



**REGULAR MEETING OF THE
CITY OF CONCORD
DESIGN REVIEW BOARD**

**Thursday, June 23, 2016
5:30 p.m., Regular Meeting
PERMIT CENTER CONFERENCE ROOM
1950 Parkside Drive, Bldg. D**

Design Review Board Members

Jack Moore, Chair

Kirk Shelby, Vice Chair

Ross Wells

Jason Laub – Planning Commission Liaison

AGENDA

PUBLIC COMMENT PERIOD

ADDITIONS/CONTINUANCES/WITHDRAWALS

CONSENT CALENDAR

A. [6/09/16 Meeting Minutes](#)

STAFF REPORTS

HEARINGS

- 1. [Concord Village \(PL15438 – DR\)](#)** – Design Review for a 230-unit apartment project with 2,966 sq. ft. of amenity space on a 2.3-acre site at 2400 Salvio Street and 2401 and 2471 Willow Pass Road. The General Plan land use designation is Downtown Mixed Use; zoning classification is DMX (Downtown Mixed Use). APN's: 126-083-011, -012, -013. **Project Planner: G. Ryan Lenhardt @ (925) 671-3162**
- 2. [Concord Toyota Façade Enhancement \(PL16051 – DR\)](#)** – Design Review to construct a new façade and repaint the existing Concord Toyota building at 1090 Concord Avenue. The General Plan designation is West Concord Mixed Use; Zoning classification is WMX (West Concord Mixed Use); APN 126-324-006. **Project Planner: G. Ryan Lenhardt @ (925) 671-3162**
- 3. [Ridge Park Subdivision \(PL16155 – DR\)](#)** – Design Review for four single family homes ranging in size from 3,579 to 4,135 sq. ft. located at 9999 Ridge Park Court. The General Plan designation is Low Density Residential; Zoning classification is RS-10 (Single Family Residential; 10,000 sq. ft. minimum lot size); APNs 130-090-031, -032, -033, and -034. **Project Planner: Joan Ryan @ (925) 671-3370**

BOARD CONSIDERATIONS/ANNOUNCEMENTS

STAFF ANNOUNCEMENTS

ADJOURNMENT

NOTICE TO PUBLIC

No item will be considered for hearing after 9 P.M. Items remaining on the agenda will be rescheduled.

At the beginning of the meeting any items to be held over will be announced. The staff may bring up following this, any items on the agenda that are of a routine and non-controversial nature, and the chairperson may call for action on these items without further discussion if there is no opposition present at the meeting. Normal hearings will then proceed for the remainder of the agenda.

Staff will not provide written summaries of the Board's discussions on preliminary review or continued agenda items. Applicants should be prepared to take all necessary notes regarding the Board's comments, suggestions, and directions on projects, or schedule an appointment to review tape recordings of the meetings. For items resulting in a final action by the Board, action letters will be prepared by staff and distributed to the applicant.

Correspondence and writings received that constitutes a public record under the Public Records Act concerning any matter on this agenda are available for inspection during normal business hours by contacting the Planning Division, located at 1950 Parkside Drive, Wing D, Concord, CA. For additional information contact (925) 671-3152.

In accordance with the Americans with Disabilities Act and California Law, it is the policy of the City of Concord to offer its public programs, services and meetings in a manner that is readily accessible to everyone, including those with disabilities. If you are disabled and require a copy of a public hearing notice, or an agenda and/or agenda packet in an appropriate alternative format; or if you require other accommodation, please contact the ADA Coordinator at (925) 671-3021, at least five (5) days in advance of the hearing. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility.

NEXT DESIGN REVIEW BOARD MEETINGS:

July 14, 2016

July 28, 2016



**REGULAR MEETING OF THE
CITY OF CONCORD
DESIGN REVIEW BOARD**

**Thursday, June 9, 2016
5:30 p.m., Regular Meeting
PERMIT CENTER CONFERENCE ROOM
1950 Parkside Drive, Bldg. D**

Board Members Present: J. Moore, K. Shelby, R. Barbour, R. Wells
Board Members Absent: J. Laub
Staff Present: R. Lenhardt, J. Ryan
Audience Attendance: 5 people

SUMMARY MINUTES/ANNOTATED AGENDA

PUBLIC COMMENT PERIOD - None

ADDITIONS/CONTINUANCES/WITHDRAWALS - None

CONSENT CALENDAR

A. 5/26/16 Meeting Minutes

ACTION: *Approved with changes, 3-0-1. (Wells motioned, Shelby seconded, Barbour abstained.)*

STAFF REPORTS

- 1. Kamyshin Minor Hillside Development Plan (PL15005 – DR) – Joan Ryan @ (925) 671-3370.**

ACTION: *The Board was satisfied with the grading plan and the driveway details provided. The Board requested staff confirm the elevations with the grading plan at plan check.*

HEARINGS

- 1. Costa Hillside Residence (PL16204 – DR) – Design Review for a single-family residence measuring 3,189 sq. ft. on a 1.0-acre hillside lot at Holly Drive. The General Plan designation is Rural Residential; Zoning classification is RR-40 (Single Family Residential, 40,000 sq. ft. minimum lot size); APN: 117-060-035. Project Planner: Joan Ryan @ (925) 671-3370**

ACTION: *Recommended for approval 4-0 (Wells motioned, Shelby seconded, the applicant may submit staff an updated color board, consistent with alternate elevation presented.*

BOARD CONSIDERATIONS/ANNOUNCEMENTS - *None*

STAFF ANNOUNCEMENTS - *None*

ADJOURNMENT – 5:58 p.m. (4-0, *Barbour motioned, Shelby seconded.*)

NEXT DESIGN REVIEW BOARD MEETINGS:

June 23, 2016

July 14, 2016



REPORT TO DESIGN REVIEW BOARD

DATE: June 23, 2016

I. GENERAL INFORMATION

Project Name: CONCORD VILLAGE (PL15438 - DR)

Review Status: Design Review

Location: 2400 Salvio Street and 2401 and 2471 Willow Pass Road

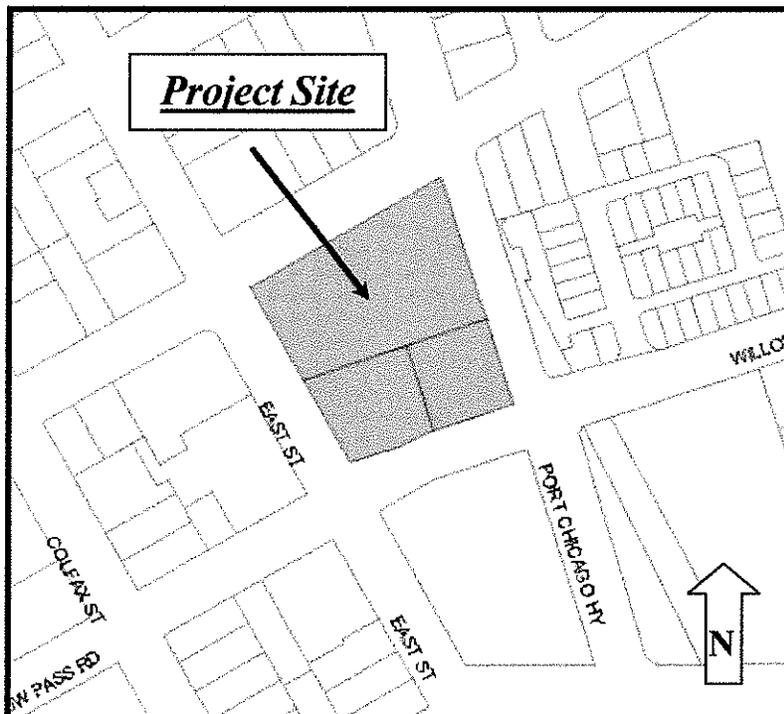
Parcel Numbers: 126-083-011, -012, -013

General Plan: Downtown Mixed Use

Zoning: DMX (Downtown Mixed Use)

Applicant: Nicholson Development Properties
Attn: Brent Nicholson
720 North 10th St., A-128
Renton WA 98057
(206) 979-9681

Vicinity Map:



II. PROJECT BACKGROUND

On May 12, 2016, the Board conducted design review of the project and provided the applicant with comments. The Board asked the applicant to provide wall sections and details that visually explain the building relief and provide information regarding the plant list and paving and landscape furniture.

On May 26, 2016, the Development Advisory Committee (DAC) deemed the project incomplete.

On June 14, 2016, Nicholson Development Properties resubmitted their application for design review in response to the Board's comments.

The Board's recommendations for design review will be incorporated as conditions of approval considered by the Planning Commission as part of the associated use permit.

III. DISCUSSION

The May 12 meeting minutes are *italicized* below followed by the applicant's response in **bold** and then staff's comments and bulleted recommendations when applicable. Overall, staff believes the Board's comments have been addressed and that any additional recommendations can be incorporated into the project's conditions of approval.

Architecture

- 1) *Provide wall sections that illustrate wall offsets, the manner in which materials return around corners, trim details, window dimensions, etc.*

Typical building profile sections in 2D and 3D are shown on Sheets A-17 and A-18 respectively.

The applicant addressed the Board's direction.

- 2) *Provide a detail and layout of the wall reglets (stucco scoring) with dimensions.*

Typical building profile sections showing the scored plaster wall along with profile sections in 3D are shown on Sheets A-17 and A-18 respectively.

Staff does not think the sections adequately address the Board's request for information and have asked the applicant to bring a detail to the meeting.

- 3) *Consider adding a barrier at the back of the seat wall along Salvio Street to prevent someone from falling into the bioswale area.*

A cast-in-place concrete wall and wood seat is proposed and a detail is shown on Sheet L-1.6.

The applicant addressed the Board's direction.

Landscaping

- 4) *Submit a final planting plan and plant list prior to the Planning Commission meeting for all trees, shrubs, groundcovers, turf, mulches, and other surfacing materials including a legend showing symbols for all plant materials, with both Latin and common name, including size, spacing, total quantities, ultimate height, and spread of materials.*

Tree canopies are shown on Sheet L-1.0 along with a landscape material and planting legend. The proposed plant list is shown on Sheet L-1.5 with quantities and sizes noted.

- It is unclear what shrubs and groundcovers are proposed in each location. Additionally, the quantity and mature height of the shrubs and groundcovers is not specified. In an effort to move the project forward, staff recommends the final landscape plan return as a staff report item prior to the issuance of the first permit.
- 5) *Provide elevations that show the relationship of the landscaping and improvements (fences, walls, landscaping) with the building.*

Detailed elevations of the decorative fencing and gates are shown on Sheets L-1.1 and L-1.2 and full street elevations are shown on Sheets L-1.6 and L-1.7.

The applicant addressed the Board's direction.

- 6) *Consider using "Kurapia," which is available from Delta Bluegrass.*

This variety is not specified in the proposed plant list.

Staff asks the Board to discuss whether the use of "Kurapia" is necessary.

- 7) *Consider leaving the benches along the perimeter of the property as a public amenity.*

The benches were removed from Salvio Street and incorporated at the customer entrance and adjacent to the fitness center on Willow Pass Road.

Staff finds the applicant's proposal appropriate.

- 8) *Consider methods of securing the tower elements so birds do not roost.*

Understood.

- Staff recommends including a condition of approval to address the Board's direction.

- 9) *Provide color and materials for all special paving, hardscape treatment, walls, fences, landscape lighting, and site furnishings along with catalog cut sheets.*

Product cut sheets and callouts are specified on the landscape plans Sheets L-1.0 – L-1.8.

The applicant addressed the Board's direction.

IV. Recommendation

Staff recommends the Board review the plans, consider the recommendations discussed below, identify any additional issues, and provide the applicant with comments for incorporation as conditions of approval.

- The applicant shall submit the final landscape plan to the Board as a staff report item prior to the issuance of the first permit.
- The applicant shall provide a detail of bird repellent wire or similar in the tower elements as part of the construction drawings and prior to the issuance of a building permit.

V. Motion

Staff has prepared the following motion for the Board's consideration for the project.

I (Board Member _____) hereby move that the Design Review Board recommend approval of Concord Village (PL15438 – DR), subject to the Development Code provisions applicable to the project, staff's recommendations, and any additional recommendations made by the Board.

Prepared by:



G. Ryan Lenhardt

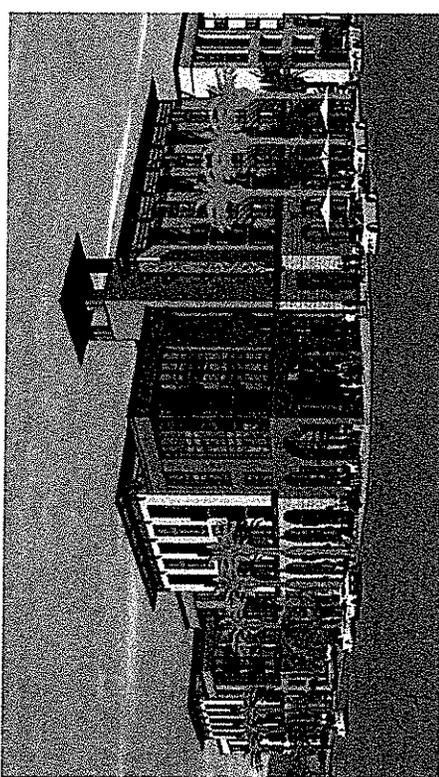
Senior Planner

(925) 671-3162

ryan.lenhardt@cityofconcord.org

Exhibit:

A - Project plans date stamp received June 14, 2016



CONCORD APARTMENTS

2400 Salvia Street and 2402 and
2471 Willow Pass Road
Concord | California

OTHER INFORMATION:
NICHOLSON DEVELOPMENT
PROPERTIES, LLC.
615 5th Ave W
Kirkland | WA | 98033

PROJECT INFORMATION

Project Name: Concord Apartments
Project Description: The 133 acre site is comprised of three contiguous parcels, each with street frontage. A mix of studios, one-bedroom, two-bedroom, and "flexible studio" units are proposed with approximately 2,000 sq ft of retail space including a Leasing Center, Mail Center, Day Shop, and fitness studio for tenants. All building units are "concrete" units and will be adaptable and accessible.
Project Address: 2400 Salvia Street and 2402 and 2471 Willow Pass Road, City of Contra Costa, California.
Governing Jurisdiction: City of Contra Costa, CA.
Development Phase: General Plan Land Use: Residential Medium Density (RM-2);
 Zoning: Residential Medium Density (RM-2);
Project Description: Type II-A Parking Garage (1.5-2) Type I-A Fire Protection System Building to be fully sprinklered.
Occupancy Classification: S-2
Use: Residential
Leasing: R-2
Phase: B
Plan: C

PROJECT DIRECTORY

ARCHITECT: SVA ARCHITECTS
 2 MACARTHUR PLACE SUITE 600
 SAN FRANCISCO, CA 94107
 PH 415.774.2300
 WWW.SVA-ARCHITECTS.COM
 CIVIL ENGINEER: PLUCKER ENGINEERING, INC.
 2100 DANNING MARION | SUITE 240
 SAN RAMON | CA | 94583
 LANDSCAPE ARCHITECT: RESERVA & PRESERVATION PLAN
 10101 WILLOW PASS ROAD SUITE 100
 CONCORD, CA 94520
 PLANNING: SVA ARCHITECTS
 2400 SALVIA STREET AND 2402 AND 2471 WILLOW PASS ROAD
 CONCORD, CA 94520
 DATE ISSUED: 04.14.2016
 PROJECT #2: 2014-0012

Site Data:

Gross Lot Area: 100,317 sq ft (2.3 acres)
 Gross Building Area: 1,240,000 sq ft (2.8 million sq ft)
 Total Area: 1,340,317 sq ft (3.1 million sq ft)
 Site area offered for access assessment to the City:
 1,240,000 sq ft (2.8 million sq ft)
 Site Area requested from City for easement:
 1,240,000 sq ft (2.8 million sq ft)
 Site Area requested from City and for easement:
 1,340,317 sq ft (3.1 million sq ft)

Open Space Calculations:

SPACE CATEGORY	AREA (SQ FT)	PERCENTAGE
Open Space	1,240,000	92.5%
Other	100,317	7.5%
Total	1,340,317	100%

Project Unit Summary and Mix:

UNIT MIX	Average Gross Sq. Ft.	TT Units	TT Units Mix	Probable Sq. Ft.	Prob. Ratio	Prog. Ratio
CONDO Studio	400.0 sq ft	12	0.2%	4,800	1.0	12
CONDO 1 Br	600.0 sq ft	48	20.0%	27,240	1.0	48
CONDO 2 Br	800.0 sq ft	39	18.0%	30,870	1.5	39
CONDO 3 Br	1,000.0 sq ft	80	34.5%	80,000	1.5	120
CONDO 4 Br	1,200.0 sq ft	43	04.7%	51,600	2.0	20
CONDO 5 Br	1,400.0 sq ft	42	18.7%	58,800	2.0	84
TOTAL	1,000.0 sq ft	220	100%	173,310		264

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Project Unit Summary and Mix:

UNIT MIX	Average Gross Sq. Ft.	TT Units	TT Units Mix	Probable Sq. Ft.	Prob. Ratio	Prog. Ratio
CONDO Studio	400.0 sq ft	12	0.2%	4,800	1.0	12
CONDO 1 Br	600.0 sq ft	48	20.0%	27,240	1.0	48
CONDO 2 Br	800.0 sq ft	39	18.0%	30,870	1.5	39
CONDO 3 Br	1,000.0 sq ft	80	34.5%	80,000	1.5	120
CONDO 4 Br	1,200.0 sq ft	43	04.7%	51,600	2.0	20
CONDO 5 Br	1,400.0 sq ft	42	18.7%	58,800	2.0	84
TOTAL	1,000.0 sq ft	220	100%	173,310		264

COVER SHEET | PROJECT DATA

PROJECT NAME: CONCORD APARTMENTS
 PROJECT ADDRESS: 2400 SALVIA STREET AND 2402 AND 2471 WILLOW PASS ROAD, CONCORD, CA 94520
 PROJECT NUMBER: A-0
 SHEET NUMBER: A-0
 SHEET TITLE: COVER SHEET | PROJECT DATA
 DATE ISSUED: 04.14.2016
 PROJECT #2: 2014-0012

PROJECT DIRECTORY

ARCHITECT: SVA ARCHITECTS
 2 MACARTHUR PLACE SUITE 600
 SAN FRANCISCO, CA 94107
 PH 415.774.2300
 WWW.SVA-ARCHITECTS.COM
 CIVIL ENGINEER: PLUCKER ENGINEERING, INC.
 2100 DANNING MARION | SUITE 240
 SAN RAMON | CA | 94583
 LANDSCAPE ARCHITECT: RESERVA & PRESERVATION PLAN
 10101 WILLOW PASS ROAD SUITE 100
 CONCORD, CA 94520
 PLANNING: SVA ARCHITECTS
 2400 SALVIA STREET AND 2402 AND 2471 WILLOW PASS ROAD
 CONCORD, CA 94520
 DATE ISSUED: 04.14.2016
 PROJECT #2: 2014-0012

COVER SHEET | PROJECT DATA

PROJECT NAME: CONCORD APARTMENTS
 PROJECT ADDRESS: 2400 SALVIA STREET AND 2402 AND 2471 WILLOW PASS ROAD, CONCORD, CA 94520
 PROJECT NUMBER: A-0
 SHEET NUMBER: A-0
 SHEET TITLE: COVER SHEET | PROJECT DATA
 DATE ISSUED: 04.14.2016
 PROJECT #2: 2014-0012

COVER SHEET | PROJECT DATA

PROJECT NAME: CONCORD APARTMENTS
 PROJECT ADDRESS: 2400 SALVIA STREET AND 2402 AND 2471 WILLOW PASS ROAD, CONCORD, CA 94520
 PROJECT NUMBER: A-0
 SHEET NUMBER: A-0
 SHEET

CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC
 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE REVISED: 04.11.2014
PROJECT NO.: 2013-0012
SCALE: NTS

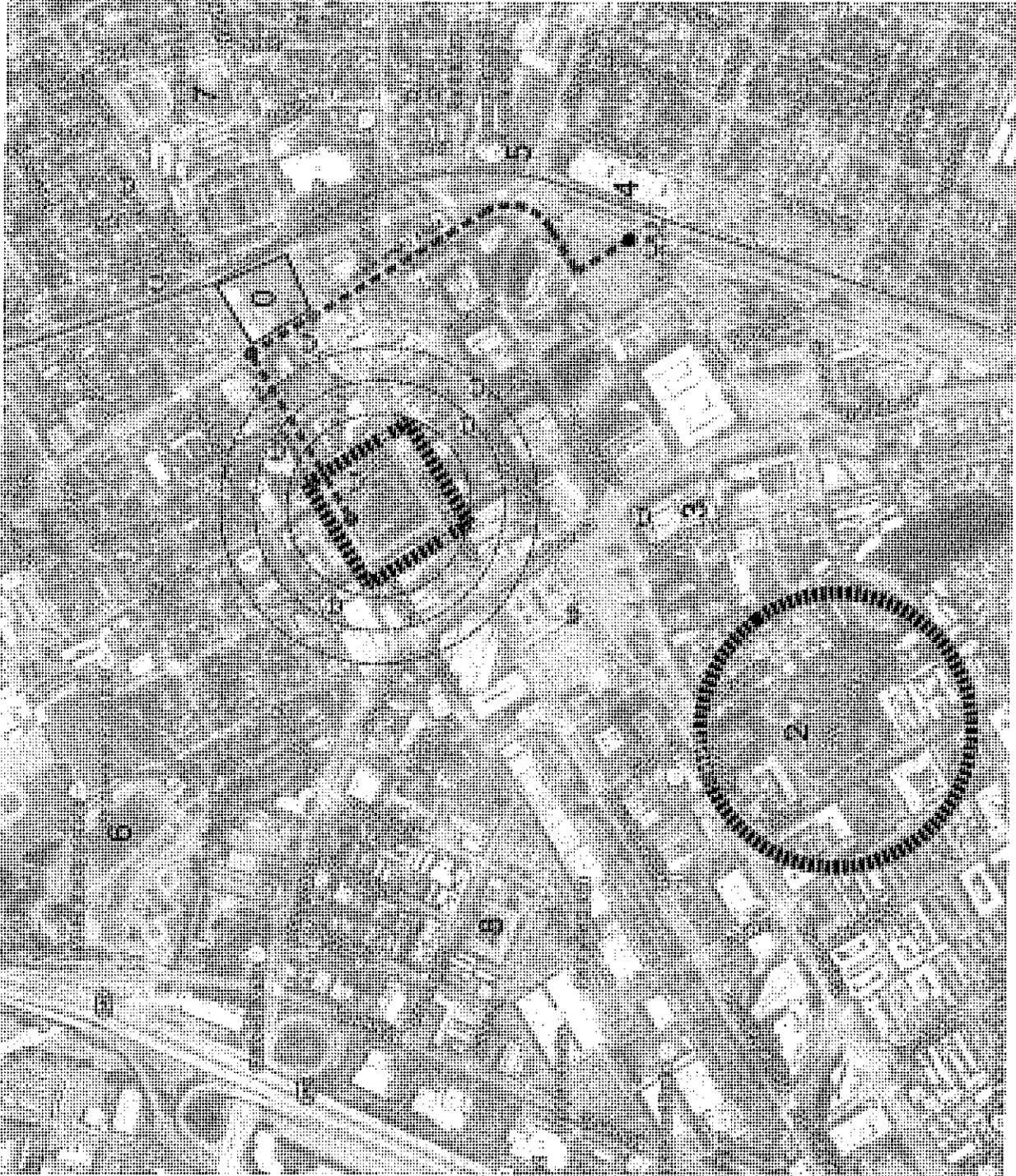
NOORTH

SHEET NUMBER: A-1

**REGIONAL
 CONTEXTUAL
 MAP**



- LEGEND:**
- Downtown Centered around Todos Santos Plaza:
 - Bart Line:
 - Pedestrian Router:
 - Bike Router:
 - Walking Distance to Open Space Areas:
 - Project Site:
 - Todos Santos Plaza:
 - Ellis Lake:
 - Galindo House | Marina:
 - Concord Bar Station:
 - Concord Terminal Shopping Center:
 - ML Diablo High School:
 - Crossroads High School:
 - Major Retail Center:
 - Bus Stop:
 - Bart Stop:



REGIONAL CONTEXTUAL MAP

CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 2471 Willow Pass Road
 Concord | California

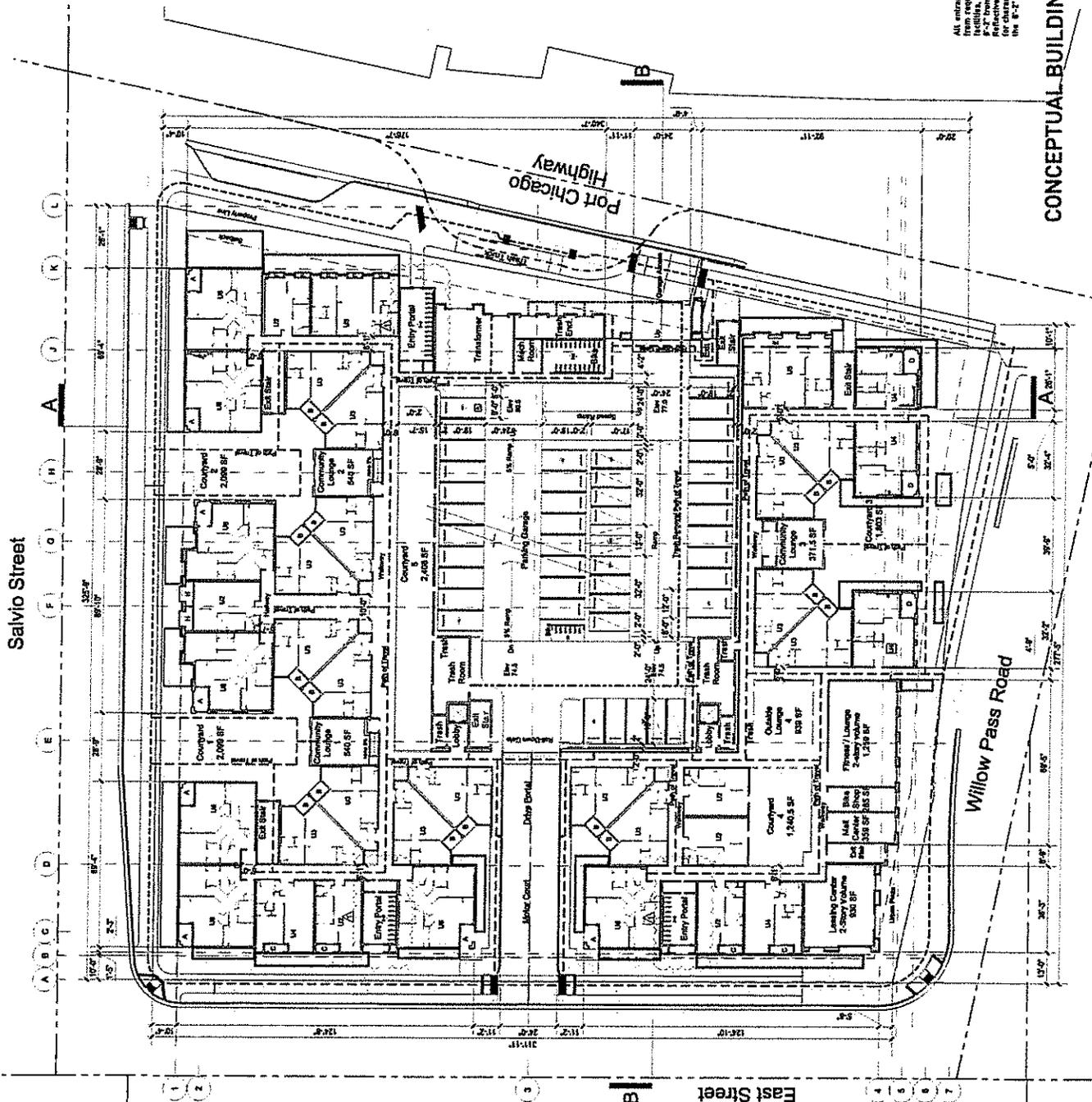
OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 9th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 04.12.2014
 PROJECT NO: 2013-0012
 SCALE: 1/8"=1'-0"

NORTH
 SHEET NUMBER: A-2
 SHEET TITLE:

**CONCEPTUAL
 BUILDING PLAN I
 LEVEL 1**



- LEGEND:**
- Property Line: ———
 - Setback Line: - - - - -
 - Accessible Path of Travel: - · - · -
 - Trash Truck Travel: - · - · -
 - Trash Removal Path of Travel: - · - · -
 - Unit Type: U
 - Balcony / Deck Type: A
 - Number of Parking Stalls:
 - Standard: ▽
 - Compact: ▽
 - Handicapped: ▽
 - Van: ▽
 - Motorcycle: ▽
 - Bicycle: ▽

NOTE:
 All entrances, exits and vehicular passages from required accessible parking areas with parking facilities, shall have a minimum vertical clearance of 8'-2" from the floor to the lowest projection of the ceiling. For character height shall be installed at transitional from the 8'-2" ceiling to lower ceiling heights in vehicular passages in the same parking level.

