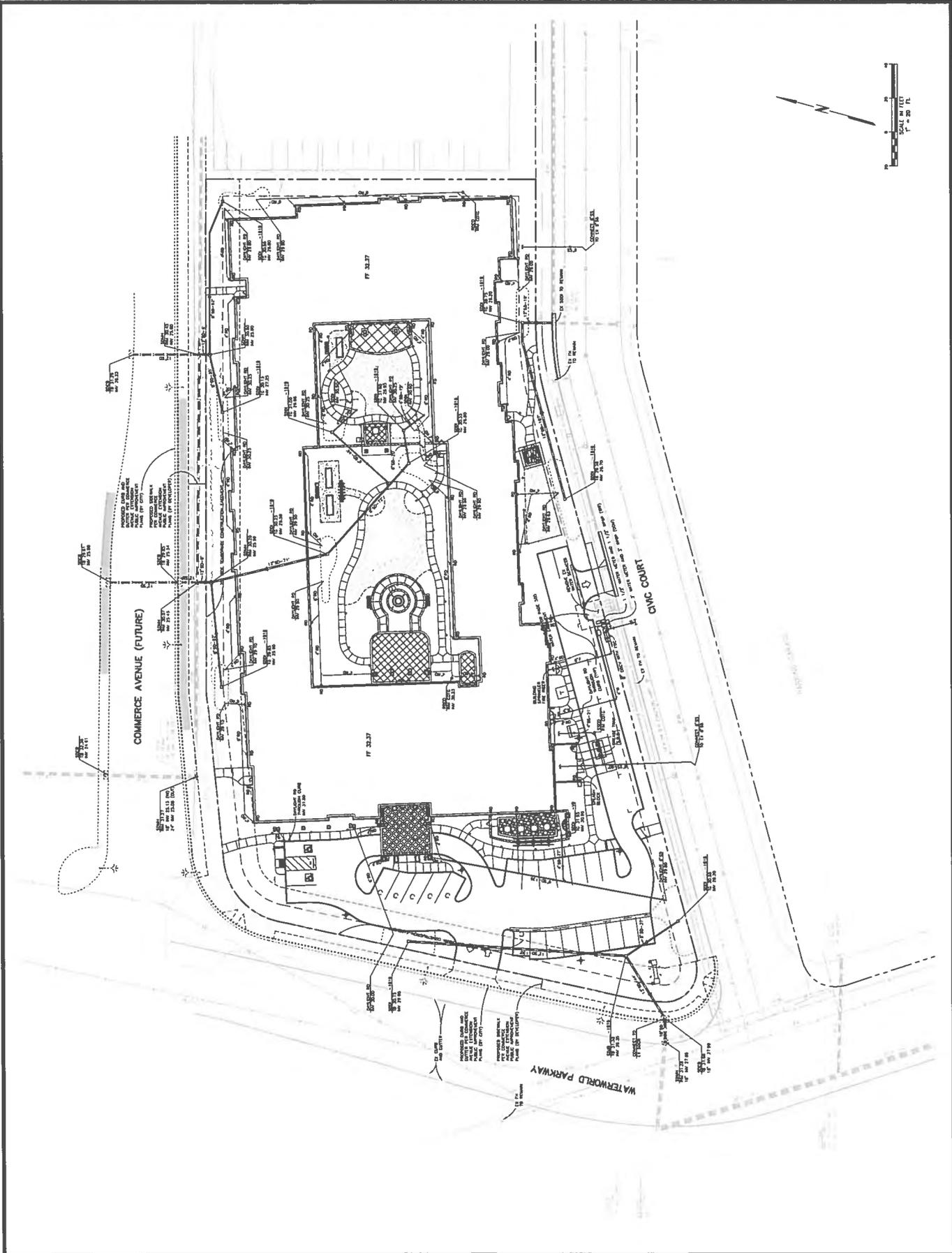
NO.	DATE	DESCRIPTION

ON A SCALE DIMENSIONALITY OF
 1" = 20' ALL DIMENSIONS SHALL BE
 GIVEN UNLESS OTHERWISE NOTED
 ALL DIMENSIONS SHALL BE GIVEN TO
 THE CENTERLINE UNLESS OTHERWISE
 NOTED