CONCEPTUAL BUILDING PLAN | LEVEL 1

CONCORD APARTMENTS
 2400 Salvio Street and 2402 and
 2471 Willow Pass Road
 Concord | California

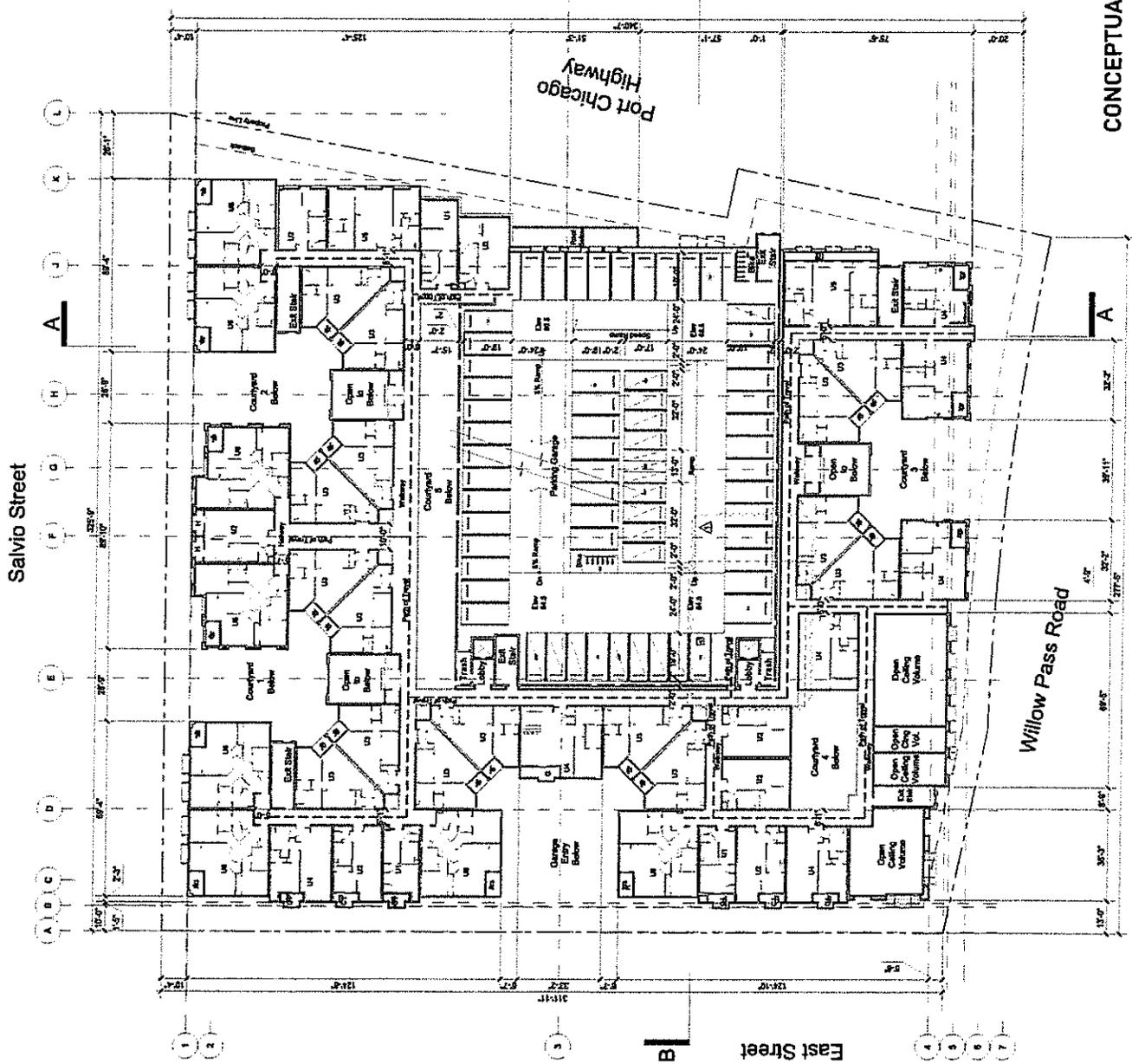
OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC,
 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 04/14/2014
 PROJECT NO: 2013-0014
 SCALE: 1/8" = 1'-0"



**CONCEPTUAL
 BUILDING PLAN I
 LEVEL 2**



CONCEPTUAL BUILDING PLAN I | LEVEL 2

CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC,
 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

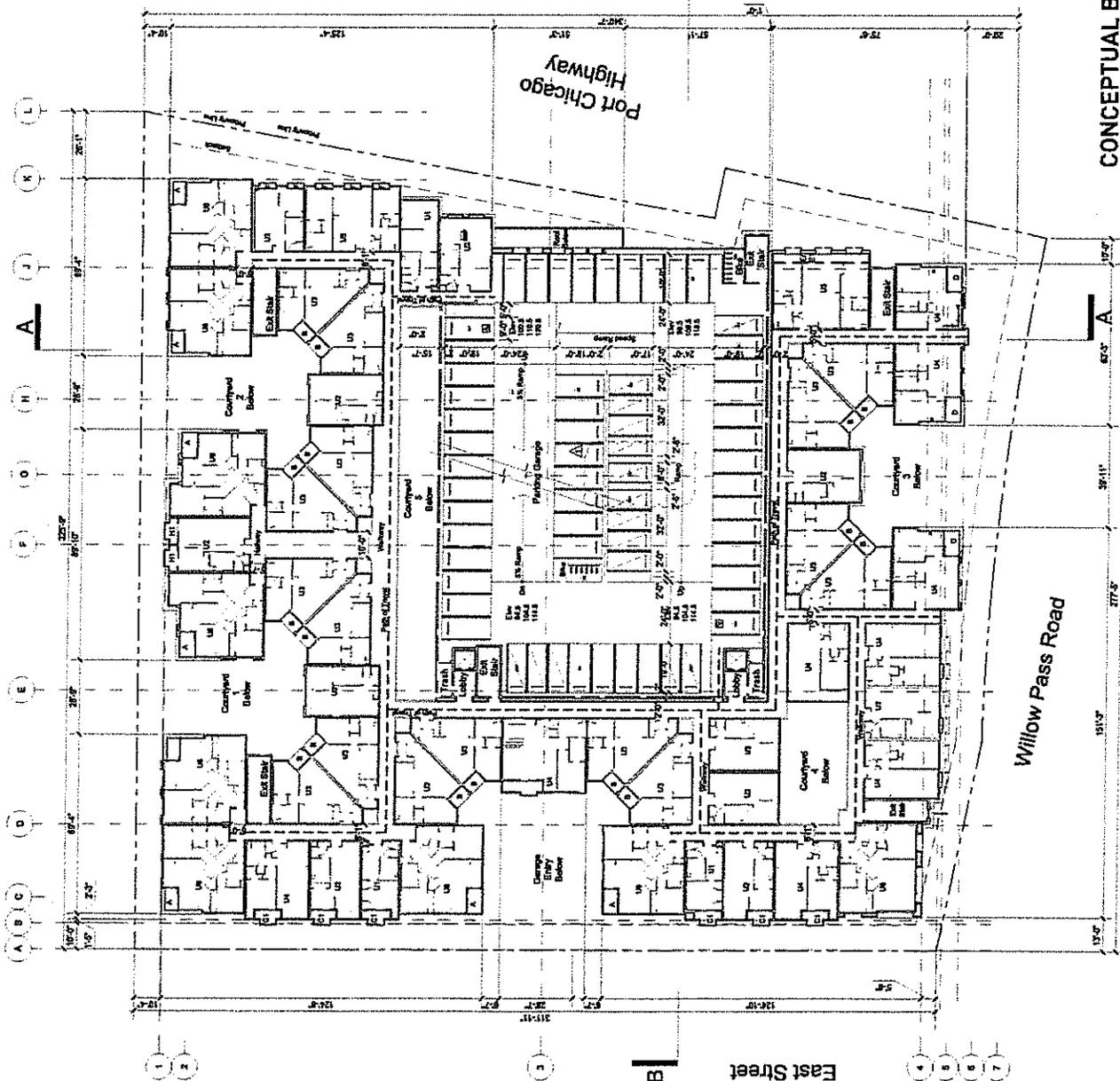
DATE ISSUED: 04.11.2014
 PROJECT NO: R13-0214
 SCALE: 1"=20'-0"



SHEET NUMBER: A-4
 SHEET TITLE: CONCEPTUAL BUILDING PLAN I LEVELS 3-5



Salvia Street



- LEGEND:**
- Property Line: ———
 - Setback Line: - - - - -
 - Accessible Path of Travel: - · - · -
 - Trash Truck Travel: - · - · -
 - Trash Removal Path of Travel: - · - · -
 - Unit Type: U
 - Balcony / Deck Type: A
 - Number of Parking Stalls:
 - Standard: ○
 - Compact: ●
 - Handicapped: □
 - Van: ▽
 - Motorcycle: ◇
 - Bicycles: ◆

NOTE:
 All entrances, exits and vehicular passageways to and from created accessible parking spaces within facilities, shall have a minimum vertical clearance of 8'-0" from the floor to the lowest projection of the ceiling. For wheelchair access, the minimum height for character height shall be included at least 10 feet from the 8'-0" ceiling to lower ceiling heights in wheelchair passageways in the same parking level.

CONCEPTUAL BUILDING PLAN I LEVELS 3-5

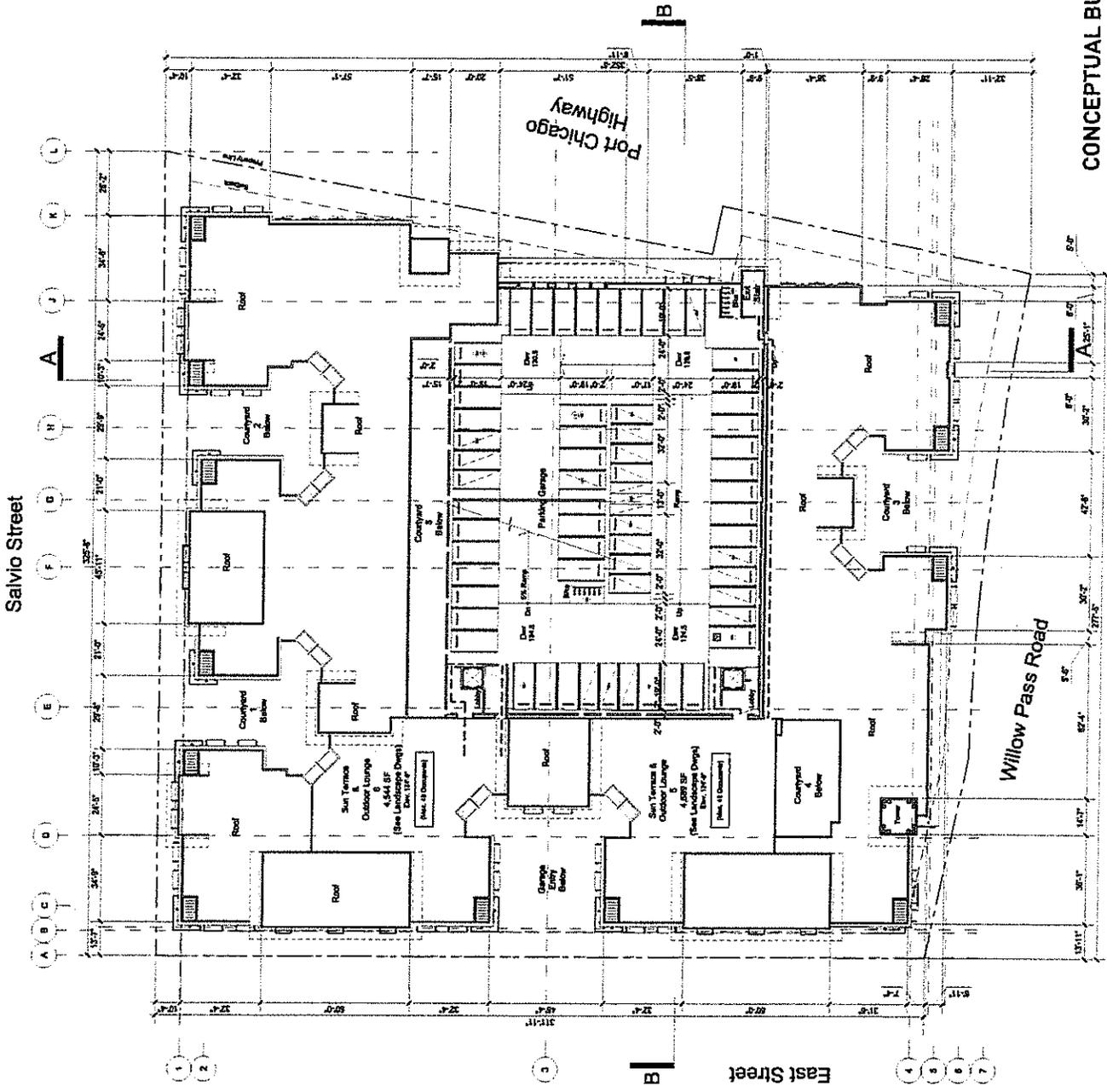
CONCORD APARTMENTS
 2400 Salvio Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 04.11.2014
 PROJECT No: 2013-0012
 SCALE: 1"=20'-0"

SHEET NUMBER: A-5
 SHEET TITLE: CONCEPTUAL BUILDING PLAN I LEVEL 6



- LEGEND:**
- Property Line: ———
 - Setback Line: - - - - -
 - Accessible Path of Travel: - · - · -
 - Trash Truck Travel: - · - · -
 - Trash Removal Path of Travel: - · - · -
 - Unit Type: u
 - Balcony / Deck Type: A
 - Number of Parking Stalls:
 - Standard: ○
 - Compact: □
 - Handicapped: ▫
 - Van: ▨
 - Motorcycle: ●
 - Bicycle: ○

NOTE:
 All entrances, exits and vehicular passages to and from the building shall have a minimum vertical clearance of 8'-2" from the floor to the lowest projection of the ceiling. For clearances below 8'-2" the ceiling shall be lowered to the 8'-2" ceiling to lower ceiling heights in vehicular passages in the same parking level.

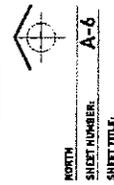
CONCEPTUAL BUILDING PLAN I LEVEL 6

CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 2471 Willow Pass Road
 Concord | California

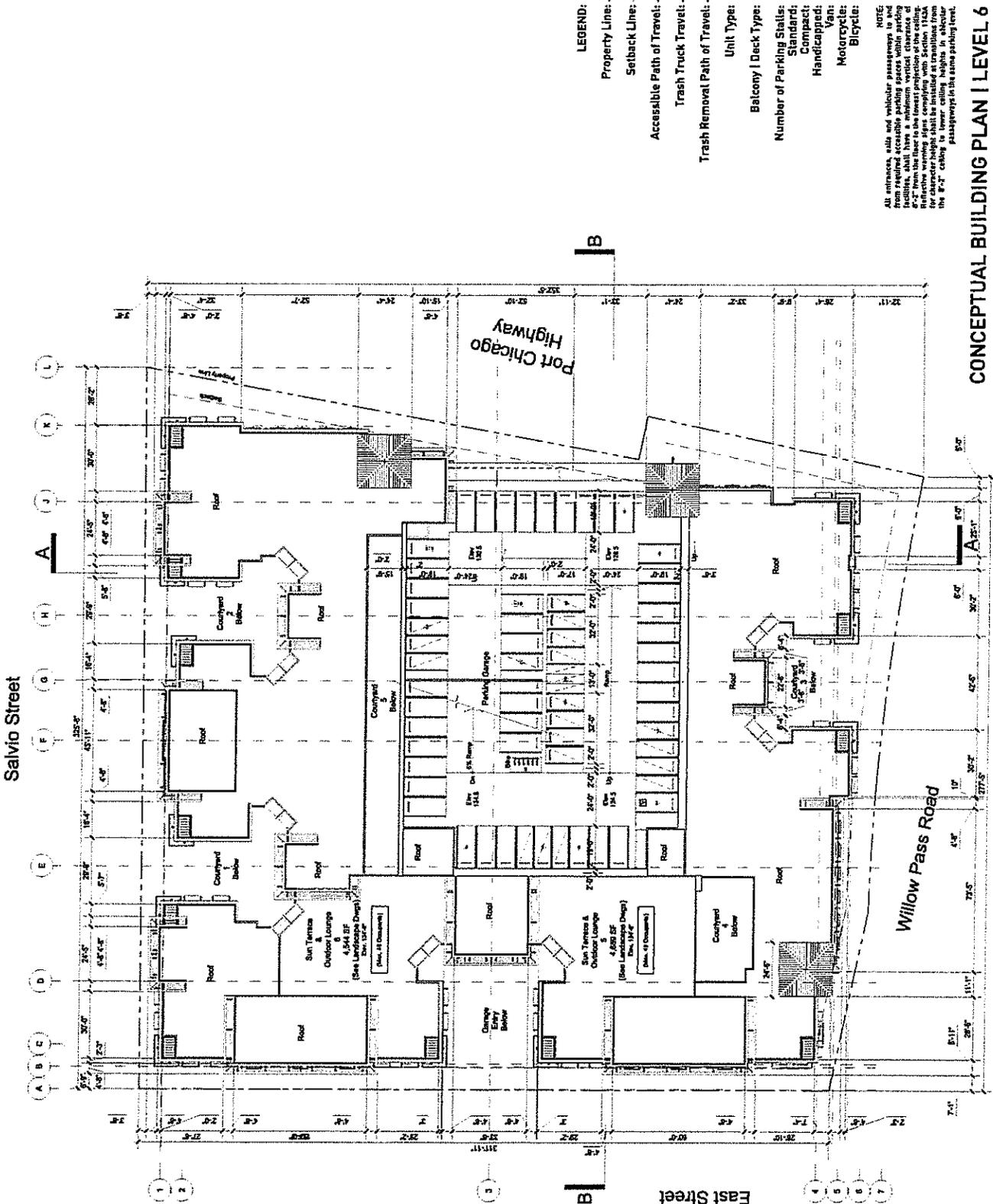
OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland WA | 98033

CONSULTANT INFORMATION:

DATE EXISTING: 04/12/2016
 PROJECT NO.: 2012-0012
 SCALE: 1/8"=1'-0"



NO. SHEET: A-6
 SHEET NUMBER: A-6
 SHEET TITLE: CONCEPTUAL BUILDING ROOF PLAN



- LEGEND:**
- Property Line: ———
 - Setback Line: - - - - -
 - Accessible Path of Travel: - - - - -
 - Trash Truck Travel: - - - - -
 - Trash Removal Path of Travel: - - - - -
 - Unit Type: u
 - Balcony / Deck Type: A
 - Number of Parking Stalls:
 - Standard: —
 - Compact: —
 - Handicapped: —
 - Van: —
 - Motorcycle: —
 - Bicycle: —

NOTE:
 All entrances, exits and wheelchair passages to and from required accessible parking spaces within facilities shall have a minimum vertical clearance of 8'-2" when the floor to the lowest projection of the ceiling is 8'-2" or less. The minimum vertical clearance for wheelchair passage shall be installed at transitions from the 8'-2" ceiling to lower ceiling heights in elevator passageways in the same parking level.

CONCEPTUAL BUILDING PLAN | LEVEL 6

CONCORD APARTMENTS
 2400 Salvio Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 9th Ave W
 Kirkland WA 98033

CONSULTANT INFORMATION:

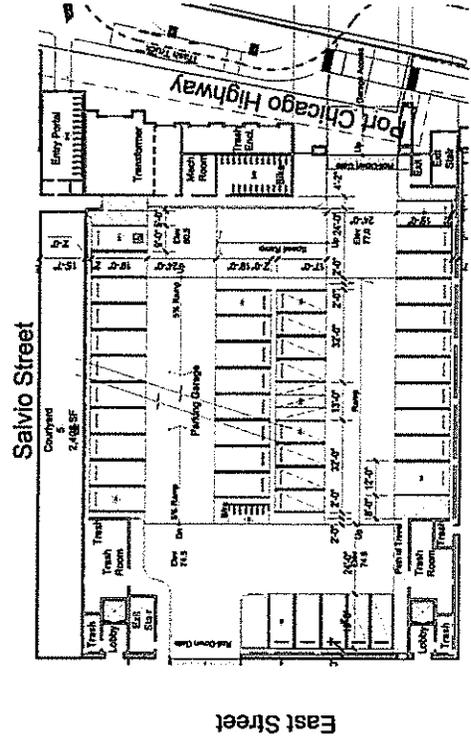
DATE SUBMITTED: 04-12-2014
 PROJECT NO.: 2013-0012
 SCALE: 1"=30'-0"

NORTH

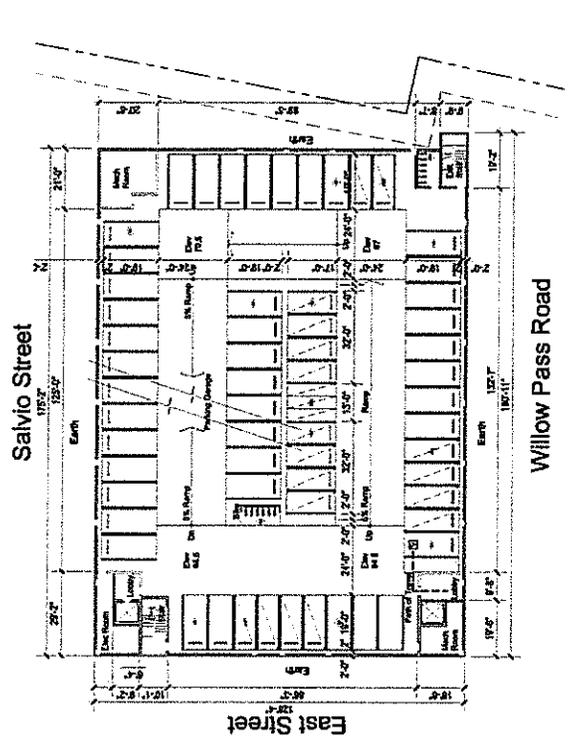
SHEET NUMBER: A-7

SHEET TITLE:

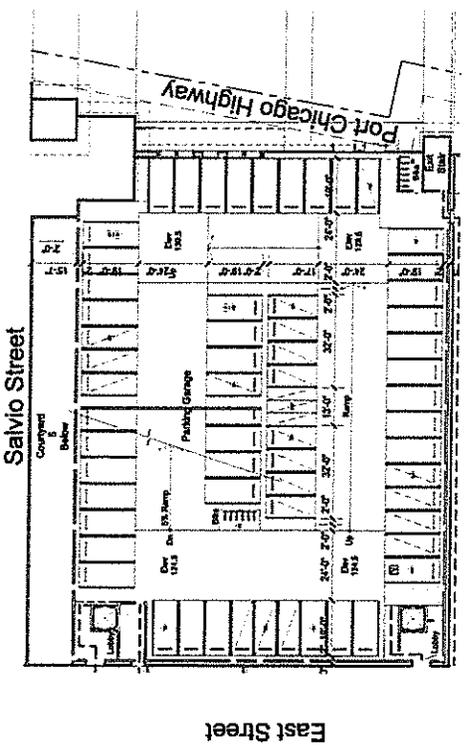
**CONCEPTUAL
 GARAGE PLANS I
 LEVELS 0-6**



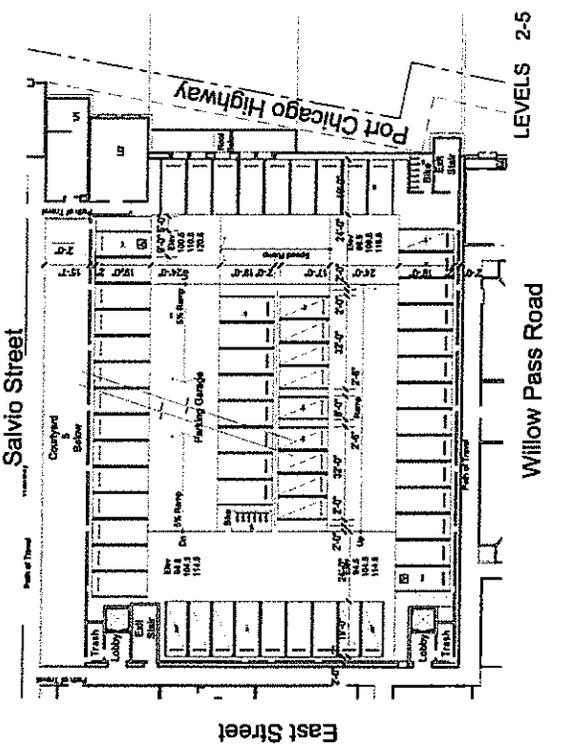
LEVEL 1 (Street)



CONCEPTUAL GARAGE PLANS | LEVELS 0-6



LEVEL P6



LEVELS 2-5

CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 2471 Willow Pass Road
 Concord | California

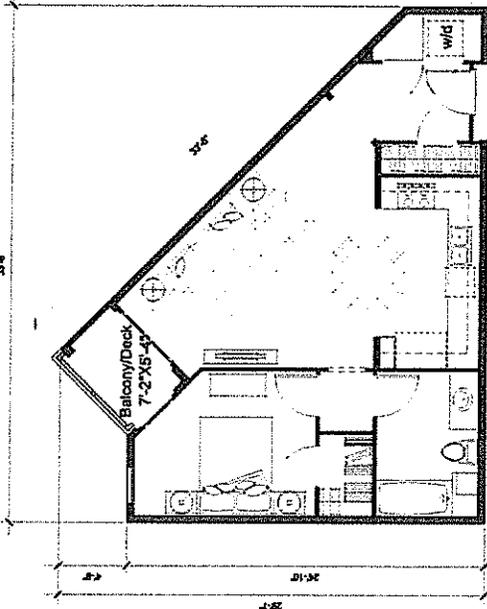
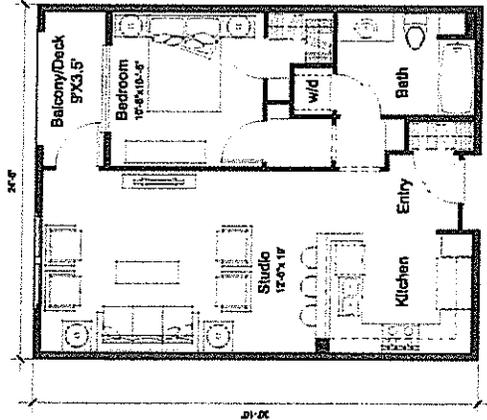
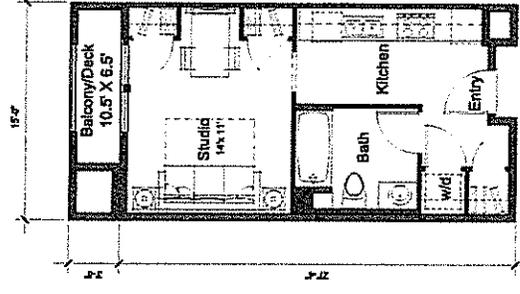
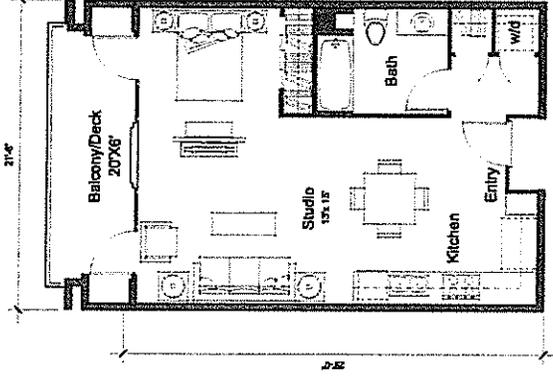
OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 545 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 04.14.2016
 PROJECT No: 2015-0012
 SCALE: 1/8" = 1'-0"

NORTH
 SHEET NUMBER: A-8
 SHEET TITLE:

CONCEPTUAL
 UNIT PLANS |
 STUDIO AND
 ONE-BEDROOM
 UNITS



CONCEPTUAL UNIT PLANS | STUDIO AND ONE-BEDROOM UNITS

CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 2471 Willow Pass Road
 Concord | California

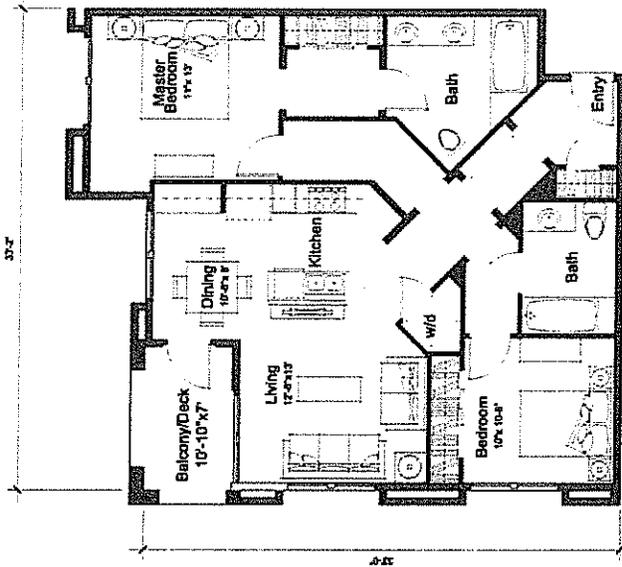
OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

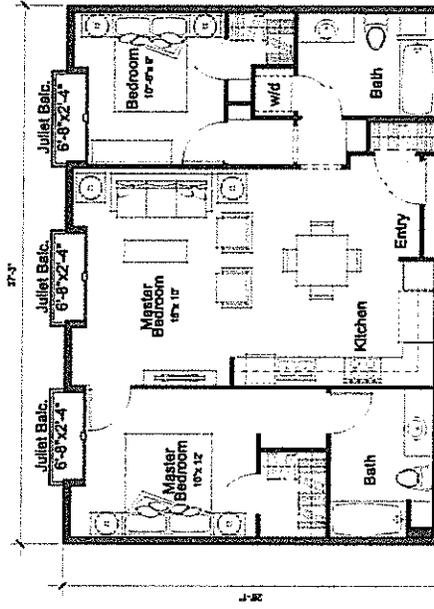
DATE ISSUED: 06/14/2014
 PROJECT NO: 2013-00162
 SCALE: 3/8"=1'-0"

PORTIN:
 SHEET NUMBER: A-9
 UNIT PLANS

CONCEPTUAL
 UNIT PLANS |
 2-BEDROOM
 UNITS



Unit 6 | Plan
 1,068.5 sq. ft.
 2 Bedroom / 2 Bath



Unit 5 | Plan
 963.5 sq. ft.
 2 Bedroom / 2 Bath

CONCEPTUAL UNIT PLANS | TWO-BEDROOM UNITS

CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 9th Ave W
 Kirkland WA 98033

CONSULTANT INFORMATION:
 NICHOLSON DEVELOPMENT ARCHITECTS, LLC.
 111 9th Ave W
 Kirkland, WA 98033

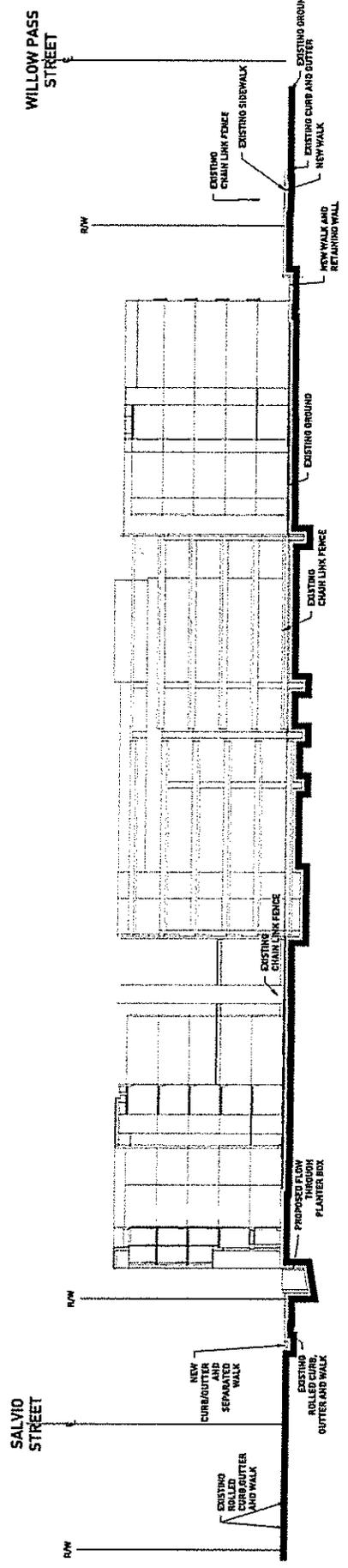
DATE ISSUED: 04.11.2024
PROJECT NO.: 2013-0010
SCALE: 3/8" = 1'-0"

SHEET NUMBER: A-10
SHEET TITLE:

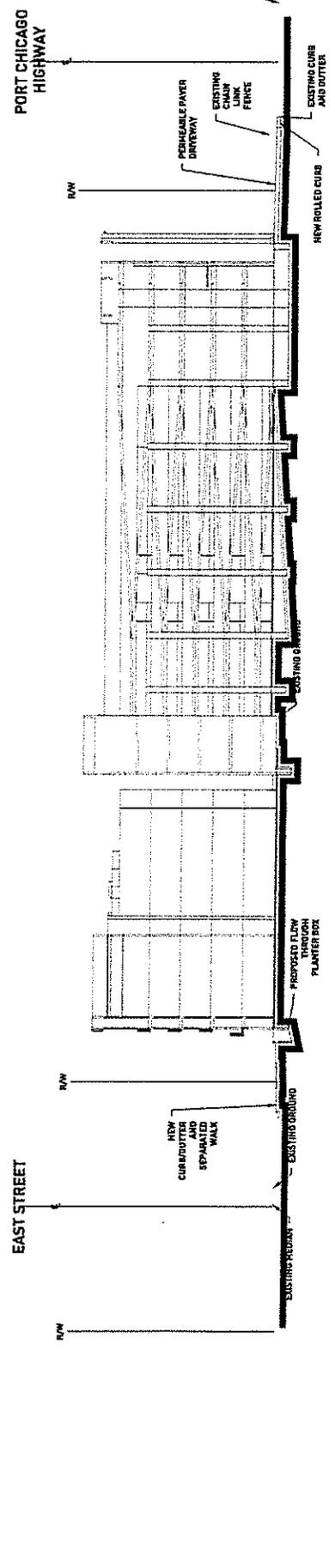
**CONCEPTUAL
 BUILDING
 SECTIONS**



ARCHITECTS
 111 9th Ave W, Kirkland, WA 98033
 206.881.1111
 www.svaarchitects.com



SECTION AA



CONCEPTUAL BUILDING SECTIONS

CONCORD APARTMENTS
 2400 Salvo Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Altriland | WA | 98033

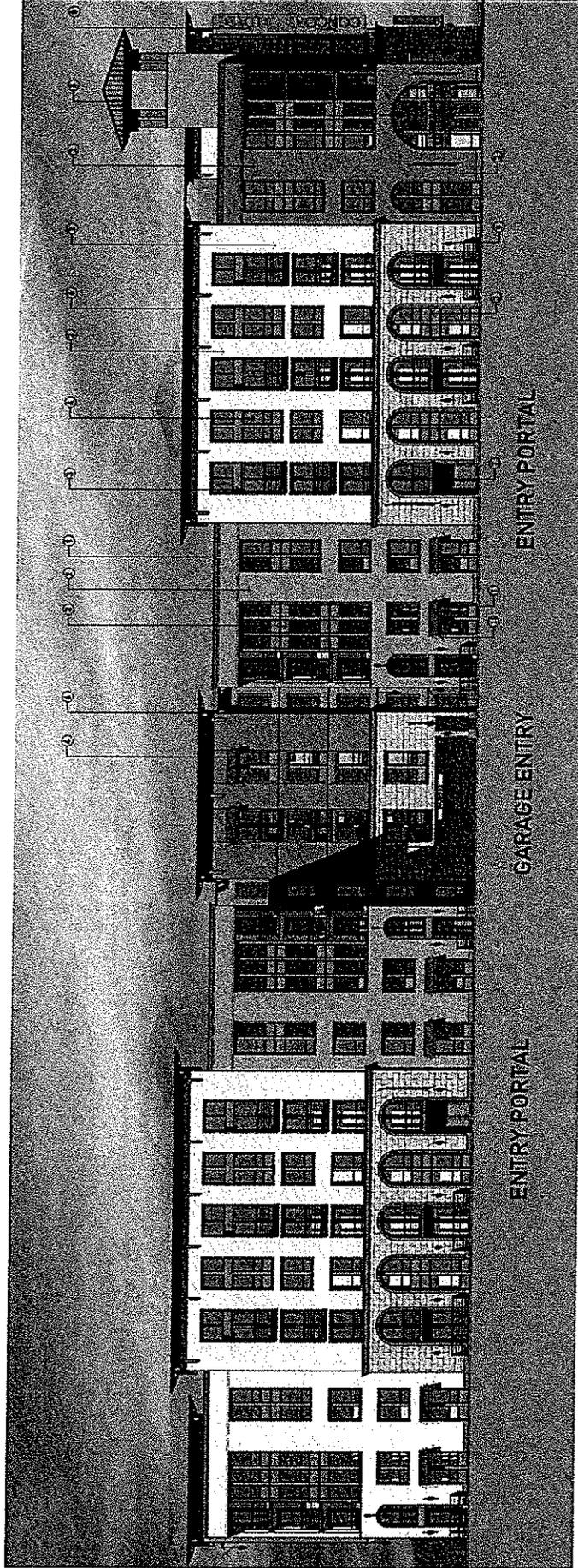
CONSULTANT INFORMATION:

DATE ISSUED: 01.14.2014
 PROJECT NO: 2013-4012
 SCALE: 1" = 20'-0"

NO. OF SHEETS: 11
 SHEET NUMBER: A-11
 SHEET TITLE:

**CONCEPTUAL
 EXTERIOR
 ELEVATIONS |
 EAST STREET**

DATE: 01/14/2014



- MATERIALS LIST:**
- 1. Metal Parapet | Cornice
 - 2. Exterior Plaster
 - 3. Metal Spandrel Panel
 - 4. Vinyl Window
 - 5. Corrugated Metal Roof
 - 6. Plaster Cornice
 - 7. Metal Railing
 - 8. Perforated Metal Signage
 - 9. Exterior Lighting
 - 10. Metal Finish Awning Brackets
 - 11. Metal Awning
 - 12. Scored Plaster Finish
 - 13. Perforated Metal Screen | Green Wall

CONCEPTUAL EXTERIOR ELEVATIONS | EAST STREET

CONCORD APARTMENTS
 2400 Satio Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC,
 515 5th Ave W
 Kirkland | WA | 98033

CONTRACT INFORMATION:

DATE ISSUED: 04.11.2011
 PROJECT NO: 2010-1014
 SCALE: 1"=20'-0"

NO. NORTH: A-12
 SHEET NUMBER:
 SHEET TITLE:

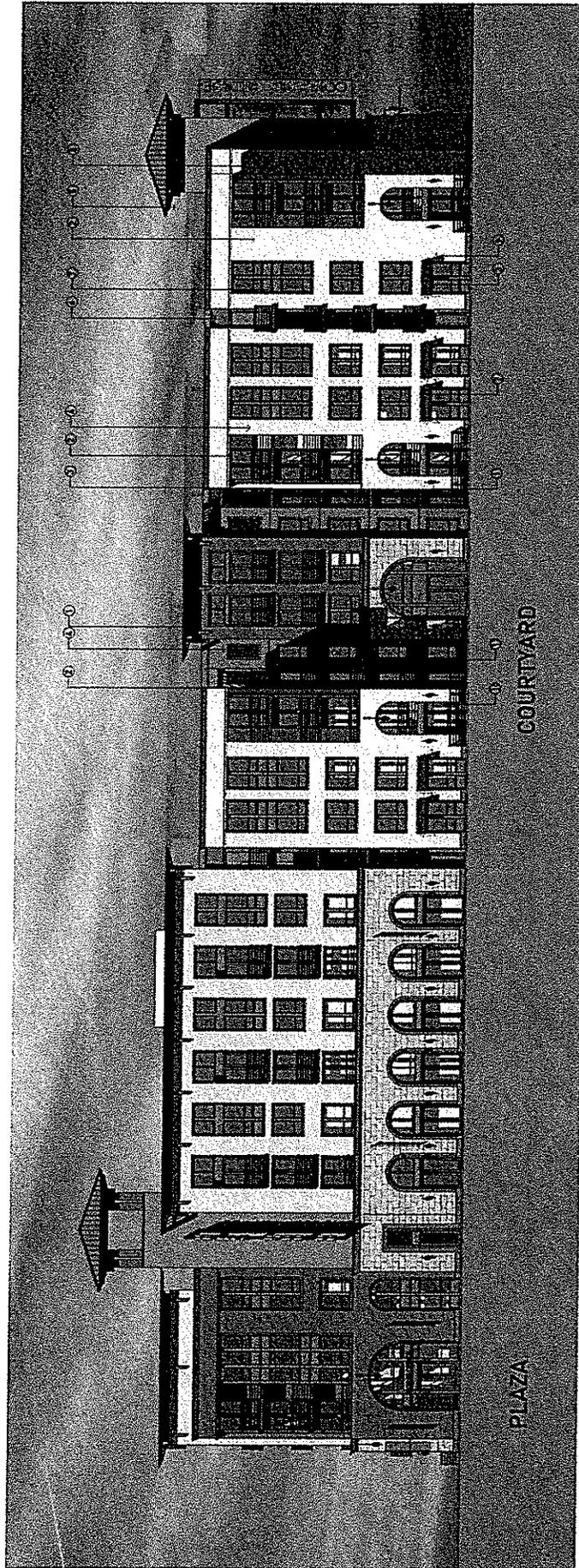
**CONCEPTUAL
 EXTERIOR
 ELEVATIONS |
 WILLOW PASS ROAD**

14470



ARCHITECTS

1000 Broadway, Suite 1000, San Francisco, CA 94107
 Tel: 415.774.8900 | Fax: 415.774.8901
 www.sva.com



- MATERIALS LIST:**
- 1. Metal Parapet | Cornice
 - 2. Exterior Plaster
 - 3. Metal Spandrel Panel
 - 4. Vinyl Window
 - 5. Corrugated Metal Roof
 - 6. Plaster Cornice
 - 7. Metal Railing
 - 8. Perforated Metal Signage
 - 9. Exterior Lighting
 - 10. Metal Finial Awning Braces
 - 11. Metal Awning
 - 12. Scored Plaster Finish
 - 13. Perforated Metal Screen | Green Wall

CONCEPTUAL EXTERIOR ELEVATIONS | WILLOW PASS ROAD

CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 2471 Willow Pass Road
 Concord | California

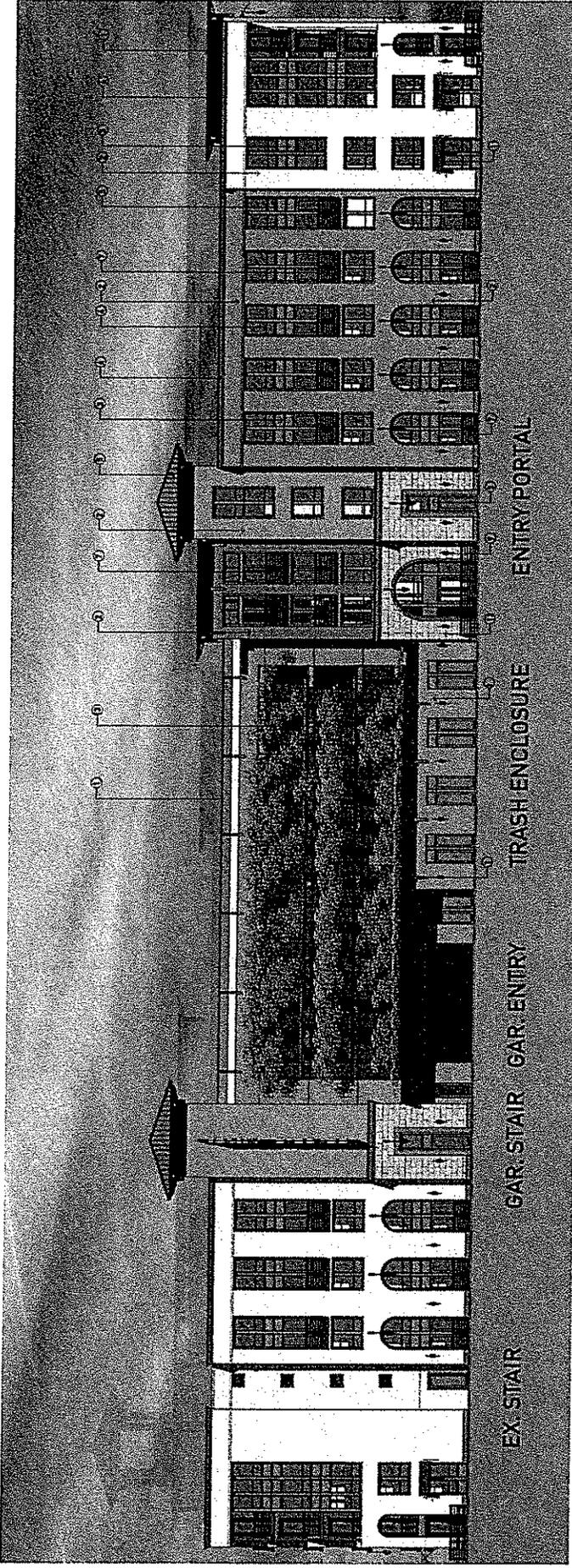
OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE REVISED: 04.14.2014
 PROJECT NO: 2013-0014
 SCALE: 1"=20'-0"
 NORTH

SHEET NUMBER: A-13
 SHEET TITLE:

**CONCEPTUAL
 EXTERIOR
 ELEVATIONS |
 PORT CHICAGO
 HIGHWAY**



- MATERIALS LIST:**
- 1. Metal Parapet | Cornice
 - 2. Exterior Plaster
 - 3. Metal Spandrel Panel
 - 4. Vinyl Window
 - 5. Corrugated Metal Roof
 - 6. Plaster Cornice
 - 7. Metal Railing
 - 8. Perforated Metal Signage
 - 9. Exterior Lighting
 - 10. Metal Finial Awning Braces
 - 11. Metal Awning
 - 12. Scored Plaster Finish
 - 13. Perforated Metal Screen | Green Wall

CONCEPTUAL EXTERIOR ELEVATIONS | PORT CHICAGO HIGHWAY

CONCORD APARTMENTS
 2400 Salvo Street and 2402 and
 2471 Willow Pass Road
 Concord | California

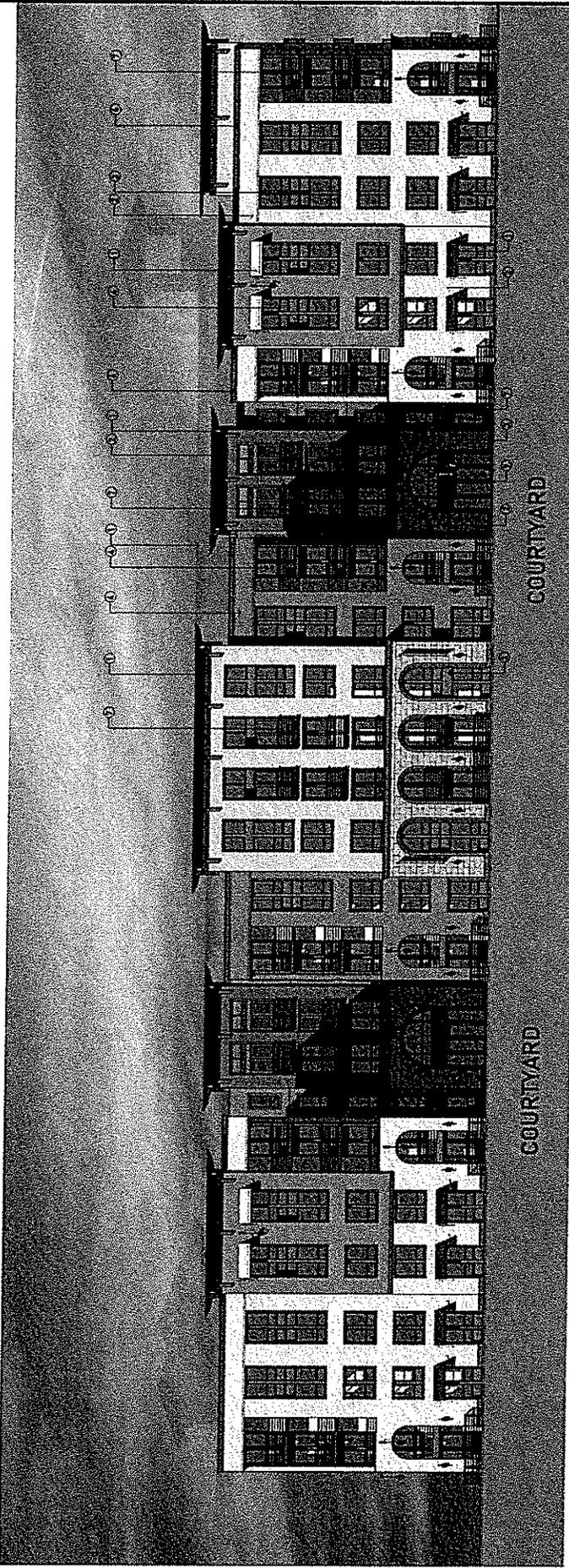
OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 04/14/2014
 PROJECT NO: 2013-0014
 SCALE: 1"=20'-0"

NORTH
 SHEET NUMBER: A-14
 SHEET TITLE:

**CONCEPTUAL
 EXTERIOR
 ELEVATIONS |
 SALVIO STREET**



- MATERIALS LIST:**
- 1. Metal Parapet | Cornice
 - 2. Exterior Plaster
 - 3. Metal Spandrel Panel
 - 4. Vinyl Window
 - 5. Corrugated Metal Roof
 - 6. Plaster Cornice
 - 7. Metal Railing
 - 8. Perforated Metal Signage
 - 9. Exterior Lighting
 - 10. Metal Finial Awning Braces
 - 11. Metal Awning
 - 12. Scored Plaster Finish
 - 13. Perforated Metal Screen | Green Wall

CONCEPTUAL EXTERIOR ELEVATIONS | SALVIO STREET

CONCORD APARTMENTS
 2600 Salvo Street and 2602 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 04.14.2014
 PROJECT NO: 2013-0014
 SCALE: 1/8" = 1'-0"

NORTH
 SHEET NUMBER: A-15
 SHEET TITLE:

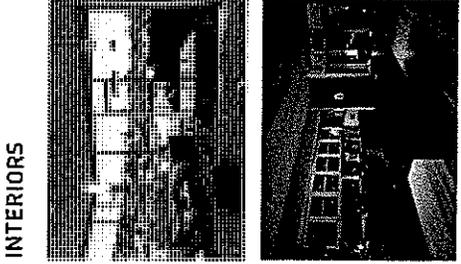
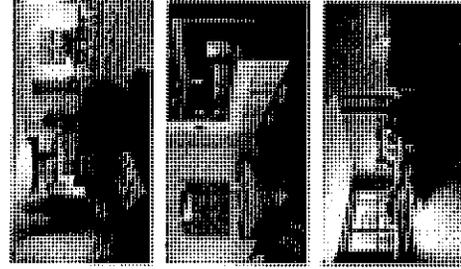
CONCEPTUAL
 DESIGN
 IMAGERY

15/11



SVA ARCHITECTS
 1100 Broadway, Suite 1000
 San Francisco, CA 94133
 Tel: 415.774.8888
 Fax: 415.774.8889
 www.sva.com

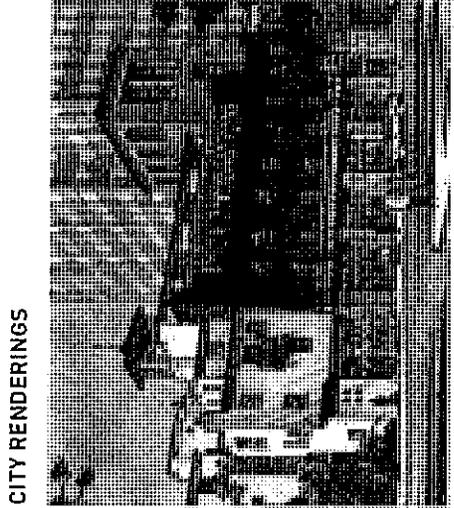
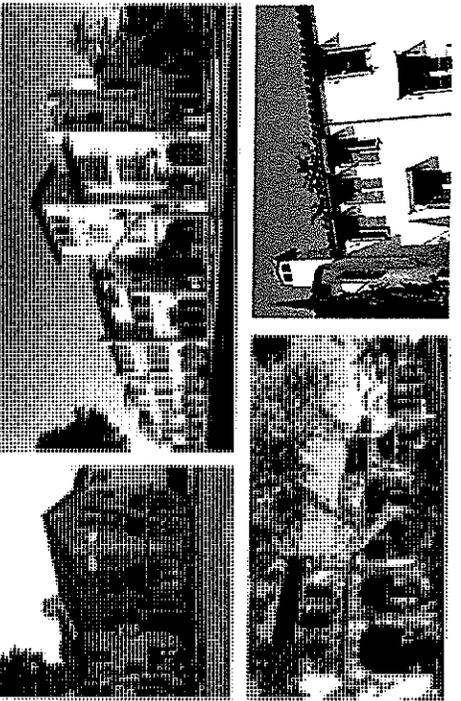
CONCEPTUAL IMAGERY



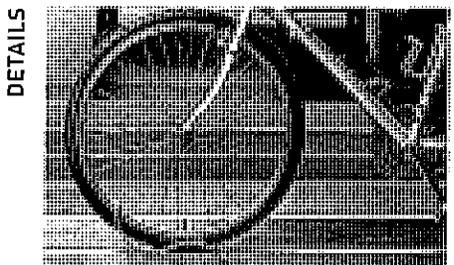
INTERIORS



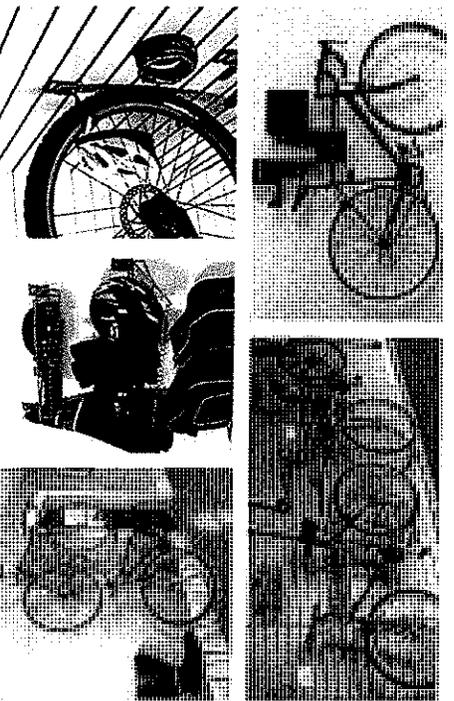
HISTORICAL



CITY RENDERINGS



DETAILS



CONCORD APARTMENTS

2400 Salvia Street and 2402 and
2471 Willow Pass Road
Concord | California

OWNER INFORMATION:
NICKOLSON DEVELOPMENTS
PROPERTIES, LLC.
515 5th Ave W
Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 04.14.2011
PROJECT NO.: 2010-0411
SCALE: NTS

NO. OF SHEETS: A-11

CONCEPTUAL
SIGNAGE
DESIGN

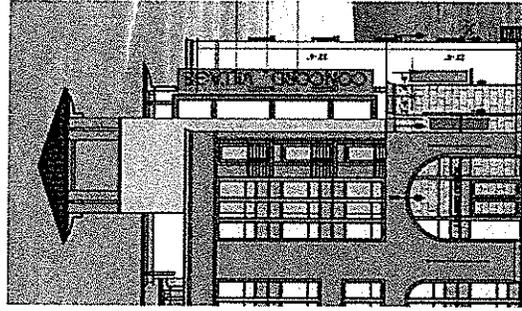
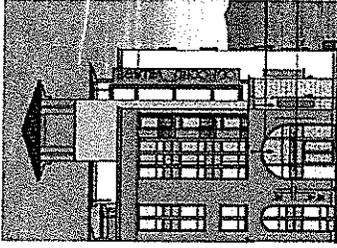


1000 UNIVERSITY AVENUE, SUITE 100
SAN FRANCISCO, CA 94103
415.774.8888
WWW.SVA-ARCHITECTS.COM

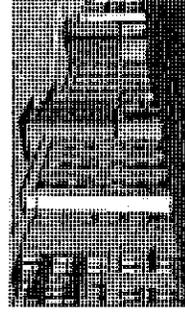


RETAIL FRONT
SIGNAGE
DEVELOPMENT FOR
RETAIL STORE FRONT
TOP: 1'-10" X 8"

2 | RETAIL SIGNAGE | TYP.

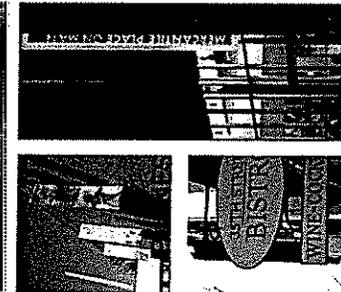
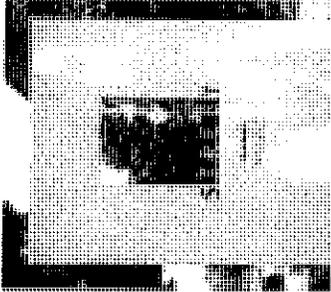


RETAIL FRONT
SIGNAGE
DEVELOPMENT FOR
RETAIL STORE FRONT
TOP: 1'-10" X 8"

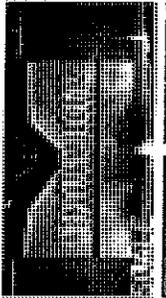
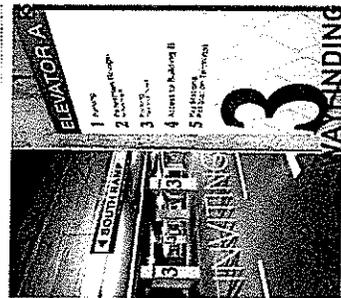
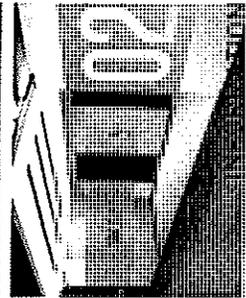
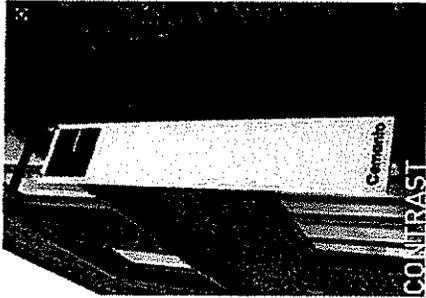


1 | WALL SIGNAGE | TYP.