PROJECT	DATE

PRELIMINARY
 UTILITY PLAN

SHEET NO.
C3 of 5





OAKMONT
 OF
 CONCORD
 CIVIC COURT
 CONCORD, CALIFORNIA

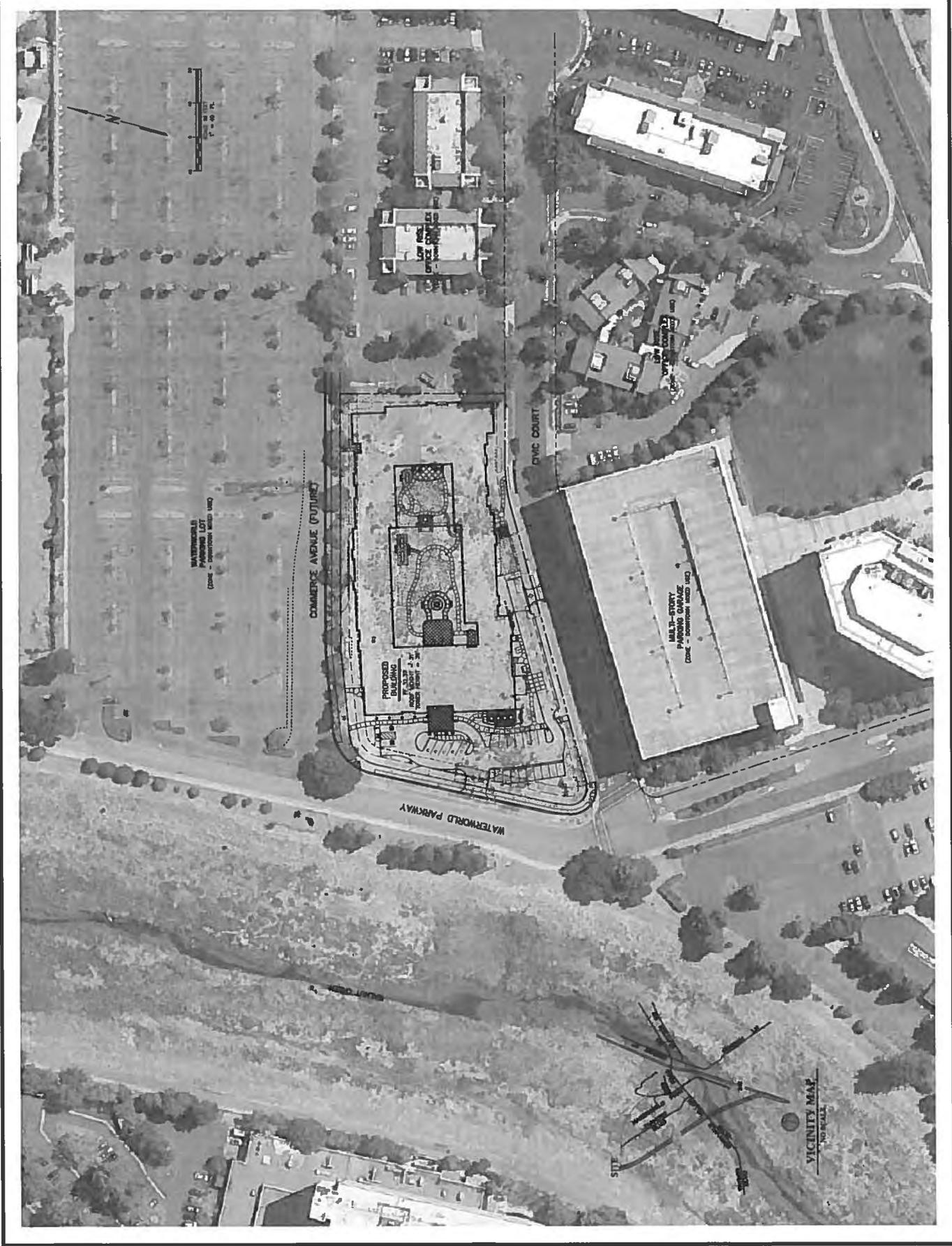
NO.	DATE	DESCRIPTION

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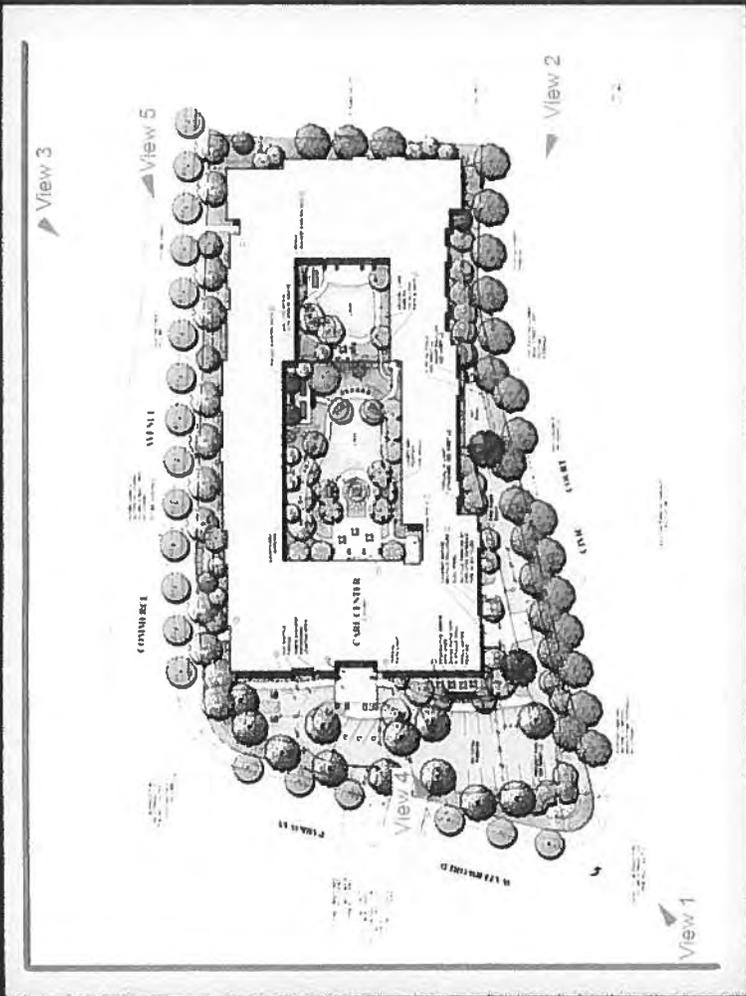
DATE: JUN 2014
 DRAWN BY: JCH
 CHECKED BY: JCH

CONTEXTUAL
 PLAN

SHEET NO.
C5 of **5**



Oakmont of Concord Visual Simulations by The Digital Realm





The Digital Realm
May 2014

Oakmont of Concord
View 1 - Waterworld Parkway

Oakmont Senior Living
Santa Rosa, CA.



The Digital Realm
May 2014

Oakmont of Concord
View 2 - Enea Circle

Oakmont Senior Living
Santa Rosa, CA.



The Digital Realm
May 2014

Oakmont of Concord
View 3 - Waterworld Parking Lot

Oakmont Senior Living
Santa Rosa, CA.



The Digital Realm
May 2014

Oakmont of Concord
View 4 - Building Entrance

Oakmont Senior Living
Santa Rosa, CA.



The Digital Realm
May 2014

Oakmont of Concord
View 5 - Commerce Ave

Oakmont Senior Living
Santa Rosa, CA.