CONCEPTUAL SIGNAGE DESIGN



3 | INSPIRATIONAL SIGNAGE IMAGERY





EAST STREET



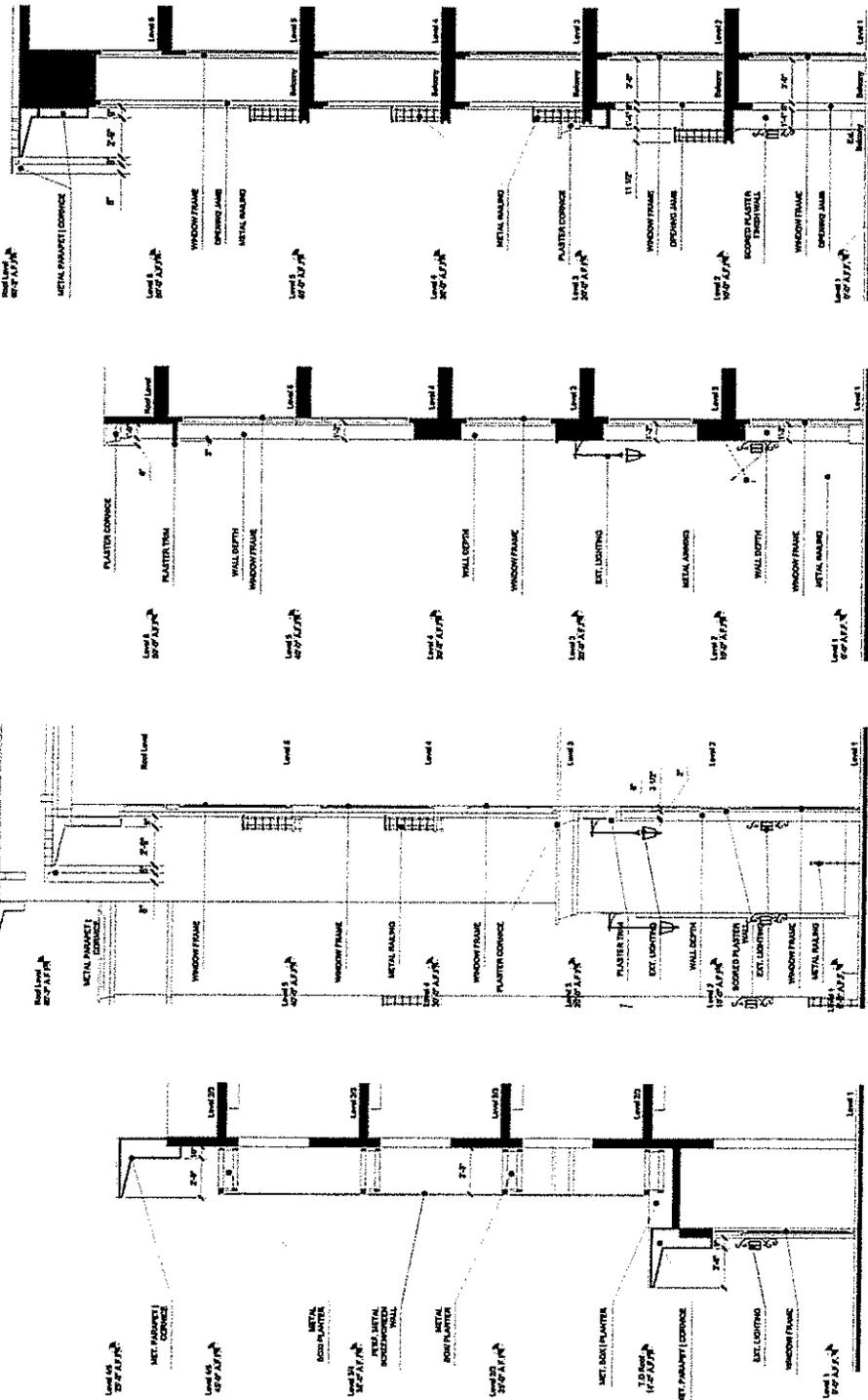
WILLOW PASS ROAD



CHICAGO PORT HIGHWAY



SALVIO STREET



SECTION A

SECTION B

SECTION C

SECTION D

BUILDING TYPICAL PROFILE SECTIONS | 2D

SVA ARCHITECTS
 1100 Broadway, Suite 1800 San Francisco, California 94107
 Tel: 415.774.8900 Fax: 415.774.8901
 www.sva.com

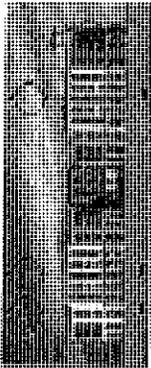
BUILDING TYPICAL PROFILE SECTIONS | 2D

NORTH
 SHEET NUMBER: **A-17**
 SHEET TITLE:

DATE ISSUED: 03.14.2014
 PROJECT NO.: 2013-0415
 SCALE: 1/8" = 1'-0"

OWNER INFORMATION:
NICHOLSON DEVELOPMENT PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

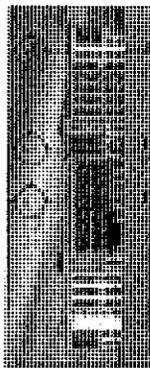
CONSULTANT INFORMATION:
CONCORD APARTMENTS
 2400 Salvio Street and 2402 and 2471 Willow Pass Road
 Concord | California



EAST STREET



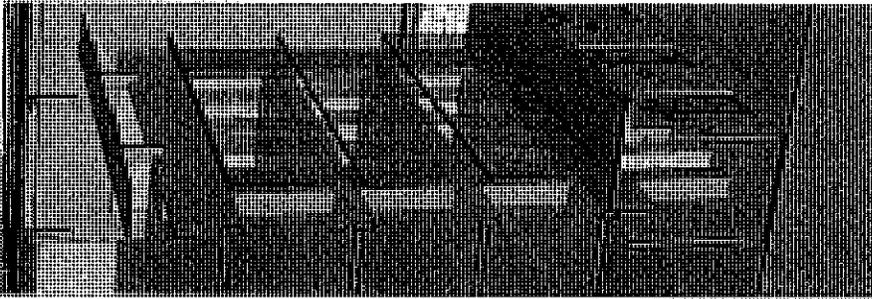
WILLOW PASS ROAD



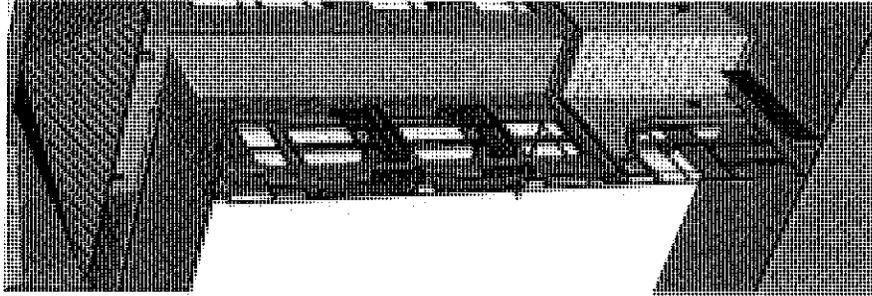
CHICAGO PORT HIGHWAY



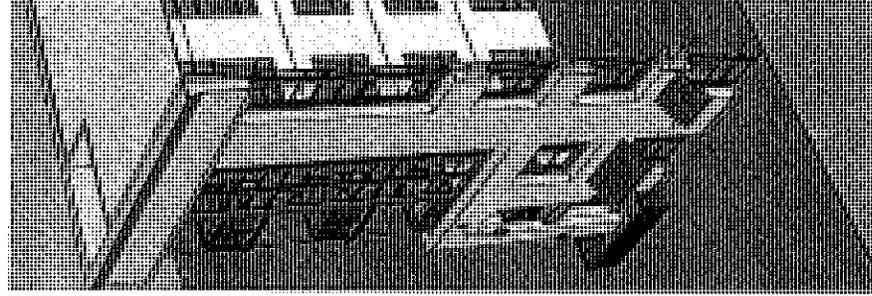
SALVIO STREET



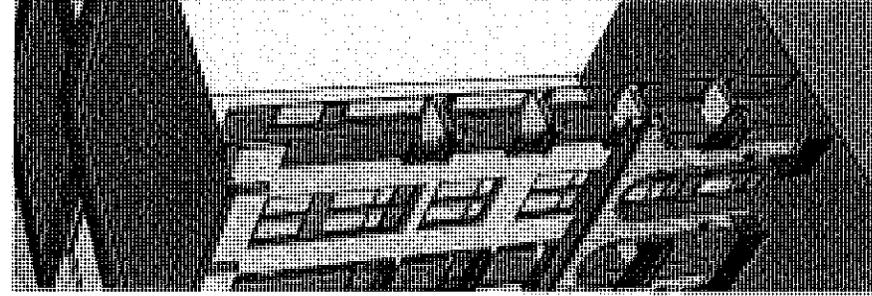
SECTION D



SECTION C



SECTION B



SECTION A

BUILDING TYPICAL PROFILE SECTIONS | 3D

CONCORD APARTMENTS
2600 Salvio Street and 2402 and
2471 Willow Pass Road
Concord | California

OWNER INFORMATION:
NICHOLSON DEVELOPMENT
PROPERTIES, LLC,
515 5th Ave W
Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 05.14.2014
PROJECT NO: 2013-20147
SCALE: NTS

NORTH
SHEET NUMBER: A-18
SHEET TITLE:

BUILDING
TYPICAL
PROFILE
SECTIONS | 3D

DATE:



ARCHITECTS
11400 Wilshire Blvd., Suite 1000 Beverly Hills, California 90210
Tel: 310.274.2222 Fax: 310.274.2223
www.sva-architects.com



CONCORD APARTMENTS

2400 Salvia Street and 2602 and 2471 Willow Pass Road
Concord | California

OWNER INFORMATION:
NICHOLSON DEVELOPMENT
PROPERTIES, LLC.
515 5th Ave W
Kirkland | WA | 98033

CONSULTANT INFORMATION:

PGAdesign
LANDSCAPE ARCHITECTS

DATE ISSUED: 04-11-2018
PROJECT NO: 2013-AR-01
SCALE: AS SHOWN



NORTH
SHEET NUMBER: L-0.1
SHEET TITLE:

TREE REMOVAL & PRESERVATION PLAN

SHEET



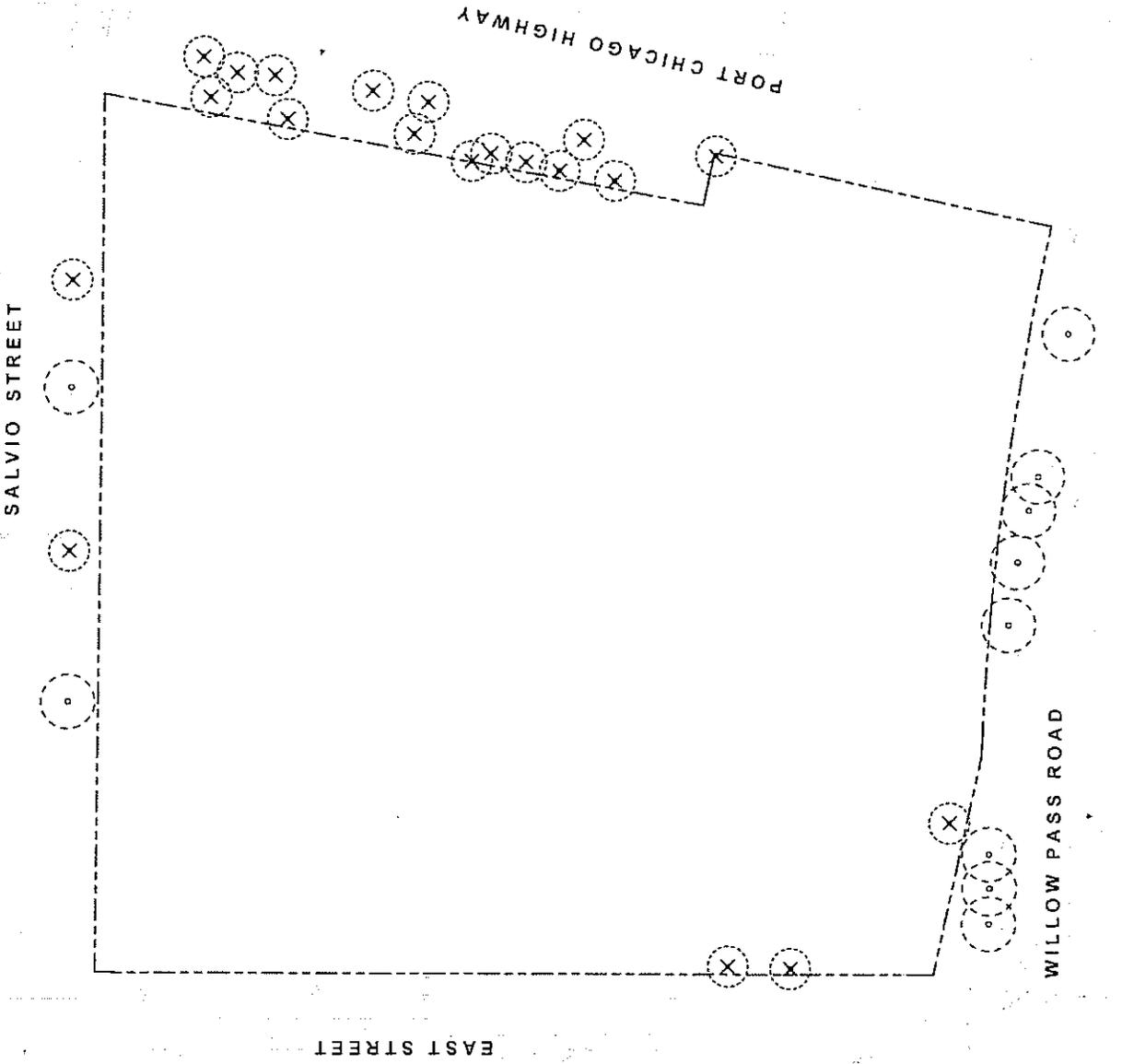
SVA ARCHITECTS
10000
10000
10000

10000
10000
10000

PRESERVATION & REMOVAL NOTES

1. ALL TREES TO BE REMOVED SHALL BE REMOVED TO 2' BELOW FINISH GRADE.
2. ALL TREES TO BE PRESERVED SHALL BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION.
3. ALL TREES TO BE PRESERVED SHALL BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION.
4. ALL TREES TO BE PRESERVED SHALL BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION.
5. ALL TREES TO BE PRESERVED SHALL BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION.
6. ALL TREES TO BE PRESERVED SHALL BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION.
7. ALL TREES TO BE PRESERVED SHALL BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION.
8. ALL TREES TO BE PRESERVED SHALL BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION.
9. ALL TREES TO BE PRESERVED SHALL BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION.
10. ALL TREES TO BE PRESERVED SHALL BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION.

PRESERVATION AND REMOVAL LEGEND





CONCORD APARTMENTS

2600 Salvia Street and 2602 and 2671 Willow Pass Road
Concord | California

OWNER INFORMATION:
NICHOLSON DEVELOPMENT
PROPERTIES, LLC.
515 5th Ave W
Richland WA 1 98033

CONSULTANT INFORMATION:

PGAdesign
LANDSCAPE ARCHITECTS

DATE ISSUED: 06-16-2011
PROJECT NO.: 2012-0814
SCALE: AS SHOWN



SHEET NUMBER: L-1.1
SHEET TITLE: PLAZA & SOUTH COURTYARD PLAN

PLAZA & SOUTH COURTYARD PLAN

DATE:



SVA ARCHITECTS
10000 Wilshire Blvd, Suite 1000, Beverly Hills, CA 90210
Tel: 310.274.0000
www.sva.com

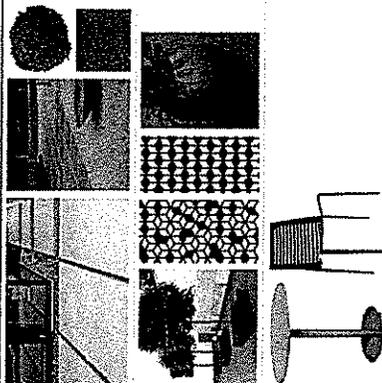
PROJECT NO.: 2012-0814
DATE: 06-16-2011

GROUND LEVEL SOUTH COURTYARD

POURED IN PLACE CONCRETE
FORMED WITH FORMWORK
AND REINFORCED WITH
STEEL REBAR. FINISH
AS SHOWN. SEE LIA FOR
SPECIFICATIONS.

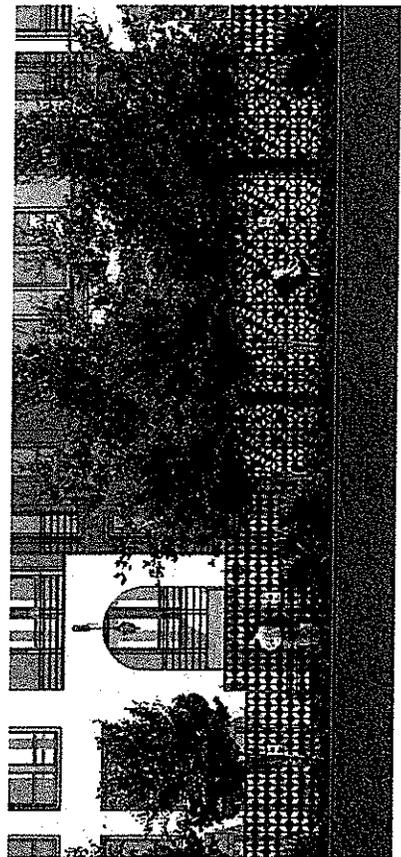
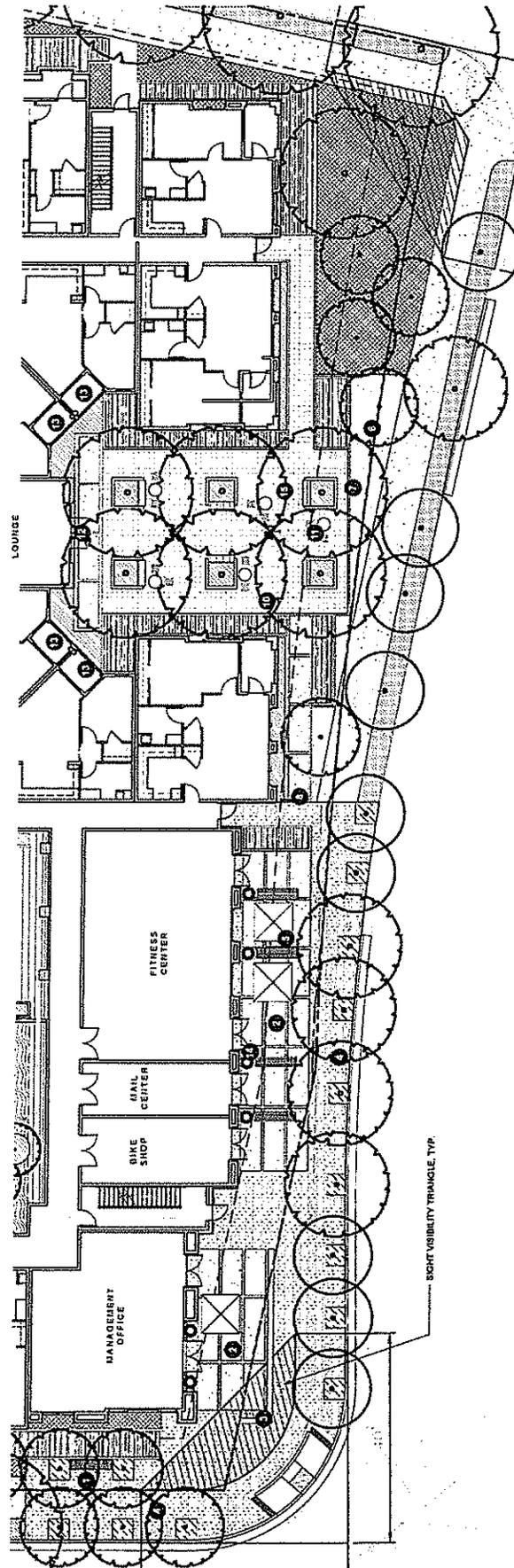
VEHICULAR GRADE, PERMEABLE
CONCRETE PAVERS, MONOTONE
FINISH. SEE LIA FOR
SPECIFICATIONS.

TABLE FURNISHING
AND SEATING. SEE LIA FOR
SPECIFICATIONS.



LANDSCAPE MATERIAL AND PLANTING LEGEND

- | | | | | | |
|--|--|--|-------------------------------|--|--------------------------------|
| | PLAIN GRAY CONCRETE | | DECOMPOSED GRANITE PAVING | | PLANTING AT BUILDING PERIMETER |
| | VEHICULAR GRADE, PERMEABLE CONCRETE PAVERS, DUOTONE | | DECORATIVE GRAVEL | | PLANTING AT COURTYARDS & DECKS |
| | VEHICULAR GRADE, PERMEABLE CONCRETE PAVERS, MONOTONE | | WOOD COMPOSITE DECKING | | PLANTING AT STORMWATER AREAS |
| | CONCRETE PAVERS, DUOTONE | | PLANTING AREA AT STREET TREES | | SYNTHETIC TURF |
| | CONCRETE PAVERS, 2'x2'4" | | | | |



② ELEVATION - WILLOW PASS ROAD FENCE
1/4" = 1'-0"

① PLAZA AND SOUTH COURTYARD
1" = 16'-0"



CONCORD APARTMENTS
 2400 Salvo Street and 2402 and
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC
 515 5th Ave W
 Kirkland WA 98033

CONSULTANT INFORMATION:

PGAdesign
 LANDSCAPE ARCHITECTS

DATE ISSUED: 04-14-2016
PROJECT NO.: 2013-0414
SCALE: AS SHOWN

PGAdesign
 LANDSCAPE ARCHITECTS
 1100 1st St
 Seattle, WA 98101
 TEL: 206.461.1100
 FAX: 206.461.1101
 WWW.PGAD.COM

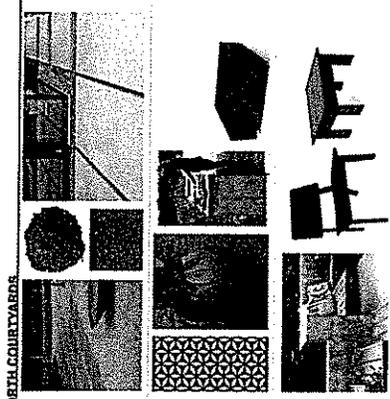
DATE: 04-14-2016
PROJECT NO.: 2013-0414
SCALE: AS SHOWN



SVA ARCHITECTS
 1100 1st St
 Seattle, WA 98101
 TEL: 206.461.1100
 FAX: 206.461.1101
 WWW.SVA-ARCH.COM

DATE: 04-14-2016
PROJECT NO.: 2013-0414
SCALE: AS SHOWN

- 1 STREET TREES. SEE L.L.S FOR SPECIES
- 2 ACCESS GATES TO NORTH COURTYARD
- 3 TABLES AND BENCHES
- 4 SHADE TREES. SEE L.L.S FOR SPECIES
- 5 ACCESS POINTS TO BUILDING INTERIOR
- 6 LOUNGE AREA WITH CONCRETE SEAWALL WITH IMPOUNDED WOOD SEATING
- 7 GAS FIRE PIT
- 8 COMMERCIAL GRADE STRING LIGHTING
- 9 UNIT PATIO, TYP.
- 10 PERFORATED METAL SECURITY FENCE, 4'-4" HIGH
- 11 PLANTERS WITH EVERGREEN SHRUBS, TYP.
- 12 OUTDOOR BAR WITH SINK

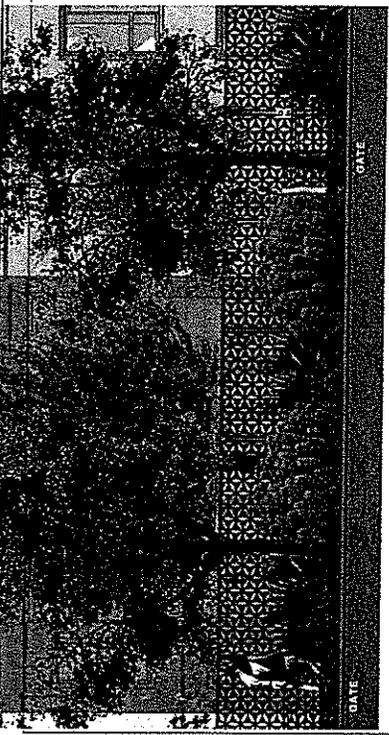
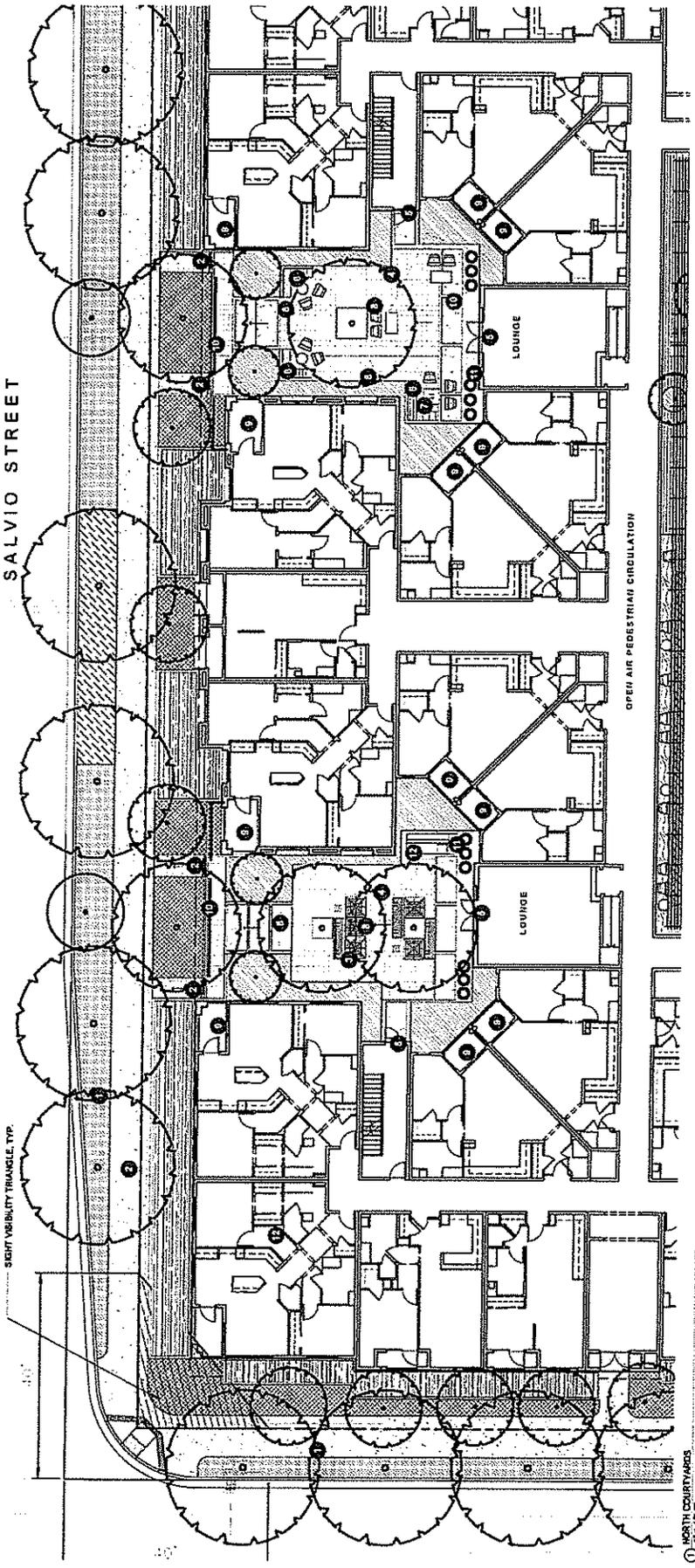


GROUND LEVEL NORTH COURTYARDS

POURED IN PLACE CONCRETE
 4" MIN. THICKNESS
 4000 PSI COMPRESSIVE STRENGTH
 4000 PSI COMPRESSIVE STRENGTH
 4000 PSI COMPRESSIVE STRENGTH
 4000 PSI COMPRESSIVE STRENGTH

SEVEN (7) DIMENSIONS
 1. GATE, CONCRETE LEVEL FINISH
 2. PERFORATED METAL SECURITY FENCE
 3. PERFORATED METAL SECURITY FENCE
 4. PERFORATED METAL SECURITY FENCE
 5. PERFORATED METAL SECURITY FENCE
 6. PERFORATED METAL SECURITY FENCE
 7. PERFORATED METAL SECURITY FENCE

TABLES AND BENCHES
 1. TABLES AND BENCHES
 2. TABLES AND BENCHES
 3. TABLES AND BENCHES
 4. TABLES AND BENCHES
 5. TABLES AND BENCHES
 6. TABLES AND BENCHES
 7. TABLES AND BENCHES



② ELEVATION - SALVIO STREET FENCE
 1/4\"/>

① NORTH COURTYARDS
 1\"/>



CONCORD APARTMENTS
 2400 Salvo Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC
 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

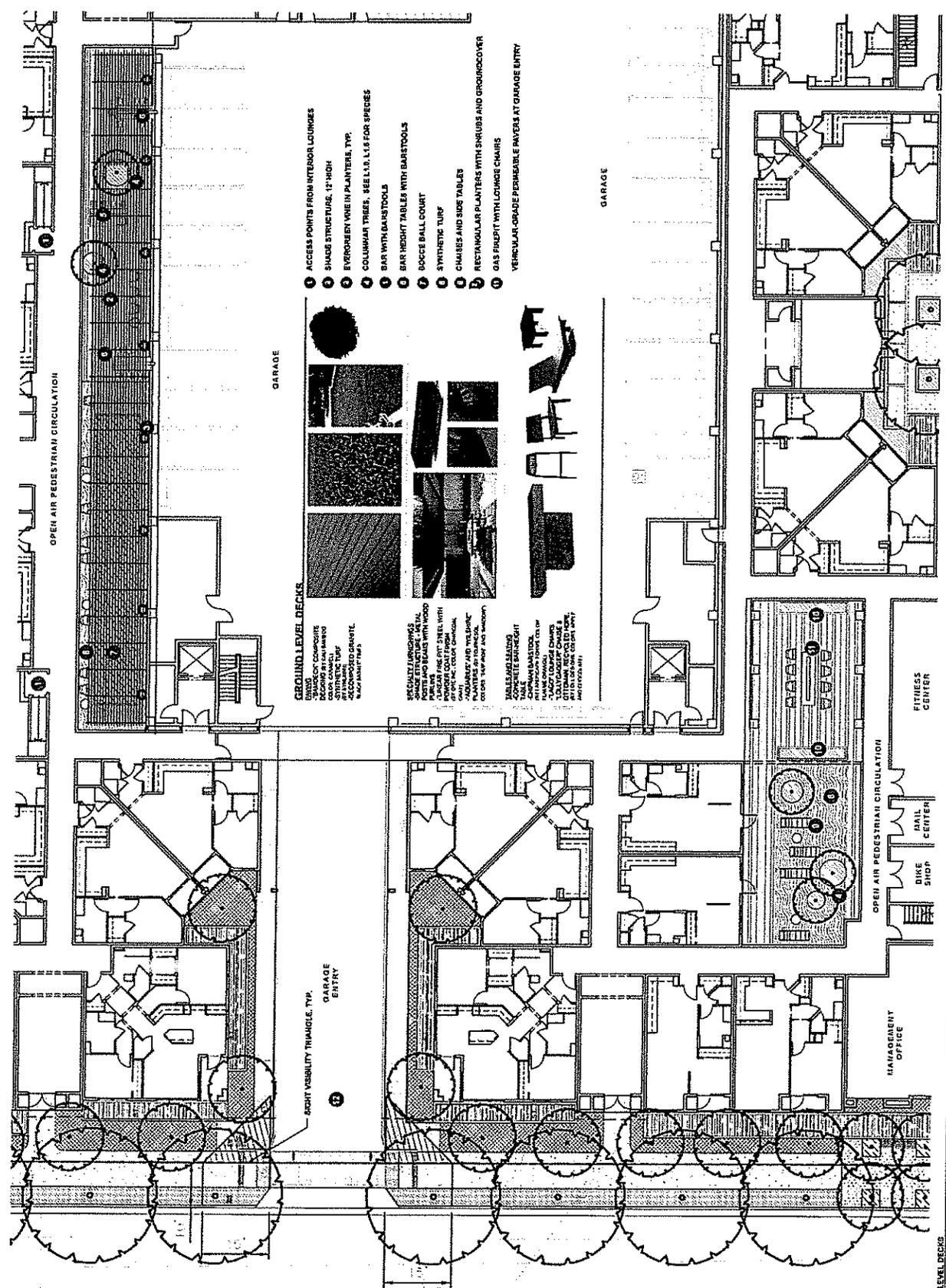
POA design
 LANDSCAPE ARCHITECTS

DATE ISSUED: 04-15-2013
PROJECT NO.: 2013-0616
SCALE: 1" = 10'-0"

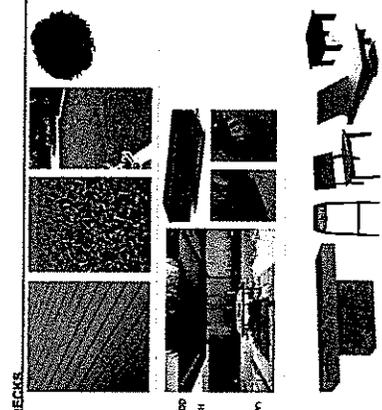


NORTH
SHEET NUMBER: L-1.3
SHEET TITLE:

**GROUND LEVEL
 DECKS PLAN**



- 1 ACCESS POINTS FROM INTERIOR LOUNGES
- 2 SHADE STRUCTURE, 12'-HIGH
- 3 EVERGREEN VINE IN PLANTERS, TYP.
- 4 COLUMNAR TREES, SEE L.I.L.S FOR SPECIES
- 5 BAR WITH BARS/TOOLS
- 6 BAR HEIGHT TABLES WITH BARS/TOOLS
- 7 ROGEE BALL COURT
- 8 SYNTHETIC TURF
- 9 CHAIRS AND SIDE TABLES
- 10 RECTANGULAR PLANTERS WITH SHRUBS AND GROUNDCOVER
- 11 GAS GRILL WITH LOUNGE CHAIRS



GROUND LEVEL DECKS
 SHADING: COMPOSITE DECKING BY SAN ANTONIO
 FURNITURE: TYPICAL
 PLANTING: EVERGREEN VINE, COLUMNAR TREES, BAR WITH BARS/TOOLS, BAR HEIGHT TABLES, ROGEE BALL COURT, SYNTHETIC TURF, CHAIRS AND SIDE TABLES, RECTANGULAR PLANTERS WITH SHRUBS AND GROUNDCOVER, GAS GRILL WITH LOUNGE CHAIRS

TABLES AND SEATING
 COMPOSITE DECKING
 SYNTHETIC TURF
 CHAIRS AND SIDE TABLES
 RECTANGULAR PLANTERS WITH SHRUBS AND GROUNDCOVER
 GAS GRILL WITH LOUNGE CHAIRS
 PHOTO: (707) 930-8911

VEHICULAR-GRADE PERMEABLE PAVEMENT AT GARAGE ENTRY

1 GROUND LEVEL DECKS
 1" = 10'-0"



CONCORD APARTMENTS
 2400 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

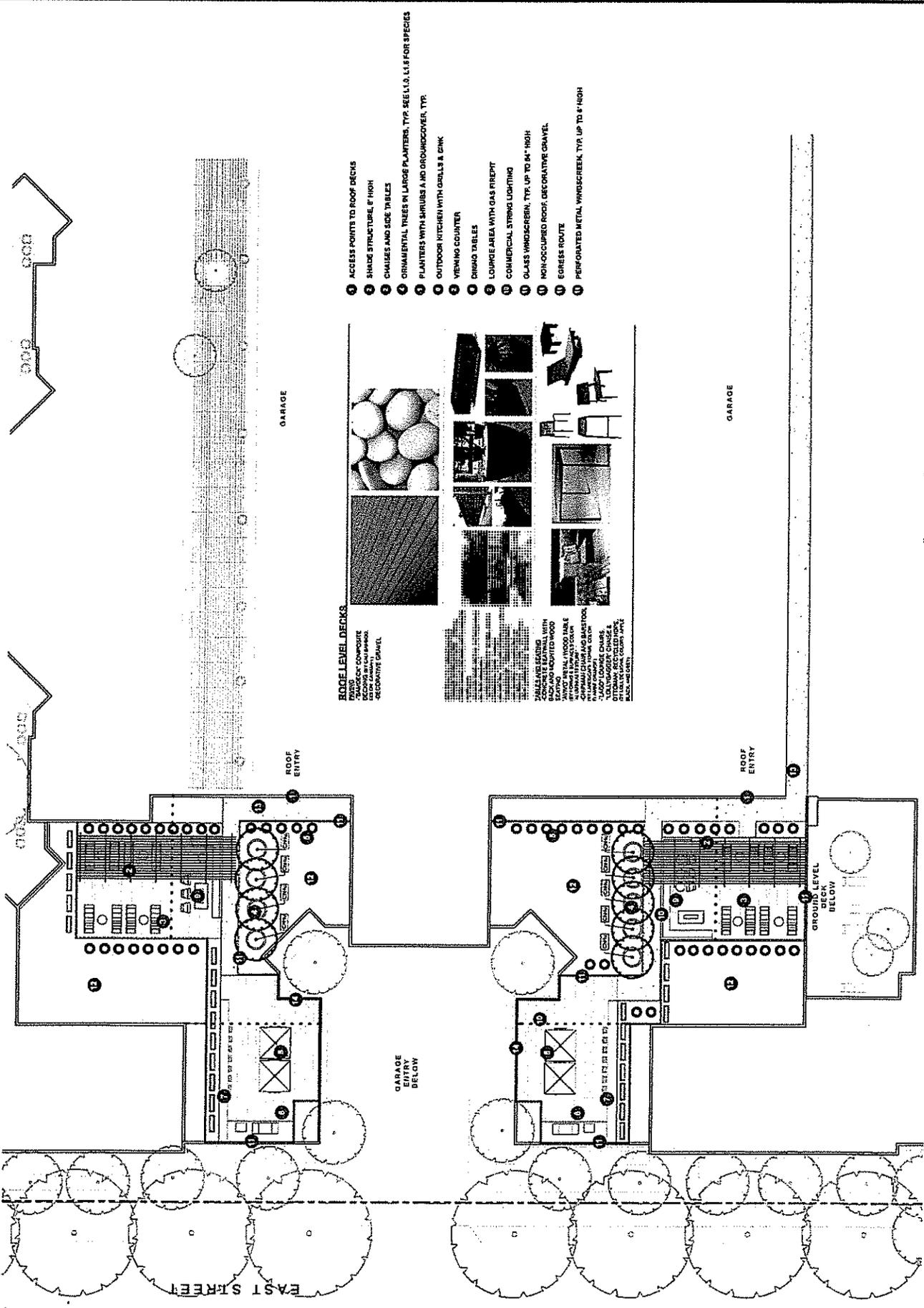
PGAdesign
 LANDSCAPE ARCHITECTS

DATE ISSUED: 04-11-2014
PROJECT NO.: 2012-0314
SCALE: 1" = 12'-0"

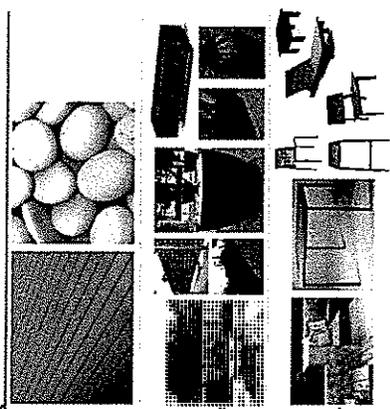


NORTH
SHEET NUMBER: L-1.4
SHEET TITLE:

ROOF DECK PLAN



- ROOF LEVEL DECKS**
 FINISH: POLISHED CONCRETE
 DECKING: 2" x 4" x 8" GRIP SAFETY
 DECORATIVE GRAVEL
- 1 ACCESS POINTS TO ROOF DECKS
 - 2 SHADE STRUCTURE, 8' HIGH
 - 3 CHAIRS AND SIDE TABLES
 - 4 ORNAMENTAL TREES IN LARGE PLANTERS, TYP. SEE U.S. L.I.F. FOR SPECIES
 - 5 PLANTERS WITH SURLUSI AND GROUNDCOVER, TYP.
 - 6 OUTDOOR KITCHEN WITH GRILLS & SINK
 - 7 VIEWING COUNTER
 - 8 DINING TABLES
 - 9 LOUNGE AREA WITH GAS FIREPIT
 - 10 COMMERCIAL STRING LIGHTING
 - 11 GLASS WINDSCREEN, TYP. UP TO 64" HIGH
 - 12 NON-OCCUPIED ROOF, DECORATIVE GRAVEL
 - 13 EGRESS ROUTE
 - 14 PERFORATED METAL WINDSCREEN, TYP. UP TO 8' HIGH



PAVING MATERIALS
 POLISHED CONCRETE
 2" x 4" x 8" GRIP SAFETY
 DECORATIVE GRAVEL

PAVING MATERIALS
 POLISHED CONCRETE
 2" x 4" x 8" GRIP SAFETY
 DECORATIVE GRAVEL

PAVING MATERIALS
 POLISHED CONCRETE
 2" x 4" x 8" GRIP SAFETY
 DECORATIVE GRAVEL

NOT TO SCALE
 1" = 12'-0"
 1/8" = 1'-0"
 1/16" = 1'-0"
 1/32" = 1'-0"
 1/64" = 1'-0"
 1/128" = 1'-0"
 1/256" = 1'-0"
 1/512" = 1'-0"
 1/1024" = 1'-0"
 1/2048" = 1'-0"
 1/4096" = 1'-0"
 1/8192" = 1'-0"
 1/16384" = 1'-0"
 1/32768" = 1'-0"
 1/65536" = 1'-0"
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 1/262144" = 1'-0"
 1/524288" = 1'-0"
 1/1048576" = 1'-0"
 1/2097152" = 1'-0"
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CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 Concord | California

OTHER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, L.L.C.
 515 5th Ave W
 Kirkland WA | 98033

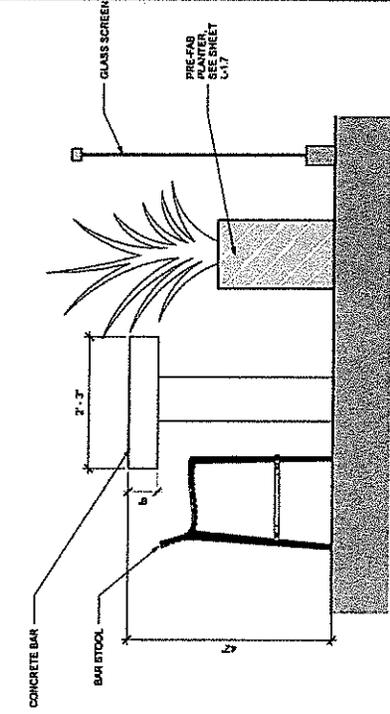
CONSULTANT INFORMATION:

PGAdesign
 LANDSCAPE ARCHITECTS

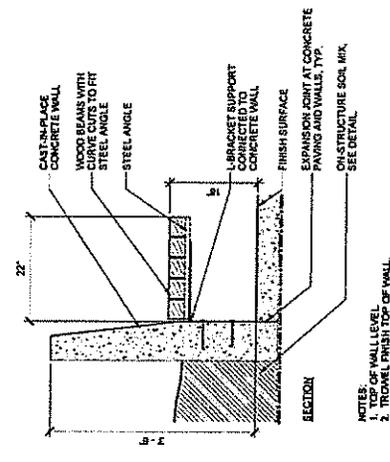
DATE ISSUED: 04-14-2016
 PROJECT NO: 2013-0016
 SCALE: AS INDICATED

PGAdesign
 LANDSCAPE ARCHITECTS

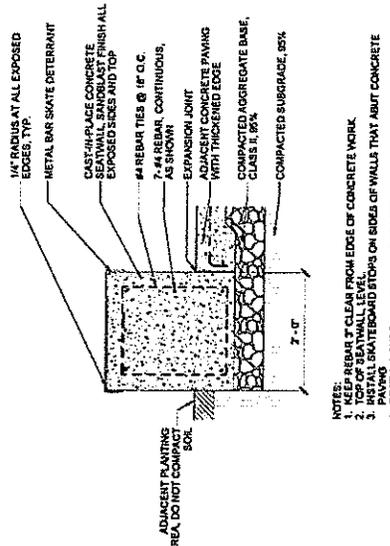
SHEET NUMBER: L-1.6
 SHEET TITLE: SELECT DETAILS



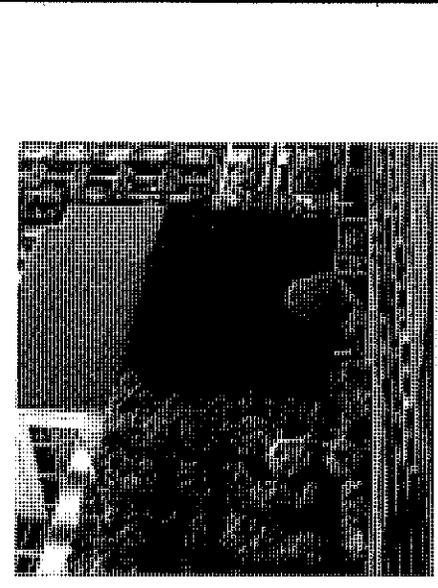
① CONCRETE SEAT WALL AT PLAZA
 1" = 1'-0"



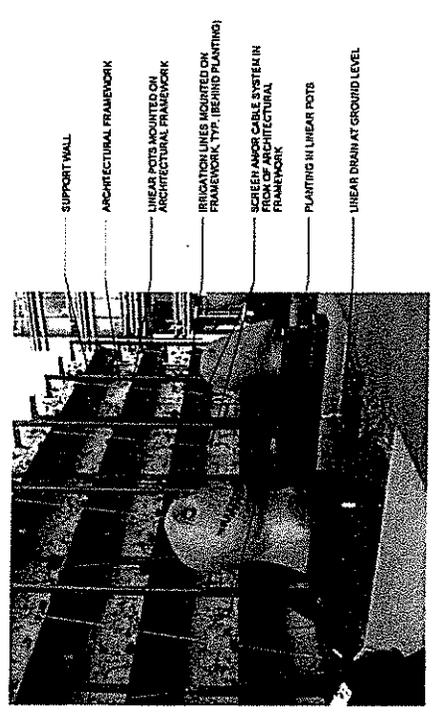
② CONCRETE BENCH WITH MOUNTED WOOD SEAT
 1" = 1'-0"



③ CONCRETE SEAT WALL AT PLAZA
 1" = 1'-0"



④ OPTIONAL GREEN SCREEN AT TRASH PICK-UP AREA (1)
 1" = 1'-0" ABOVE PERMEABLE PAVING. THIS IMAGE - AFTER PLANTING HAS BECOME ESTABLISHED



⑤ OPTIONAL GREEN SCREEN AT TRASH PICK-UP AREA (2)
 1" = 1'-0" ABOVE PERMEABLE PAVING. THIS IMAGE - AT TIME OF INSTALLATION



⑥ LINEAR POTS MOUNTED ON ARCHITECTURAL FRAMEWORK
 1" = 1'-0"



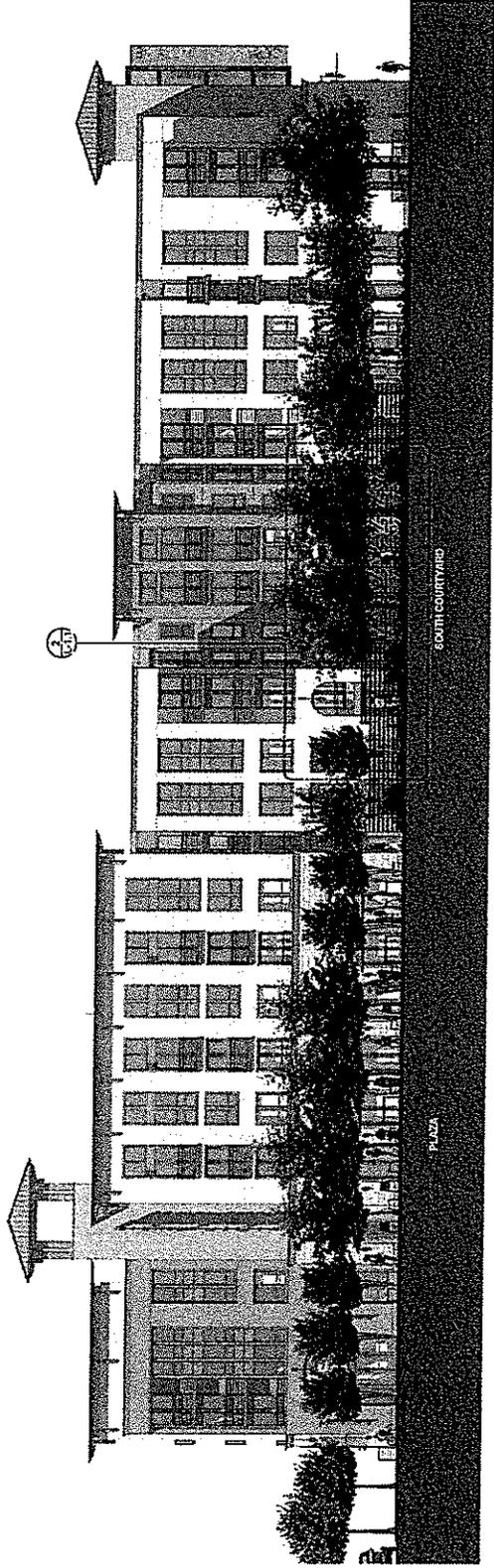
CONCORD APARTMENTS
 2400 Salvo Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

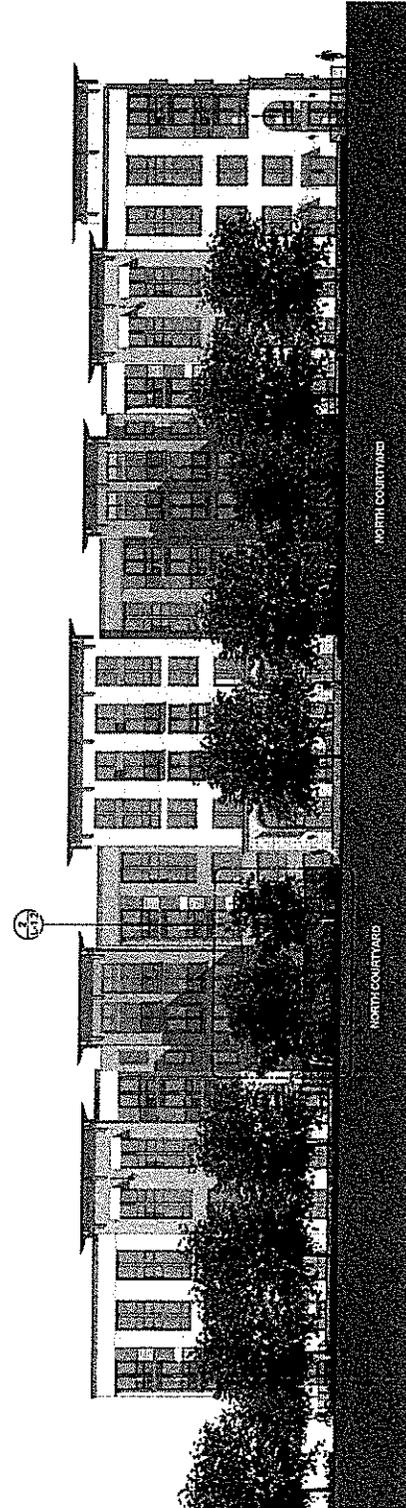
CONSULTANT INFORMATION:
PGAdesign
 LANDSCAPE ARCHITECTS
 1000 1st Street
 San Francisco, CA 94107

DATE ISSUED: 04-14-2014
PROJECT NO.: 2012-4012
SCALE: 1" = 10'

NORTH
SHEET NUMBER: L-17
SHEET TITLE:
ELEVATIONS



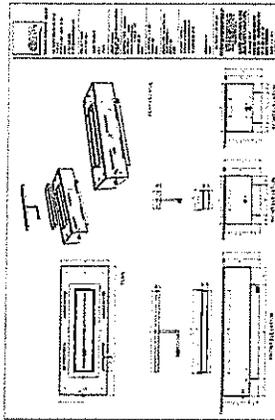
① ELEVATION - WILLOW PASS ROAD
 1" = 10'



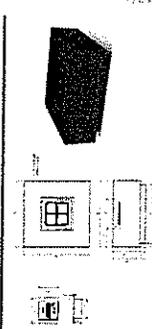
② ELEVATION - SALVO STREET
 1" = 10'



1. The bayer should be installed with the top flange facing up.



CONCRETE PRODUCTS
SANTA ANA, CA, U.S.A.

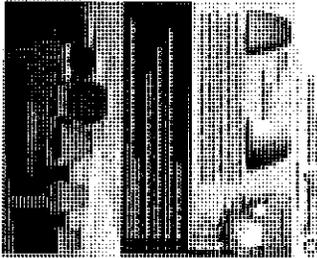


ANVO 2021

WWW.ANVO.COM

ITEM	DESCRIPTION	UNIT	QTY	REMARKS
1	Box Aggregate Fence Bayer	Sq. Ft.		
2	Box Aggregate Fence Bayer	Sq. Ft.		
3	Box Aggregate Fence Bayer	Sq. Ft.		
4	Box Aggregate Fence Bayer	Sq. Ft.		
5	Box Aggregate Fence Bayer	Sq. Ft.		
6	Box Aggregate Fence Bayer	Sq. Ft.		
7	Box Aggregate Fence Bayer	Sq. Ft.		
8	Box Aggregate Fence Bayer	Sq. Ft.		
9	Box Aggregate Fence Bayer	Sq. Ft.		
10	Box Aggregate Fence Bayer	Sq. Ft.		

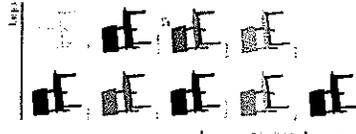
Downtown Collection



looltrade



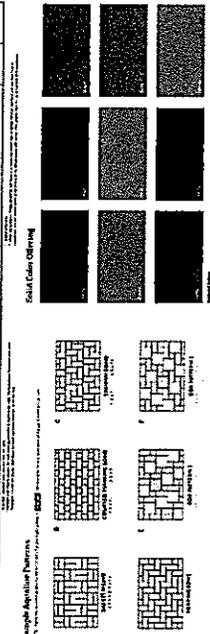
looltrade



looltrade

Product Details

ITEM	DESCRIPTION	UNIT	QTY	REMARKS
1	Box Aggregate Fence Bayer	Sq. Ft.		
2	Box Aggregate Fence Bayer	Sq. Ft.		
3	Box Aggregate Fence Bayer	Sq. Ft.		
4	Box Aggregate Fence Bayer	Sq. Ft.		
5	Box Aggregate Fence Bayer	Sq. Ft.		
6	Box Aggregate Fence Bayer	Sq. Ft.		
7	Box Aggregate Fence Bayer	Sq. Ft.		
8	Box Aggregate Fence Bayer	Sq. Ft.		
9	Box Aggregate Fence Bayer	Sq. Ft.		
10	Box Aggregate Fence Bayer	Sq. Ft.		



looltrade



CONCORD APARTMENTS
2400 Salvio Street and 2402 and
2471 Willow Pass Road
Concord | California

OWNER INFORMATION:
NICHOLSON DEVELOPMENT
PROPERTIES, LLC.
515 5th Ave W
Kirkland | WA | 98033

CONSULTANT INFORMATION:

POA design
ARCHITECT

DATE ISSUED: 5-11-2018
PROJECT NO: 2013-00142
SCALE:

PRODUCT CUT SHEETS

PRODUCT CUT SHEETS



SVA ARCHITECTS
1000 1st Avenue | San Francisco, CA 94108
Tel: 415.774.8888 | Fax: 415.774.8889
www.sva.com



REPORT TO DESIGN REVIEW BOARD

DATE: June 23, 2016

I. GENERAL INFORMATION

Project Name: CONCORD TOYOTA FACADE ENHANCEMENT
(PL16051 – DR)

Review Status: Design Review

Location: 1090 Concord Avenue

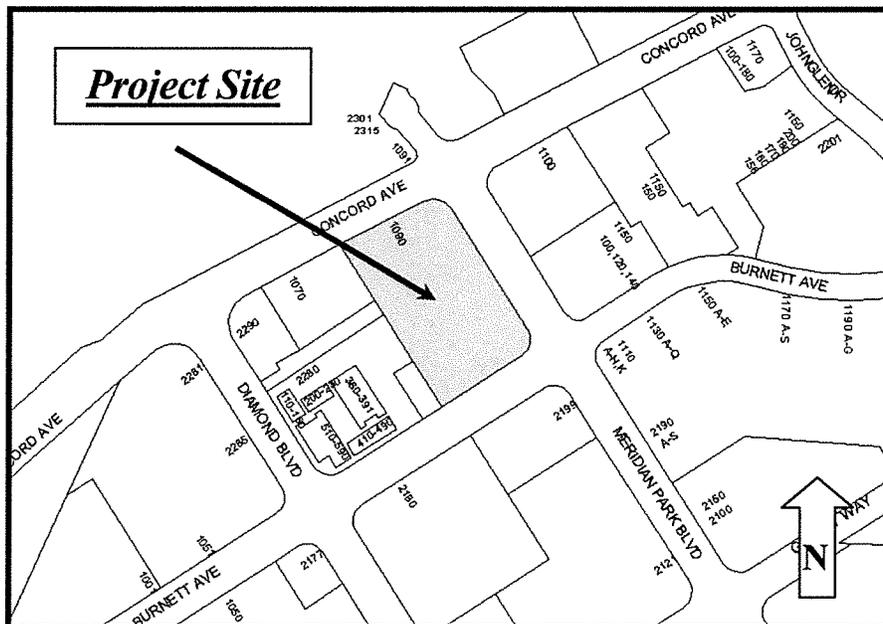
Parcel Number: 126-324-006

General Plan: West Concord Mixed Use

Zoning: WMX (West Concord Mixed Use)

Applicant: Murakami/Nelson
Attn: Kevin Chang
100 Filbert Street
Oakland CA 94607

Vicinity Map:



II. PROJECT BACKGROUND

On March 29, 2016, Murakami/Nelson submitted an application for Administrative Design Review for a façade enhancement to Concord Toyota to reflect the new “Toyota Image USA II” corporate image with an internally lit entry portal and logo and interior remodeling of finishes in the showroom and first floor offices. The improvements are part of a nationwide project to give all Toyota dealerships an updated and uniform appearance.

On April 4, 2016, the application was deemed complete for processing.

On April 28, 2016, the Board conducted design review of the project and provided the applicant with comments. The Board asked the applicant to investigate illuminating the side of the glass entry portal, revise the drawings to show the accent band wrapping the corners of the building, and provide built examples of the proposed architecture.

On June 13, 2016, Murakami/Nelson resubmitted their application for Administrative Design Review in response to the Board’s comments.

The Board’s Design Review recommendations will be incorporated into revised plans submitted for a building permit. The Planning Division will issue an Administrative Design Review approval only after first determining that the Board’s recommendations have been incorporated and the application complies with all Development Code provisions applicable to the project.

III. DISCUSSION

The April 28 meeting minutes are *italicized* below followed by the applicant’s response in **bold** and then staff’s comments and bulleted recommendations when applicable. Overall, staff believes the Board’s comments have been addressed and that any additional recommendations can be incorporated into the project’s conditions of approval.

Architecture

- 1) *Illuminate the side of the glass entry portal.*

We inquired about illuminating the sides with Toyota and Novum Structures, who is the nationwide vendor of the Entry Portal element, and based on their response (see attached letter dated 6/2/2016), we are showing the sides to remain as ACM panels as originally submitted.

- Staff requests the Board consider the applicant’s response and provide direction.

- 2) *Revise the drawings to show the red accent band wrapping the corners of the building.*

See revised elevations on sheet A4.

The applicant responded to the Board's direction.

- 3) *Show the stairwell (beyond) on the north elevation.*

See revised elevations on sheet A4.

The applicant responded to the Board's direction.

- 4) *Provide pictures of built examples of this architecture that show the red detail wrapping around the building.*

See added photos on sheet A6.

Built examples of the aluminum composite metal (ACM) are included in the drawings; the applicant responded to the Board's direction. The applicant will provide additional photographic examples of the corporate architecture at the meeting.

Landscaping

- 5) *Comply with local water use regulations, consider contacting the local water agency, and have them perform a water audit, and consider replacing the lawn with groundcover.*

See added note on sheet A1. Landscape revisions will be discussed with Sonic Automotive.

The applicant responded to the Board's recommendation.

IV. Recommendation

Staff recommends the Board review the plans, consider the recommendations discussed below, identify any additional issues, and provide the applicant with comments for incorporation as conditions of approval.

V. **Motion**

Staff has prepared the following motion for the Board's consideration for the project.

I (Board Member _____) hereby move that the Design Review Board recommend approval of Concord Toyota Facade Enhancement (PL16051 – DR), subject to the Development Code provisions applicable to the project, the conditions of the Airport Land Use Commission, and any additional recommendations made by the Board.

Prepared by:



G. Ryan Lenhardt

Senior Planner

(925) 671-3162

ryan.lenhardt@cityofconcord.org

Exhibits:

- A - Letter from Novum Structures date stamp received June 13, 2016
- B - Project plans date stamp received June 13, 2016



RECEIVED
JUN 13 2016
PLANNING

June 2, 2016

Mr. Kevin Chang
Murakami / Nelson
100 Filbert Street
Oakland, CA 94607

Re: Entrance Portal - Concord Toyota (Concord, CA)
Novum Project #T161037

NOVUM

The following is provided pursuant to your inquiry and our recent discussions regarding a request from what we understand to be the City of Concord Design Review Board to "... illuminate the side of the glass entry portal..." currently proposed for the Concord Toyota facility.

As you know, the entry portal element as designed by Novum Structures is a significant part of the IMAGE USA II Program for Toyota Motor Sales with almost 1,000 installations completed nationally since 2004. As such, the portal maintains brand identity and integrity for Toyota Motor Sales and its Dealer network by utilizing standard system components while still allowing some flexibility with the overall size of the element on a local basis.

Standard system components are illustrated on the attached brochure; however, it should be noted that design of the portal element includes structural steel framing, an aluminum framing/glazing system, aluminum panels, custom light-diffusing glass and integral internal LED lighting to produce the desired consistent effect. As a result, modification to include illumination on the sides of the entry portal, while not impossible, would arguably result (at minimum) in the following:

- A potential negative impact to the overall appearance of the portal element and Toyota brand image;
- A major redesign of the portal structure and associated glazing elements to create the new lighting pockets on the sides of the portal element;
- A potential issue with interior access for installation and long-term facility maintenance of the portal element inclusive of the associated signage mounted to the portal;
- Revision to the anticipated light-trespass levels from the portal element

Specific to the light-trespass issue, we can offer that the standard portal element designed for use in the IMAGE USA II Program for Toyota Motor Sales incorporated cut-off, shielded and filtered lighting as well as custom, light-diffusing glass to minimize the potential for light-pollution. Attached photos and details will also attempt to illustrate how the integral LED lighting system is engineered and incorporated into the overall design to limit the amount of visible light propagated solely through the front face of the portal element per Toyota's brand image.

In closing, we definitely respect the inquiry regarding further illumination of the portal element; however, in our professional opinion, the modifications required to achieve the intended result would significantly alter the appearance of Toyota's brand element, induce elevated light-trespass levels from the portal onto the site as well as to place an undue financial and potential long-term maintenance burden on the Dealer.

Best Regards,

Steven M. Skowbo
Portal Program Manager
Novum Structures LLC

Cc: Erika Ridolfi, John Limon, Dave Cordes (Toyota Motor Sales)
Thomas Shelton (Gensler)

NOVUM



TOYOTA IMAGE USA II

NOVUM



Portal System

What's behind the Portal System...

Professional Customer Service

Complete Engineering Services

Field Friendly Template System

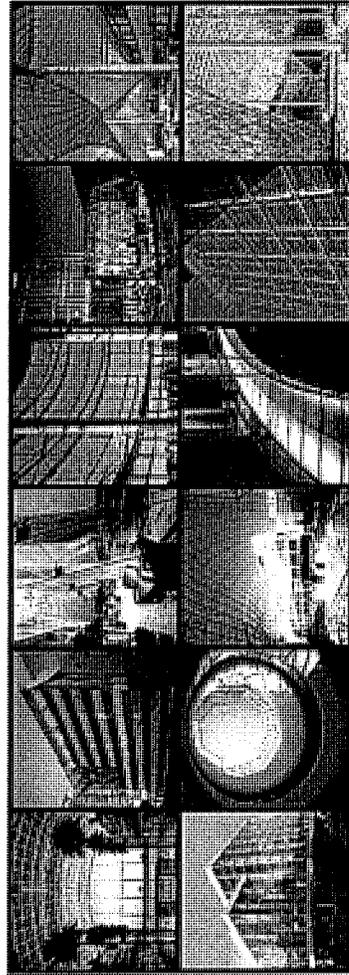
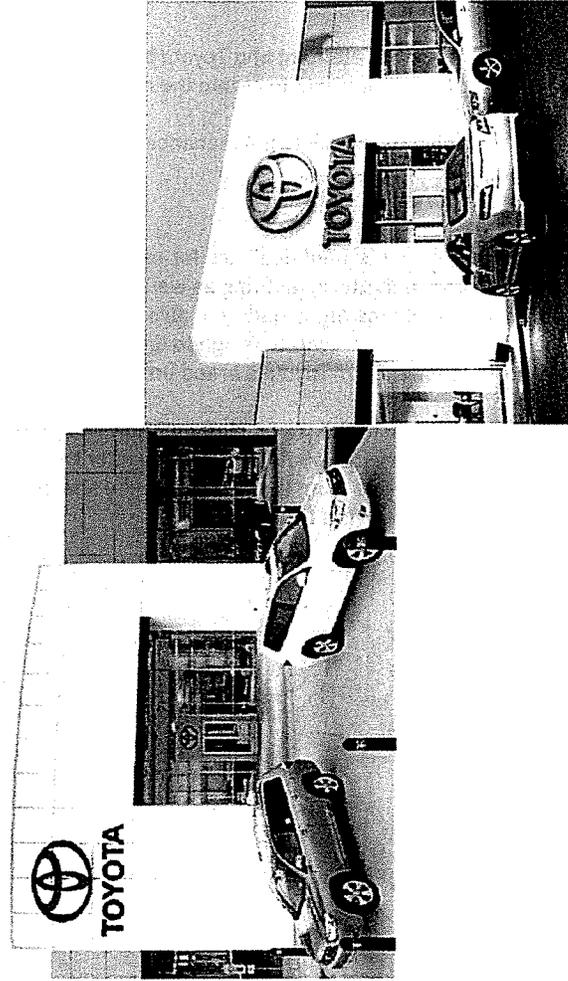
Advanced Structural System

Fully Engineered Illumination System

Translucent Specialty Glass Sandwich Panels

Flush Metal Panels

High Quality Installation



Novum Structures LLC

W126 N8585 Westbrook Crossing
Menomonee Falls, WI 53051
Contact Name: Trevor F. Cary
T 262.255.5561 T 800.323.0072
F 262.583.5086
www.novumstructures.com



CUSTOMER SATISFACTION

CUSTOMER SERVICE

ENGINEERING SERVICES

TEMPLATE SYSTEM

STRUCTURAL SYSTEM

ILLUMINATION SYSTEM

GLASS PANELS

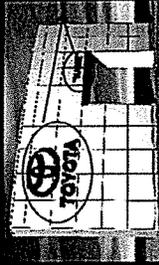
METAL PANELS

INSTALLATION

Novum Structures Portal System

The Novum Portal System creates a very identifiable, high-quality image for the dealership. Translucent glass panels provide highly attractive day lighting and a bold backlit image after-dark. Novum's advanced structural system ensures site specific design flexibility and economy through a highly creative, mass-produced "kit of parts". On time, error-free installations are executed by well-trained factory direct crews. Portal Systems are backed by comprehensive warranties. Our well-trained customer service group is available to assist with your portal needs, so don't hesitate to call us for assistance.

SIGNAGE ON PORTAL

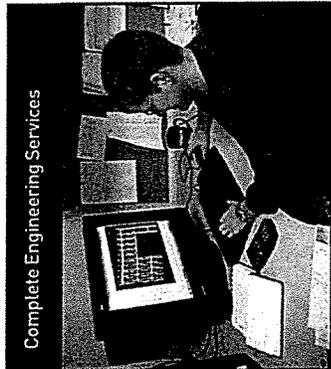


To order signage and coordinate sign permitting, call Pattison Sign Company at 800.268.6536

NOVUM

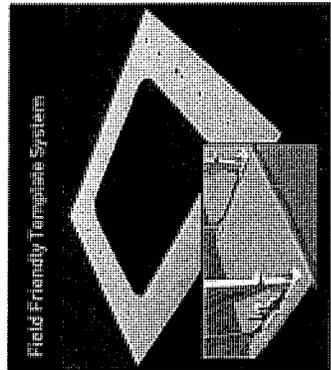
Novum Structures LLC

Complete Engineering Services



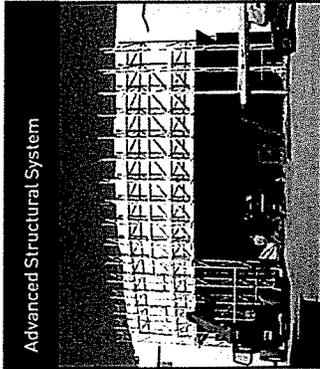
- Engineering Services/Reactions so Local Engineer Can Design Portal Foundations/Building Steelwork
- Complete Shop Drawings/Details/Structural Calcs
- State Specific Engineering Stamp/Certification
- Design Assistance for Interface With Other Trades
- Technical Support

Field Friendly Template System



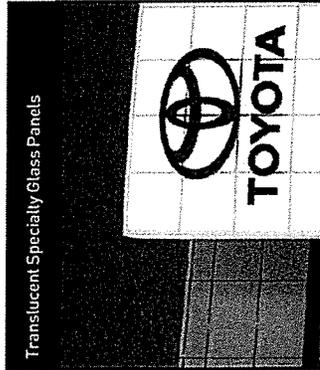
- Assists With Accurate Anchor Bolt Placement (By Others)
- Compatible for "Drilled and Epoxied" or "Poured in Place" Anchors
- Easy to Use
- Maintains Tight Design
- Reduces Risk for Project Delays

Advanced Structural System



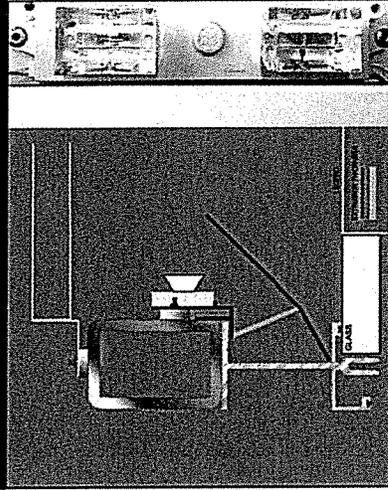
- IAS/ICBO Quality Certified Structure
- Reflective Factory Applied White Finish to Enhance Internal Illumination
- Mechanical Fastener Eliminates Field Welding (except at prop connection)
- Economy Through Minimal Parts
- Flexibility in Design (Free Standing or Propped)

Translucent Specialty Glass Panels



- Constructed with Custom Light Diffusing Glass Panels to Enhance Uniform Appearance
- Low Iron Glass Maximizing "White" Transparency
- Fully Tempered for Safety Glazing
- Pre-Drilled Holes Provided for Mounting/Wiring of Signage by Pattison Sign Group
- Aluminum Plate Mounts Provided for Mounting of Signage by Pattison Sign Group

Fully Engineered LED Illumination System



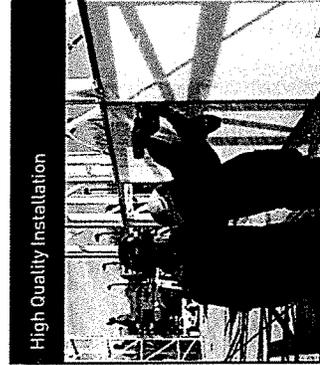
- Custom Extruded LED Light Bars
- Back Reflector Panel Engineered to Maximize Light Diffusion
- Low Brightness/High Visual Comfort
- Low Operating Costs (Energy)
- Instant On
- Low Maintenance
- Color Stable Over the Entire Surface

Flush Metal Panels



- PVC Core for Flat Uniform Appearance
- Long Life Kynar Paint System
- Custom Design/Fabrication to Ensure Joint Consistency
- Detailing for Long Lasting Clean Appearance
- Aluminum Skins
- Venting for System Cooling

High Quality Installation

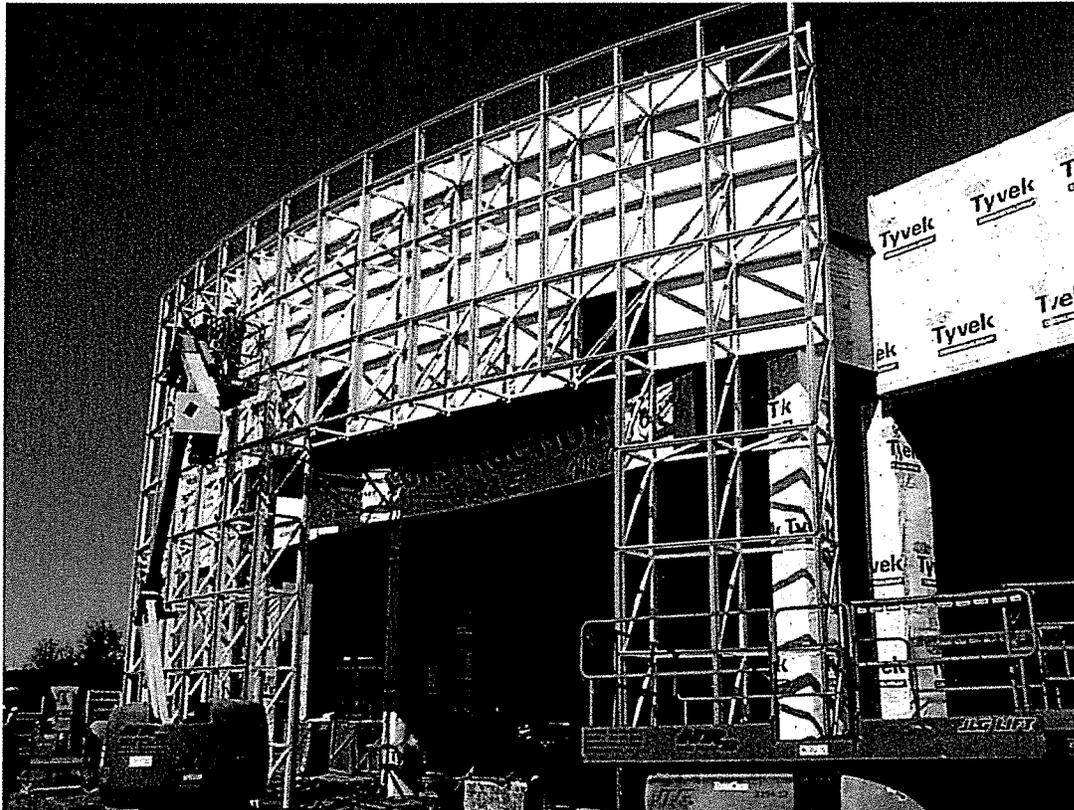


- Factory Trained/Certified Crews
- Professional On-Site Conduct
- OSHA Compliant
- Rapid Installation
- Reliable Schedule
- Customer Oriented
- Experienced Project Management/Field Supervision

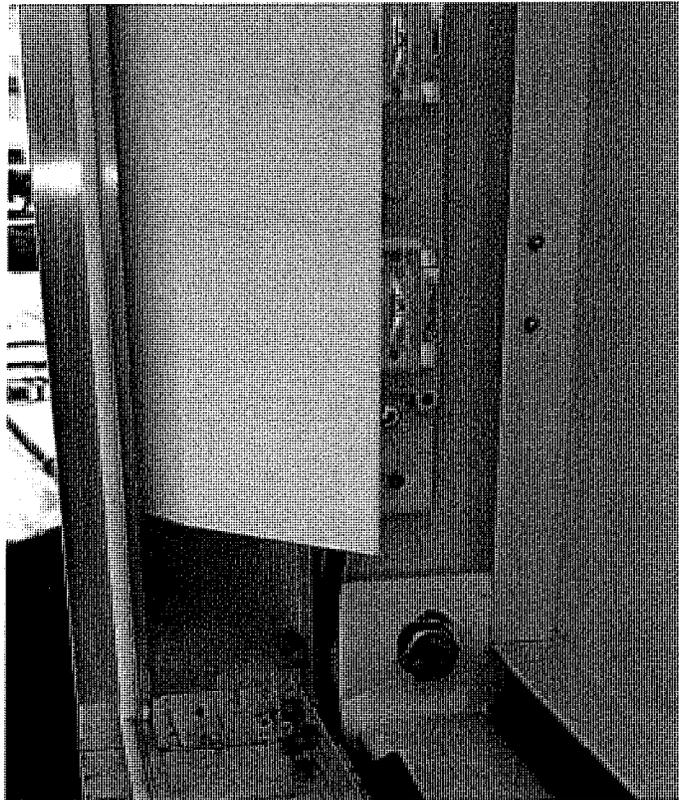
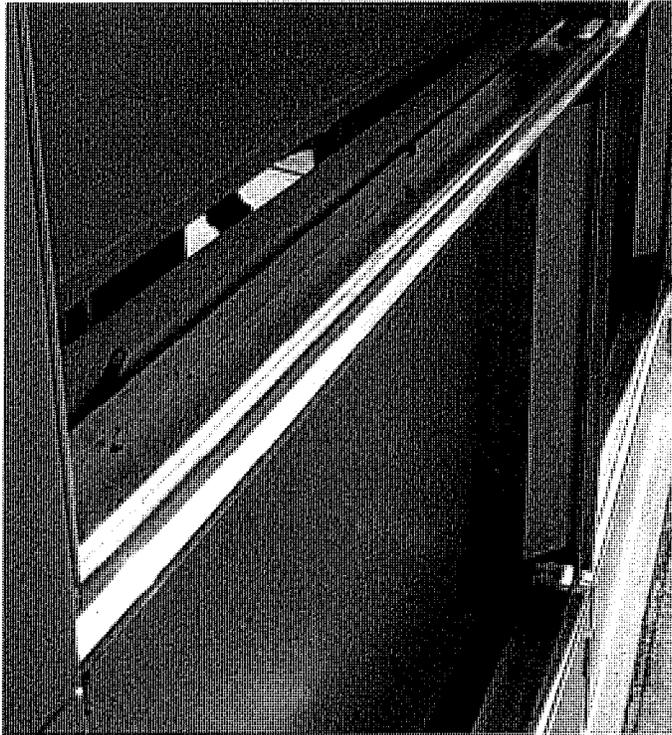
Typical Completed Entry Portal:



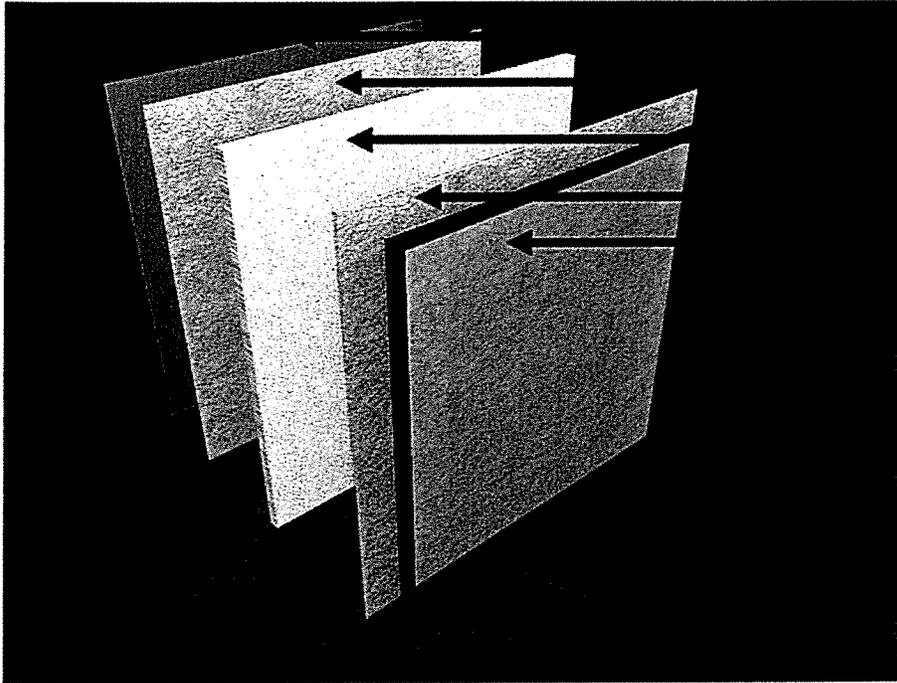
Typical Portal Steelwork/Framing:



Typical Integral LED Portal Lighting:

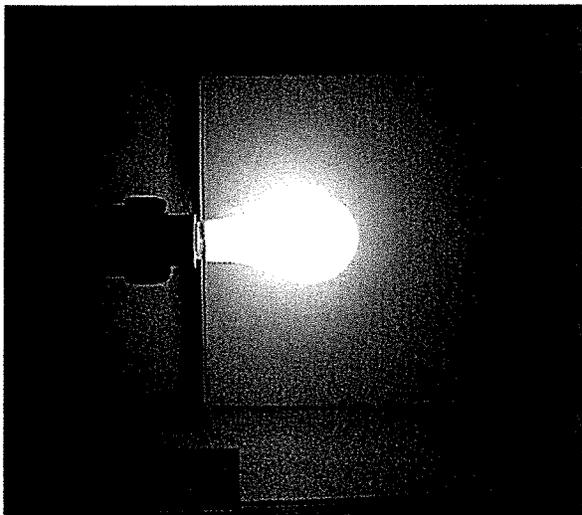


Custom Light-Diffusing Glass:

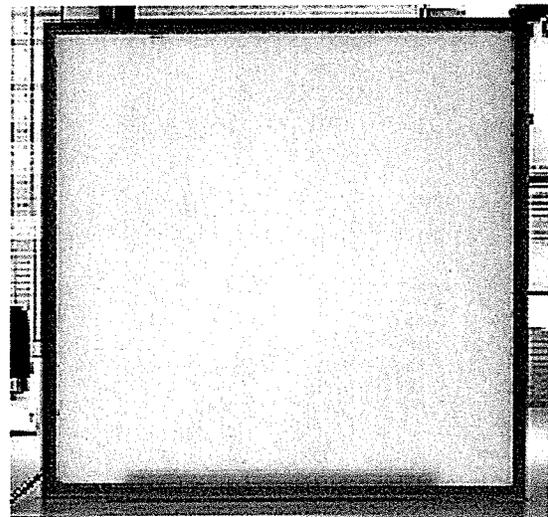


Low Iron Glass
White Veil
Light Diffusing In-Fill
White Veil
Low Iron Glass

Light Demonstration



Typical Wattage Bulb Behind
Standard Storefront Glazing



Pre – Engineered Light Mechanism
Behind Light Diffusing Glazing Shield

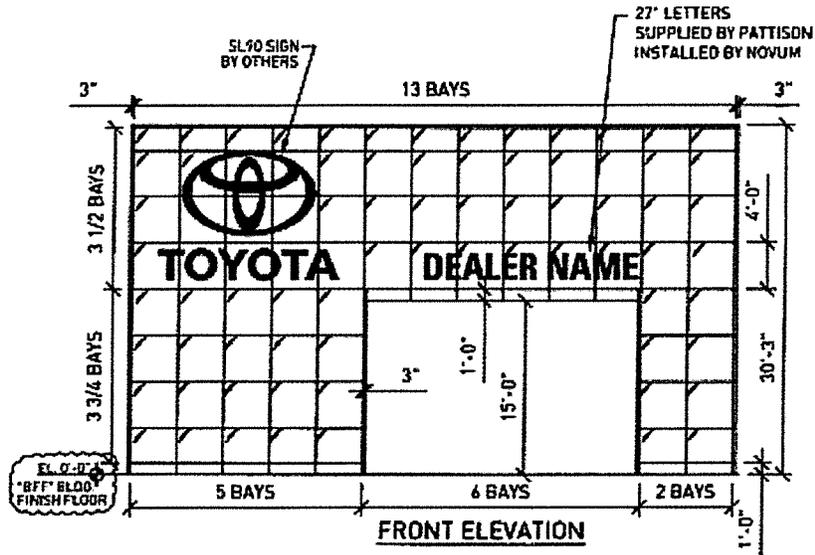
Sample Portal Lighting Photometric Analysis:

NOVUM Novum Structures LLC www.novumstructures.com	PROJECT:	PROJECT NO:	DRAWN BY:
	SAMPLE	DRAWING NO:	DATE:



SAMPLE 5-6-2, HD=3.5, BE=15 - PORTAL ELEVATION

7.25 Bays (Tall) x 13 Bays (Wide)



FRONT ELEVATION

Drawn By: MM
 Checked By: MM
 Date: 12/17/2014

TECH SUPPORT: 888-664-2133
 EMAIL: TECHNICAL@LED SYSTEMS.COM
 WWW.LEDSYSTEMS.COM

Lighting Solutions
 EAST CLEVELAND, OH 44112

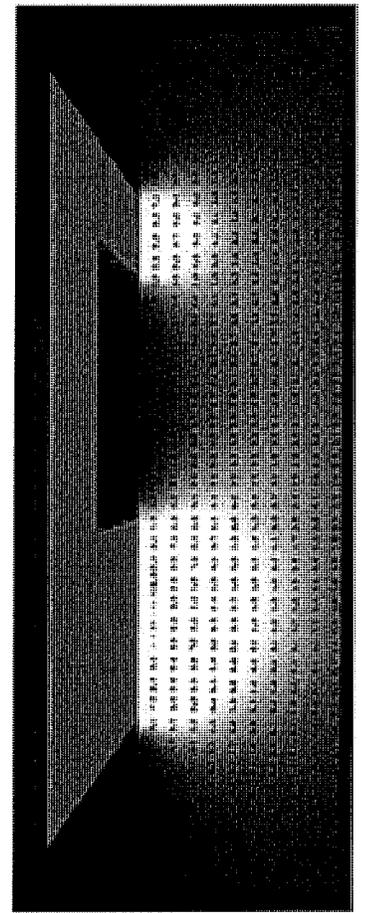


Drwg #: 045395-401a

7.65 x 13 BAYS - HORIZONTAL PLANE AT GRADE (16' ADDED TO SIDES, 20' OUT FR

Calculation Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Low/Min
Horizontal Calc	illumiance	Fc	2.97	10.1	0.1	28.70	101.00

Luminaire Schedule		Description	
Symbol	Qty	IES File	Lumens/Mobule
562	562	Edgestrip3#_IESNA2002	227
		Tetra EdgeStrip 5600K (GEIB6-1)	



Drawn By: MM
 Checked By: MM
 Date: 12/17/2014

TECH SUPPORT: 333-641-1133
 EMAIL: TETRO@LEDSYSTEMS.COM
 WWW.LEDSYSTEMS.COM

Lighting Solutions
 EAST CLEVELAND, OH 44112



Tetra LED System

Drawn #: 045395-37(A)

Z 25 x 13 BAYS - VERTICAL PLANE 1'-0" FROM PORT

Label	CalcType	Units	Avg	PKK	Min	Avg/Min	Mlx/Min
15.0	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
15.1	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
15.2	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
15.3	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
15.4	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
15.5	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
15.6	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
15.7	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
15.8	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
15.9	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
16.0	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
16.1	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
16.2	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
16.3	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
16.4	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
16.5	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
16.6	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
16.7	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
16.8	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
16.9	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
17.0	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
17.1	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
17.2	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
17.3	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
17.4	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
17.5	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
17.6	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
17.7	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
17.8	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
17.9	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
18.0	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
18.1	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
18.2	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
18.3	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
18.4	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
18.5	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
18.6	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
18.7	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
18.8	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
18.9	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
19.0	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
19.1	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
19.2	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
19.3	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
19.4	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
19.5	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
19.6	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
19.7	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
19.8	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
19.9	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00
20.0	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00

Calculation Summary

Label	CalcType	Units	Avg	PKK	Min	Avg/Min	Mlx/Min
15.0 Calc	ILLUMINANCE	FC	15.19	21.6	0.1	151.90	216.00

Luminaire Schedule

Symbol	IES File	Description	Lumens/Module
562	Edge5trio3#_IESNA2002	Tetro Edge5trio 5600K (SEB56-1)	227

7.25 x 13 BAYS - VERTICAL PLANE 10'-0" FROM PORT

Bay	1	2	3	4	5	6	7	8	9	10	11	12	13
1	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0
2	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0
3	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0
4	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0
5	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0
6	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0
7	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0
8	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0
9	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0
10	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0
11	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0
12	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0
13	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
10ft Calc	illumance	Fc	9.47	14.7	2.4	3.95	6.13

Luminaire Schedule

Symbol	IFS File	Description	Lumens/Module
1	ESGESTUPJ# 1ESNR002	Tetra Edgestrip 5000K (GEB5B-2)	22'

Drawn By: MM
 Checked By: MM
 Date: 12/17/2014

TECH SUPPORT: 888-663-1211
 EVAL: TETRA@LWINSOFT.COM
 WWW.LWINSOFT.COM

EAST CLEVELAND, OH 44112
Lighting Solutions

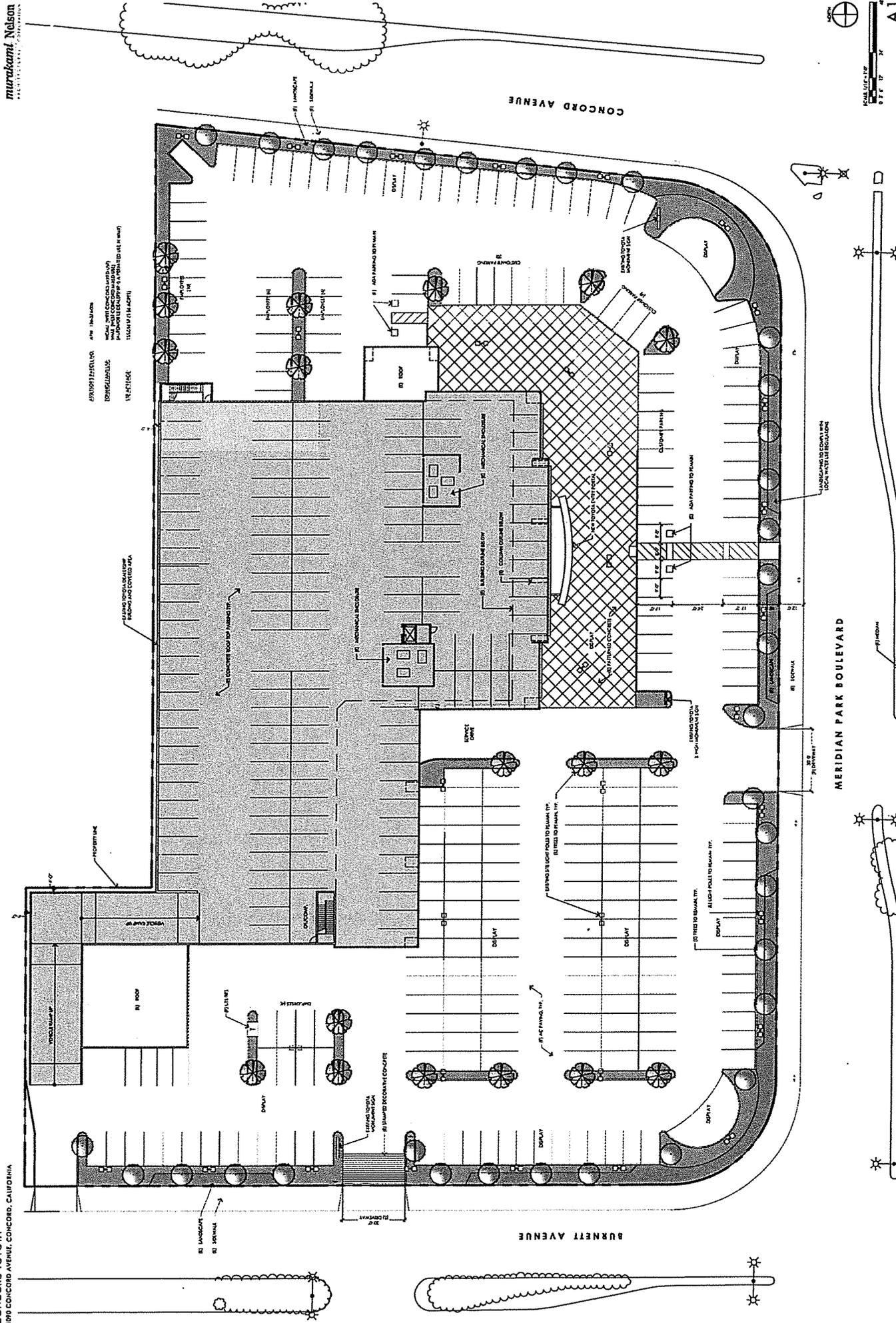


Tetra LED System

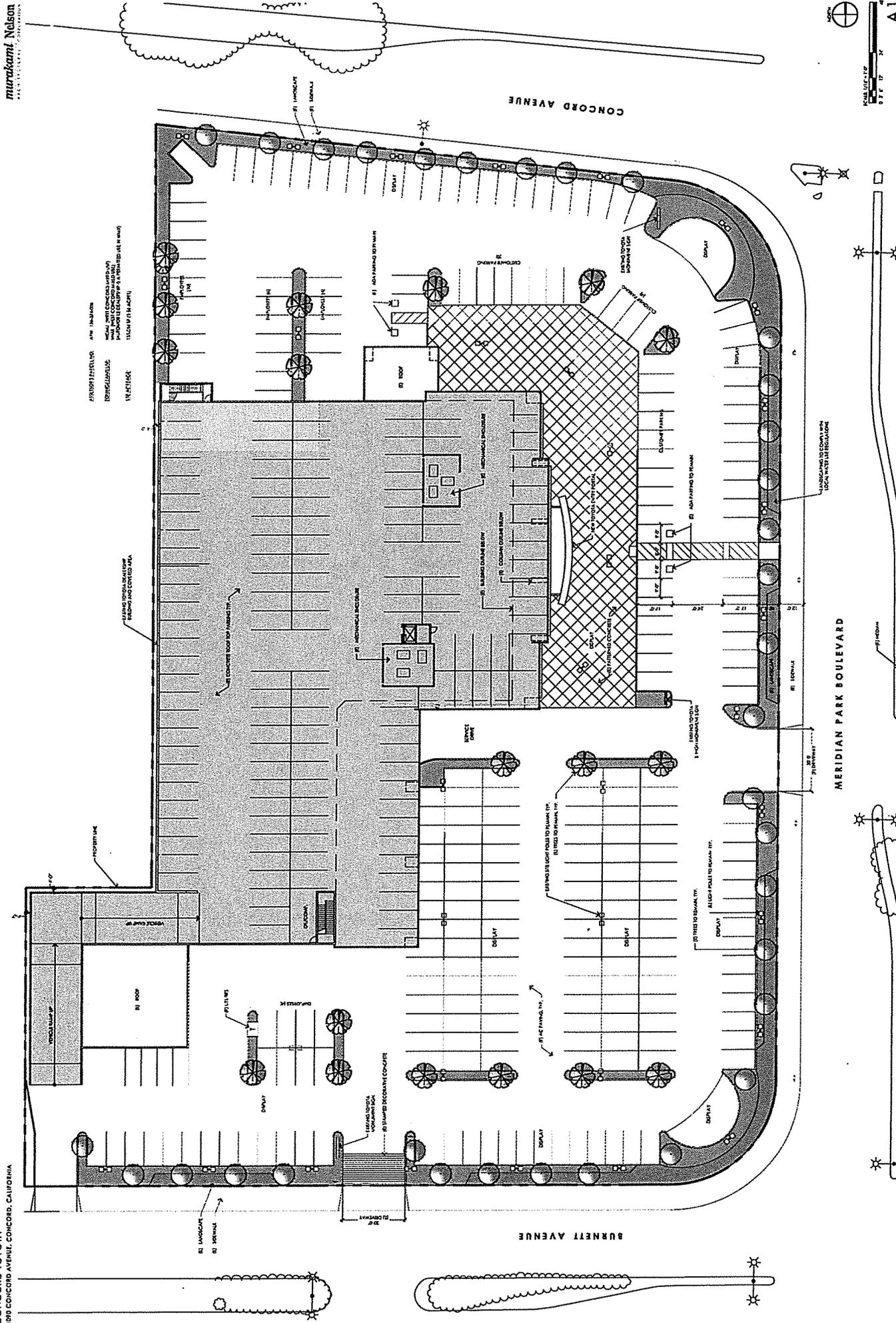
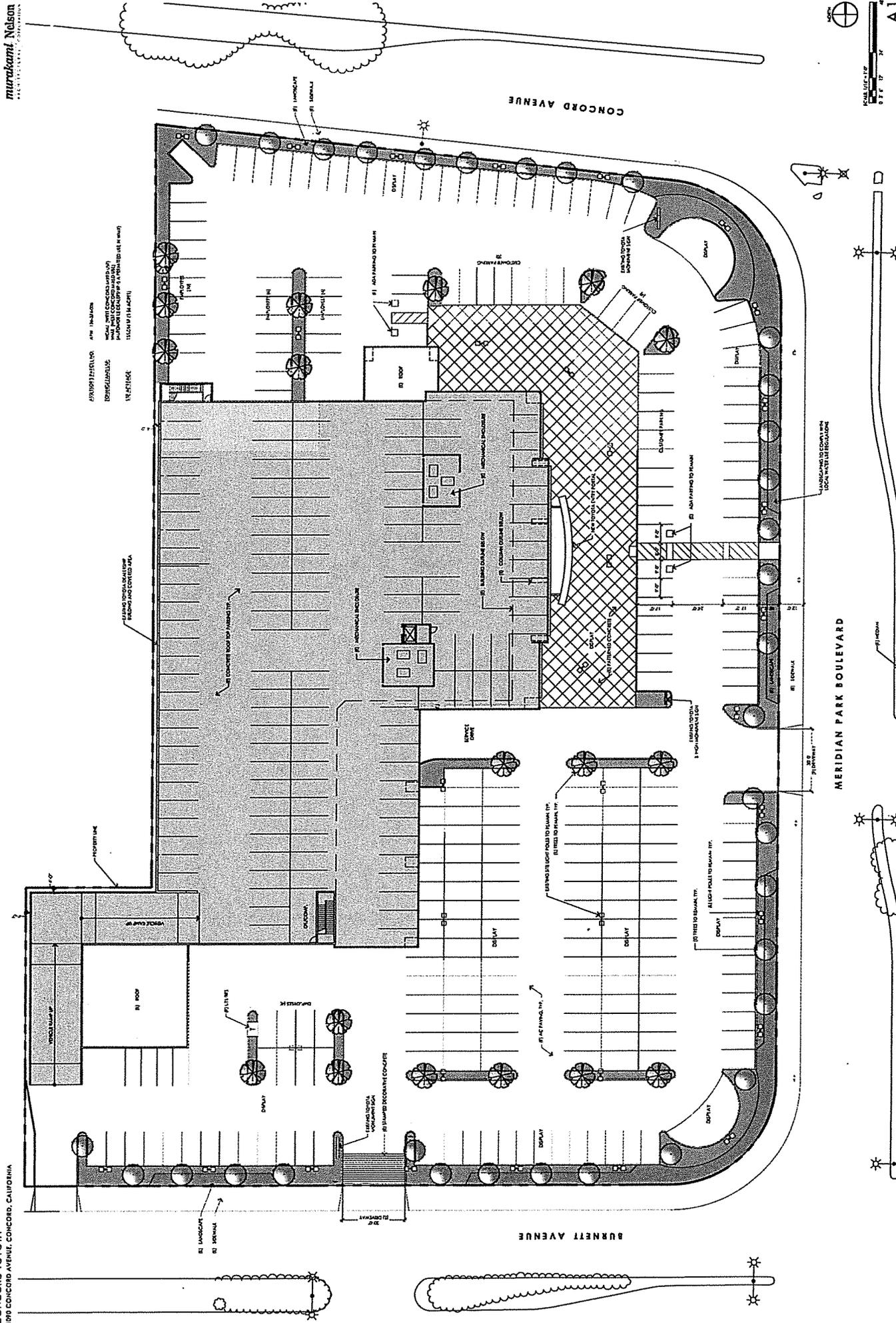
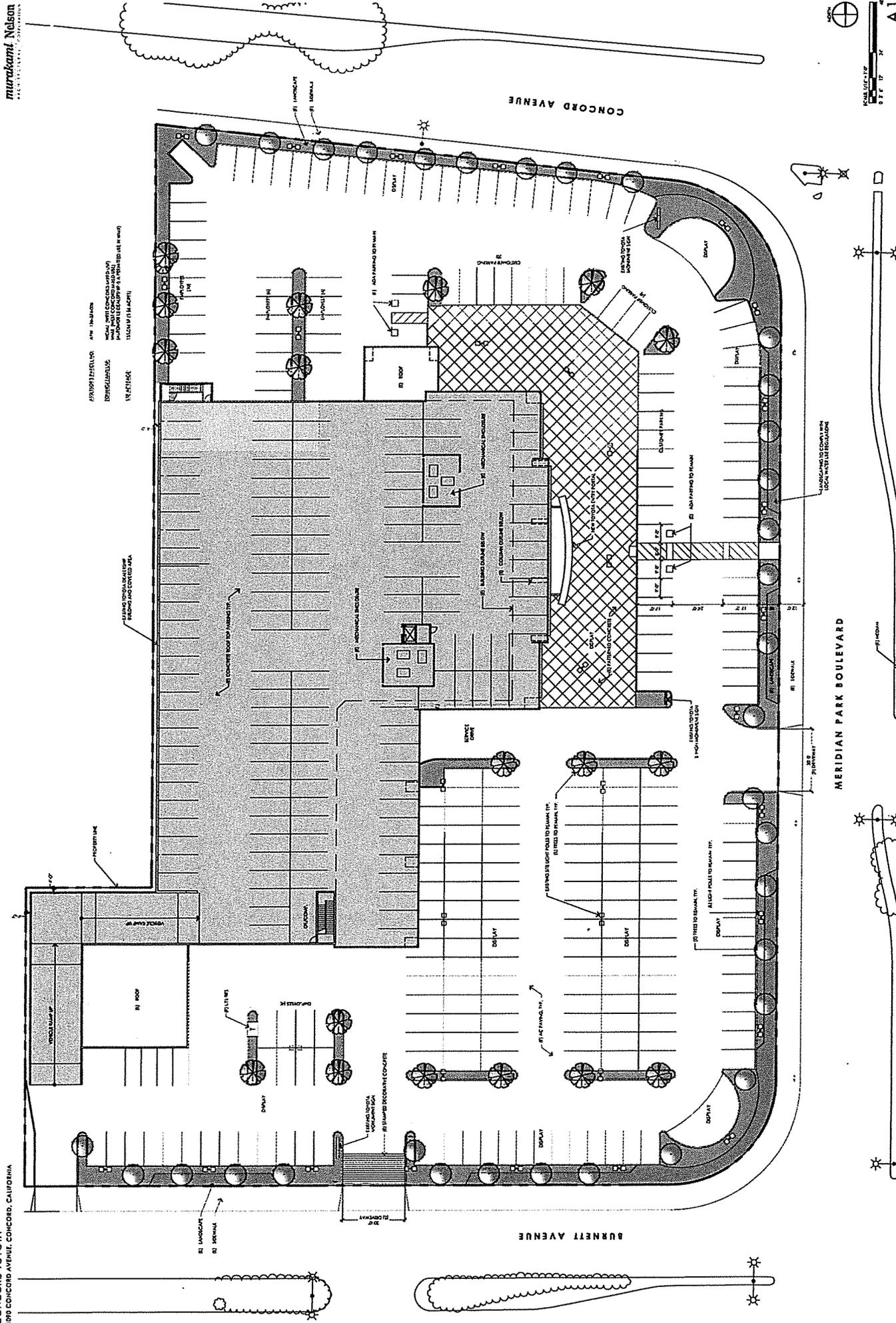
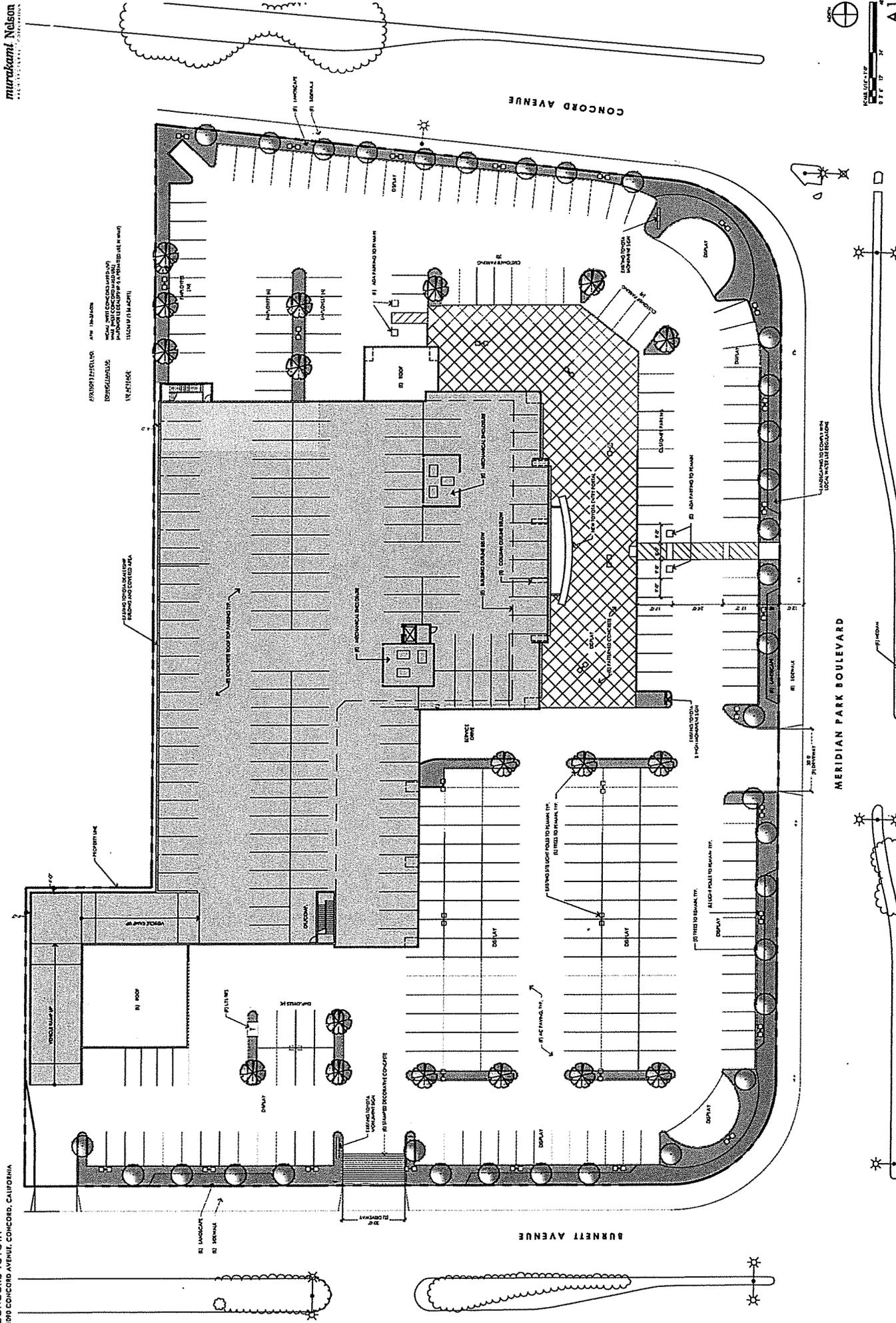
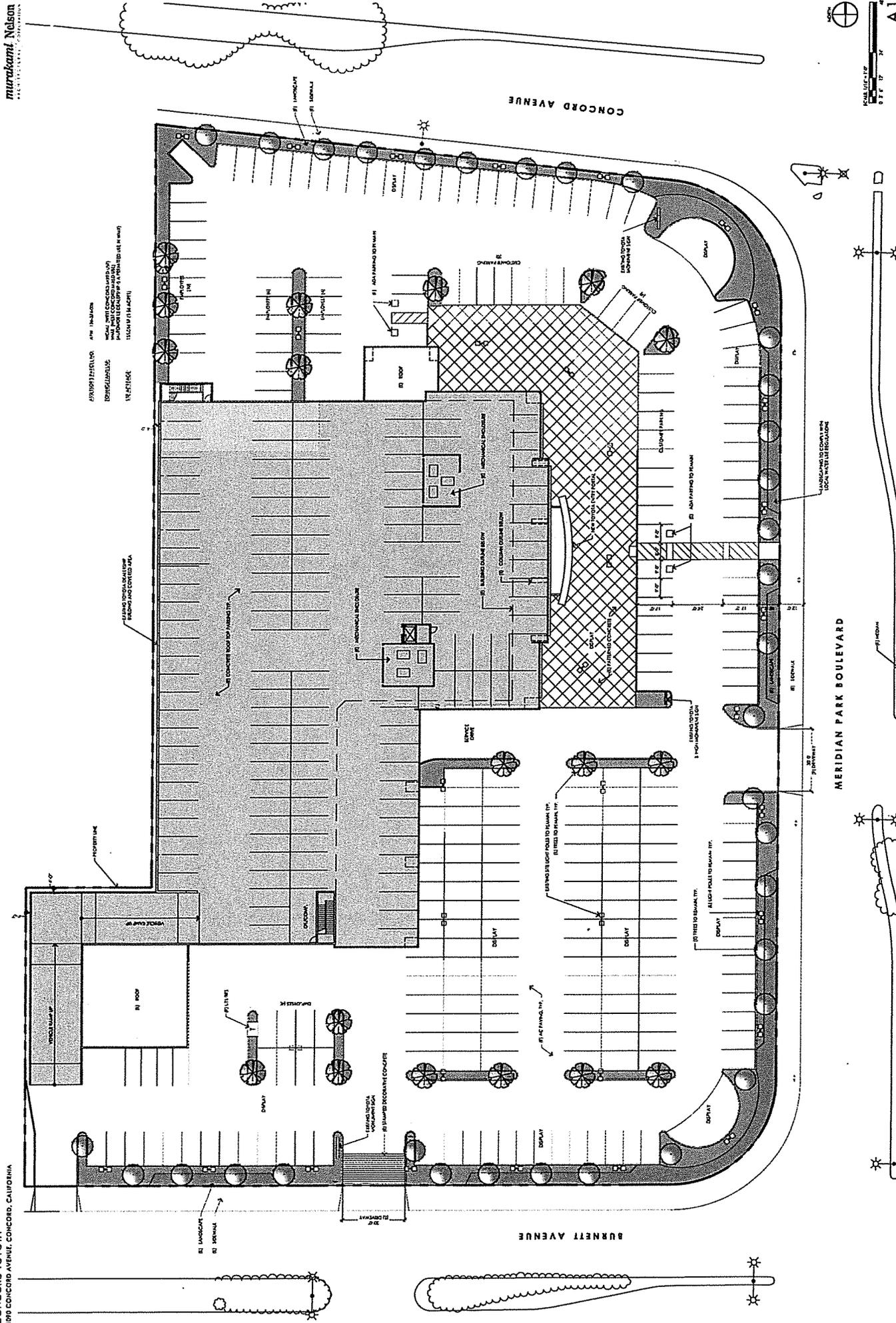
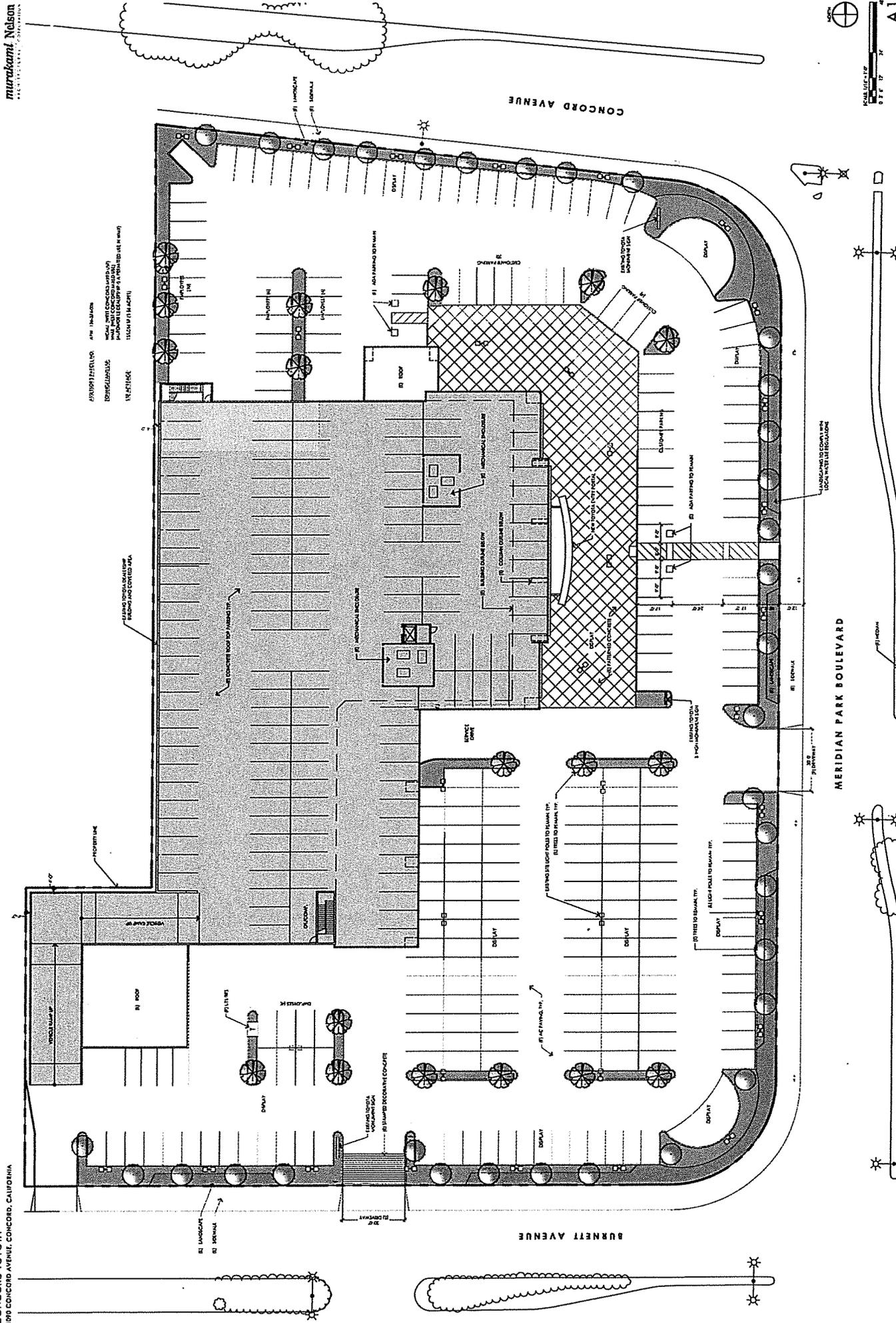
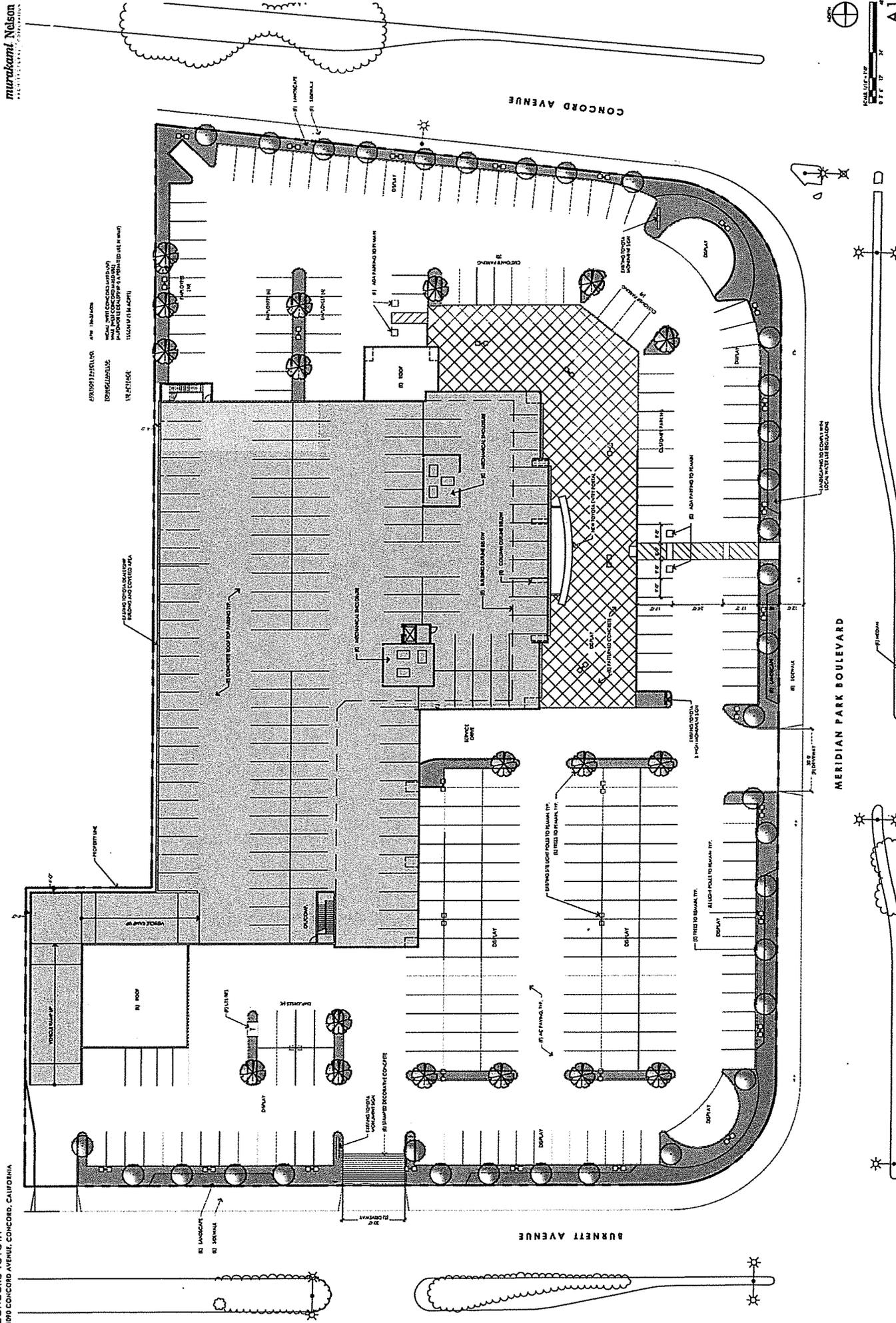
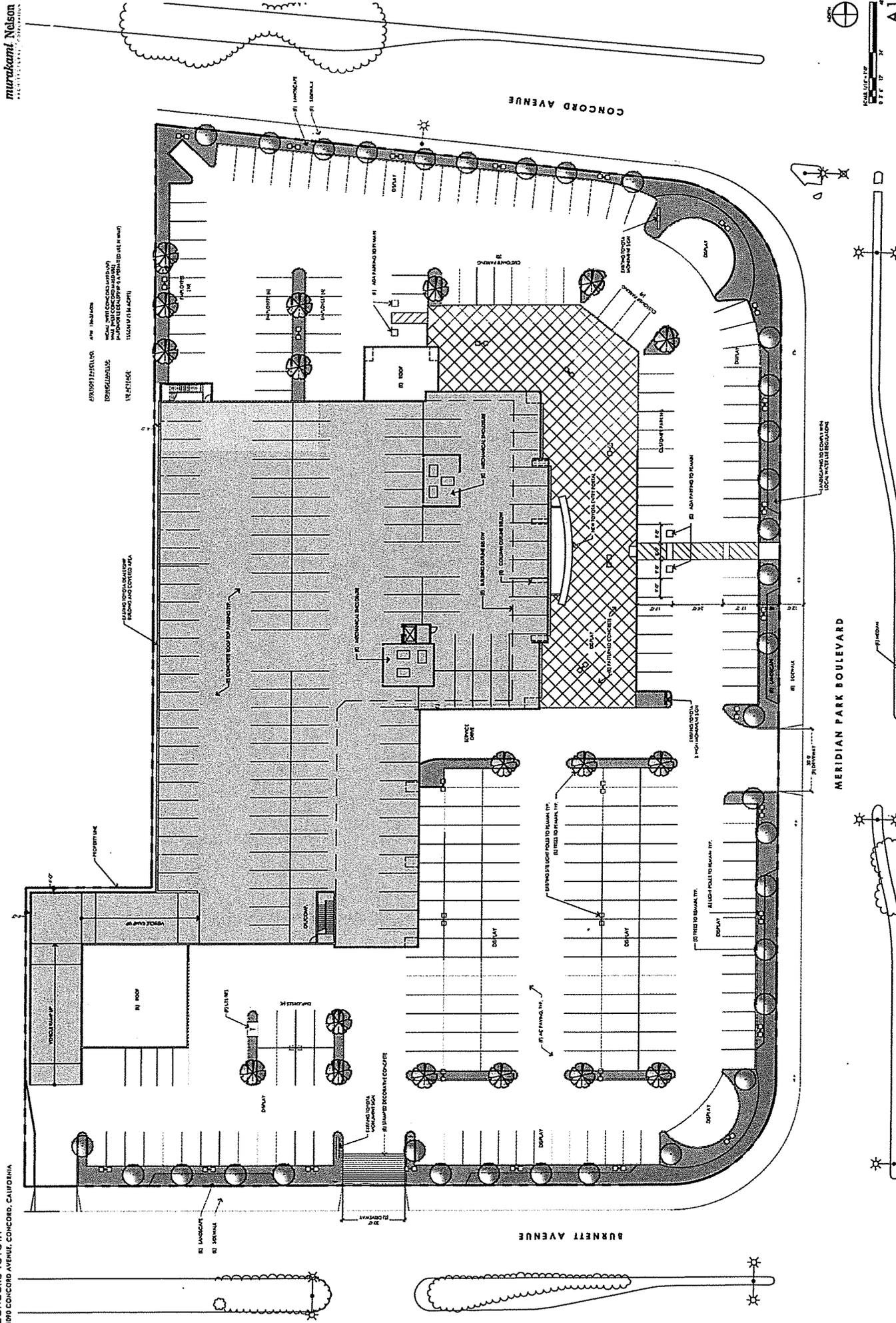
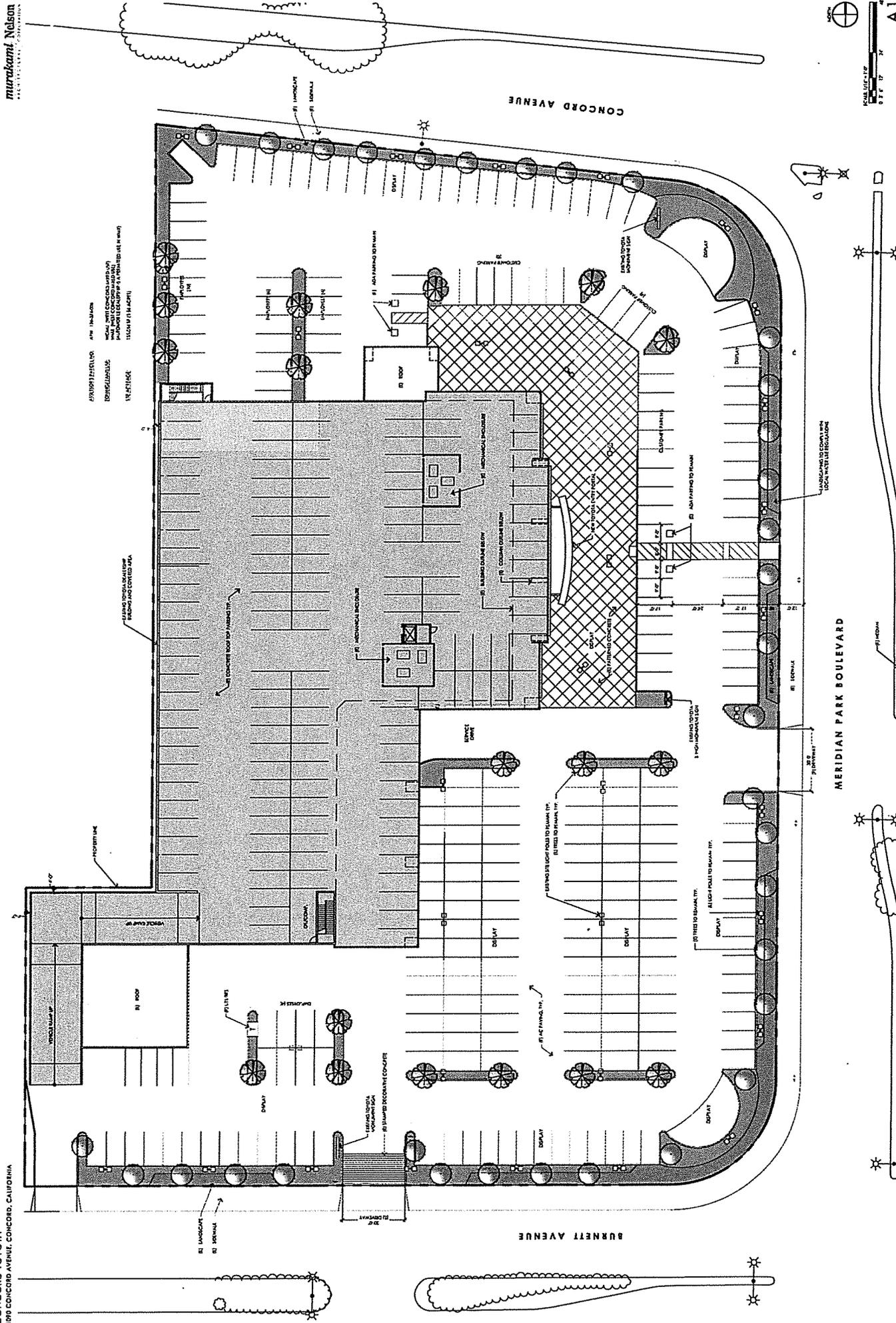
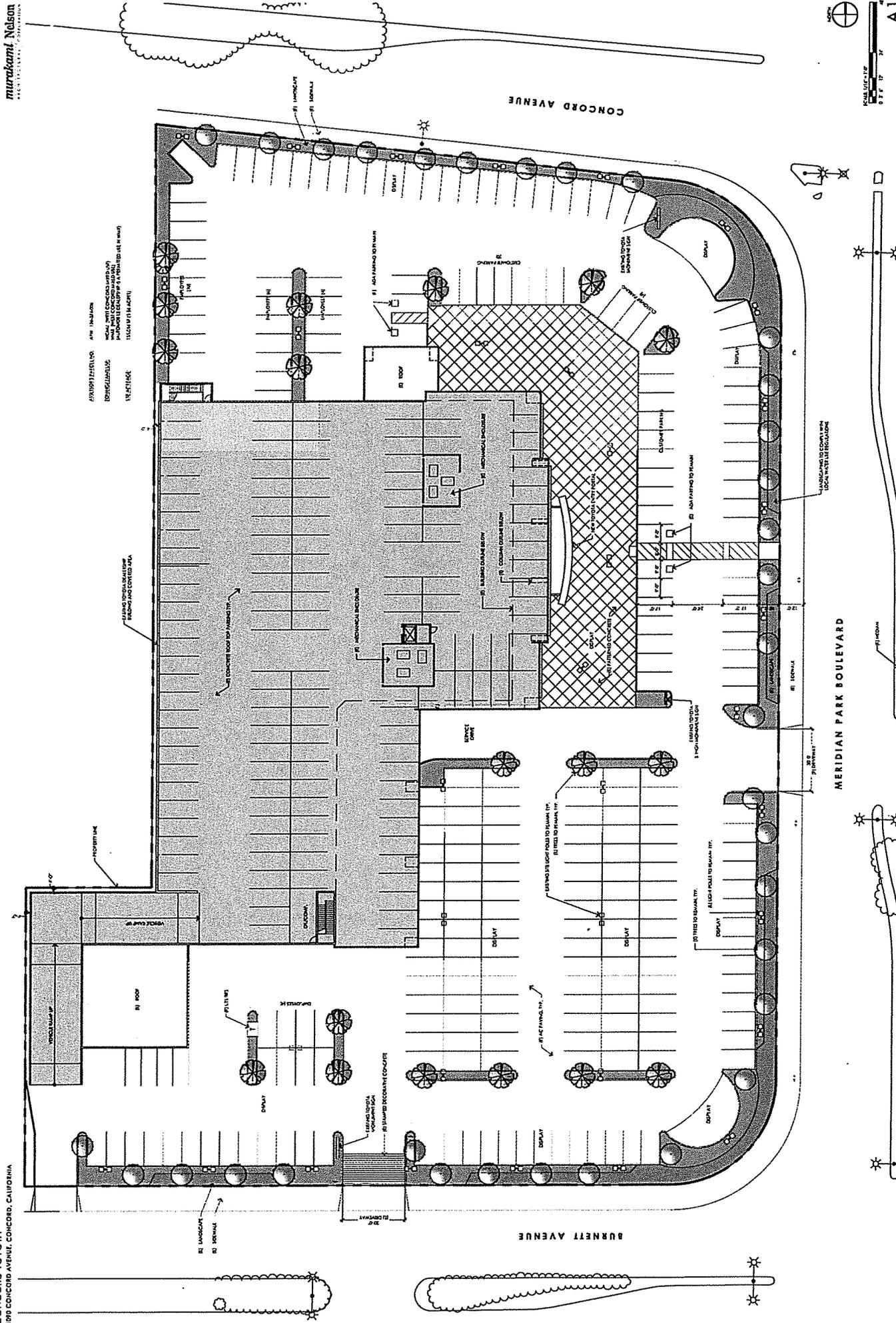
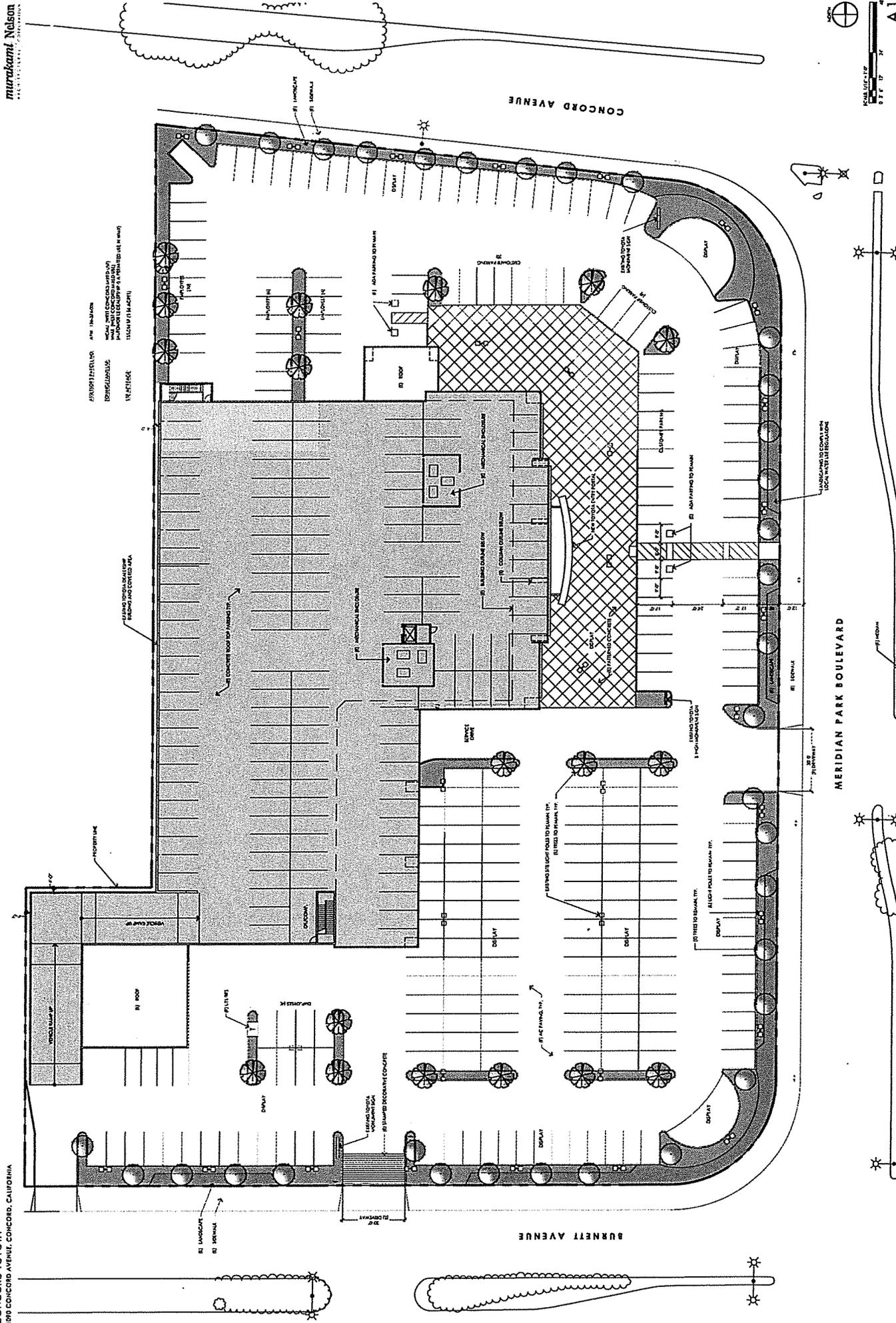
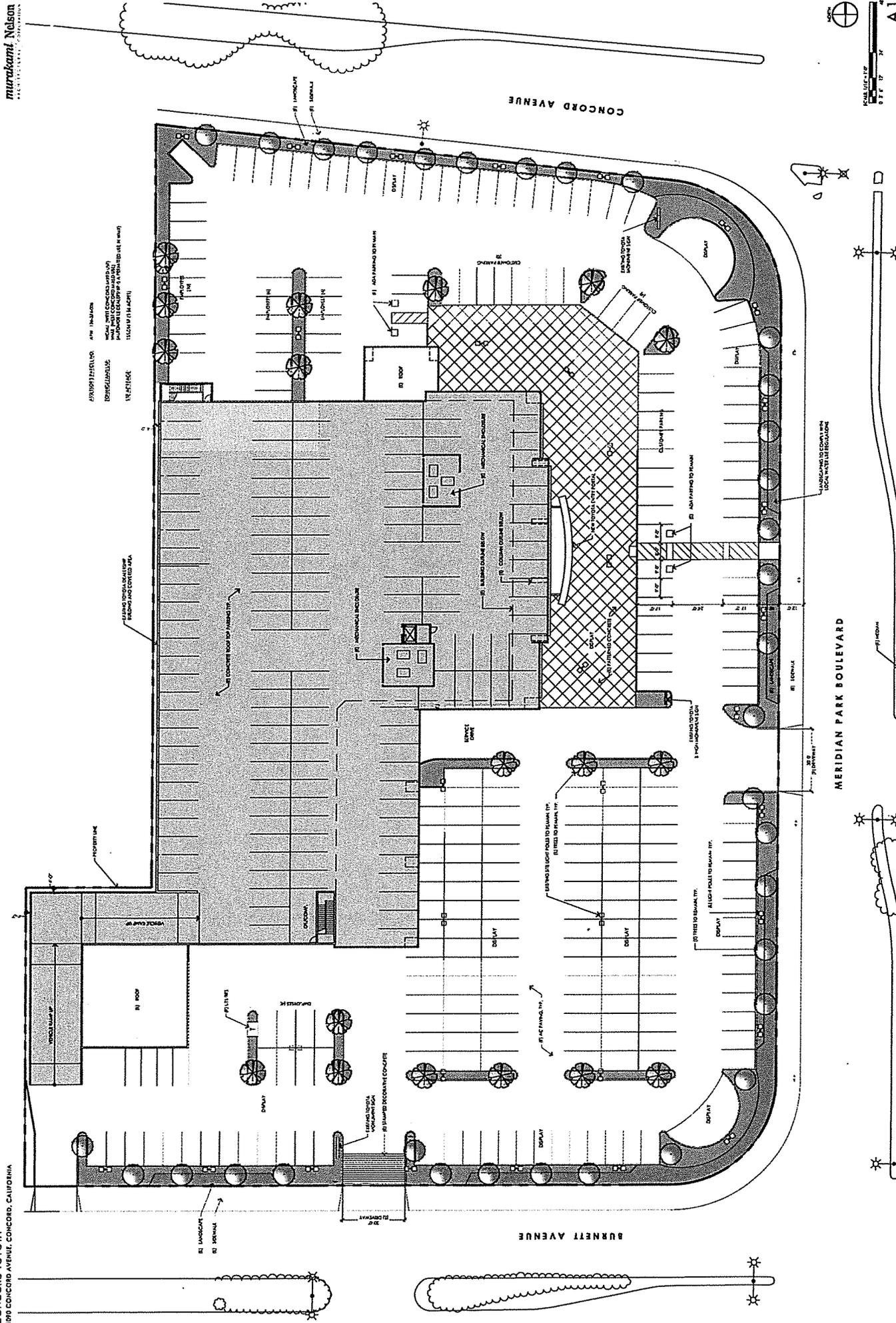
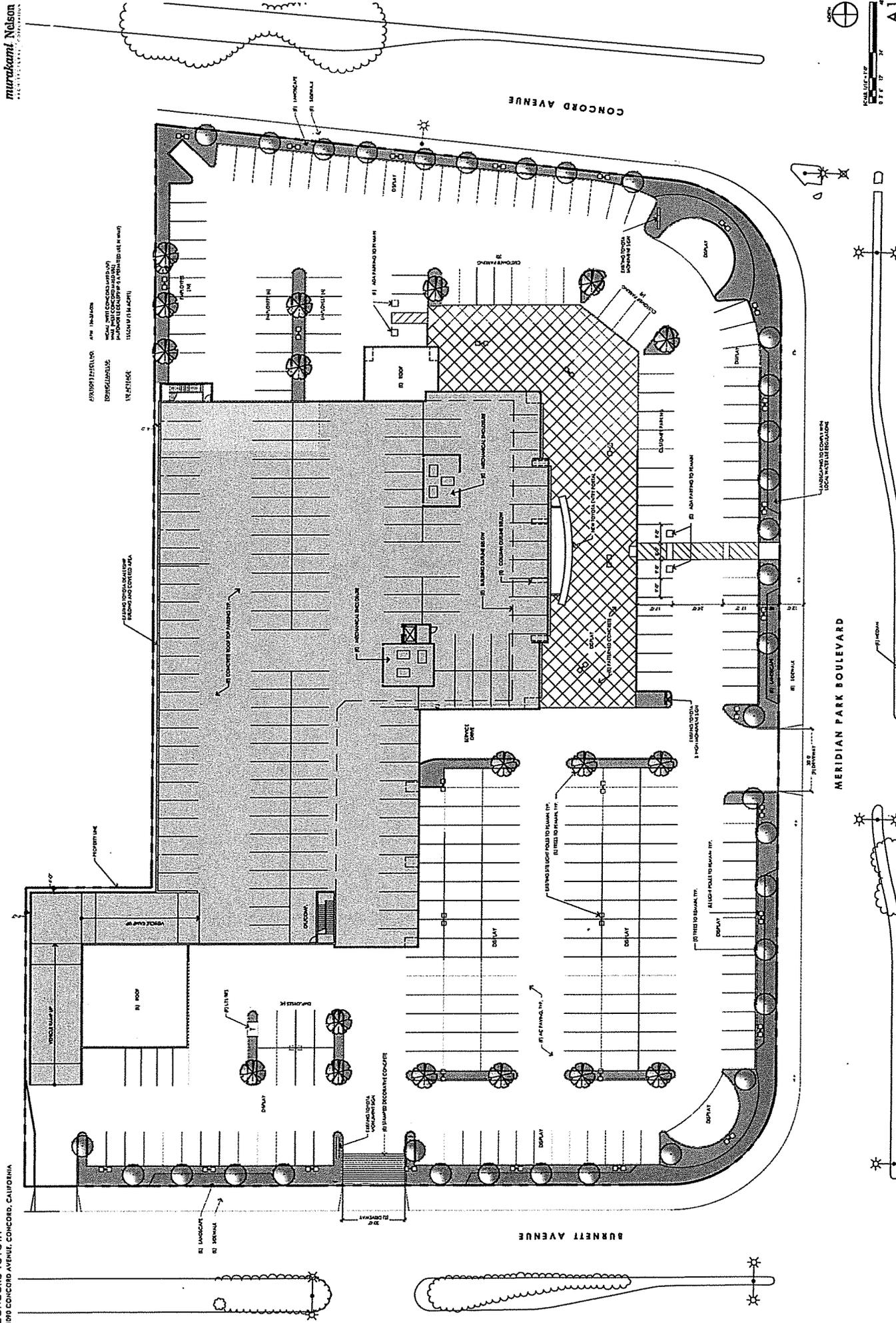
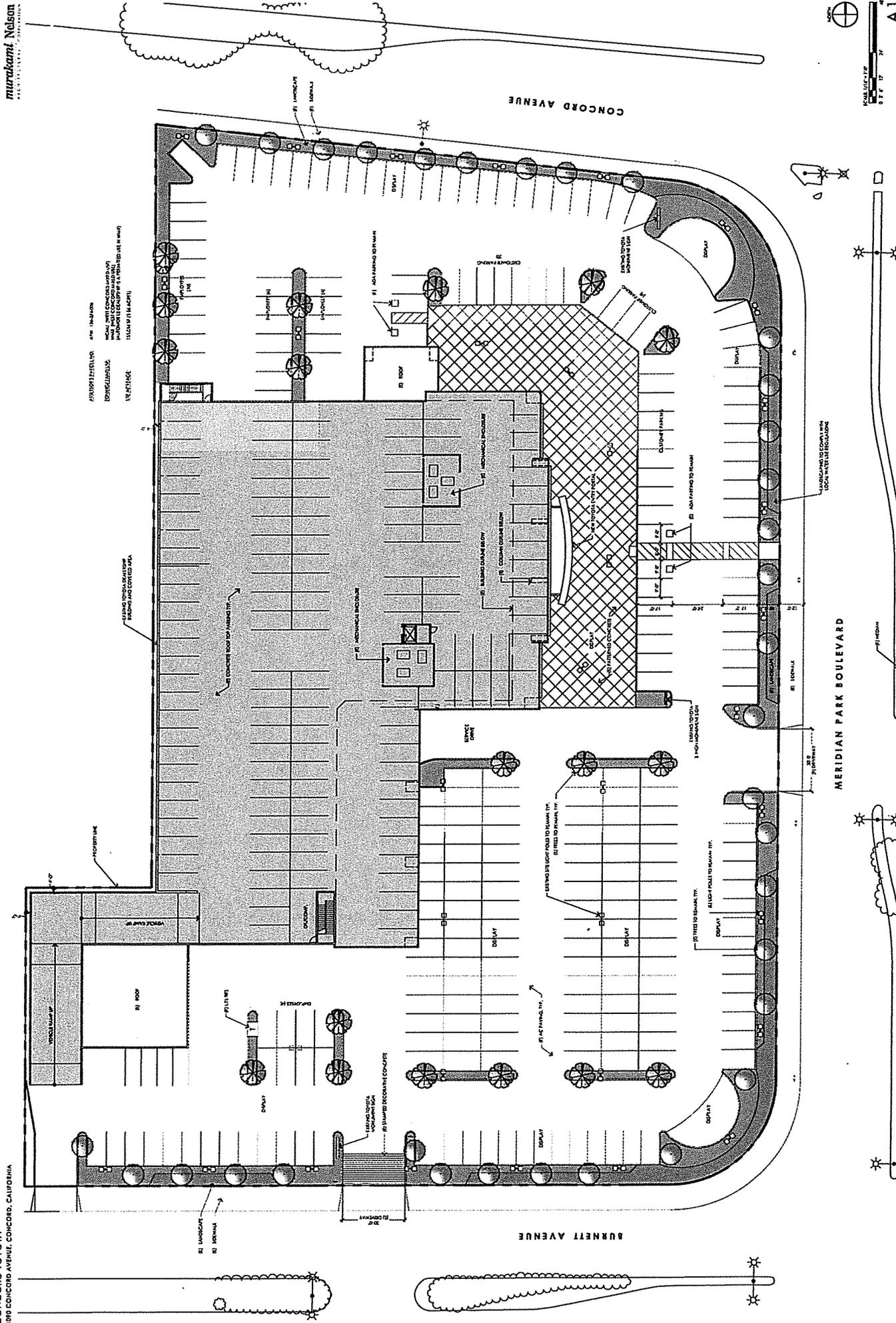
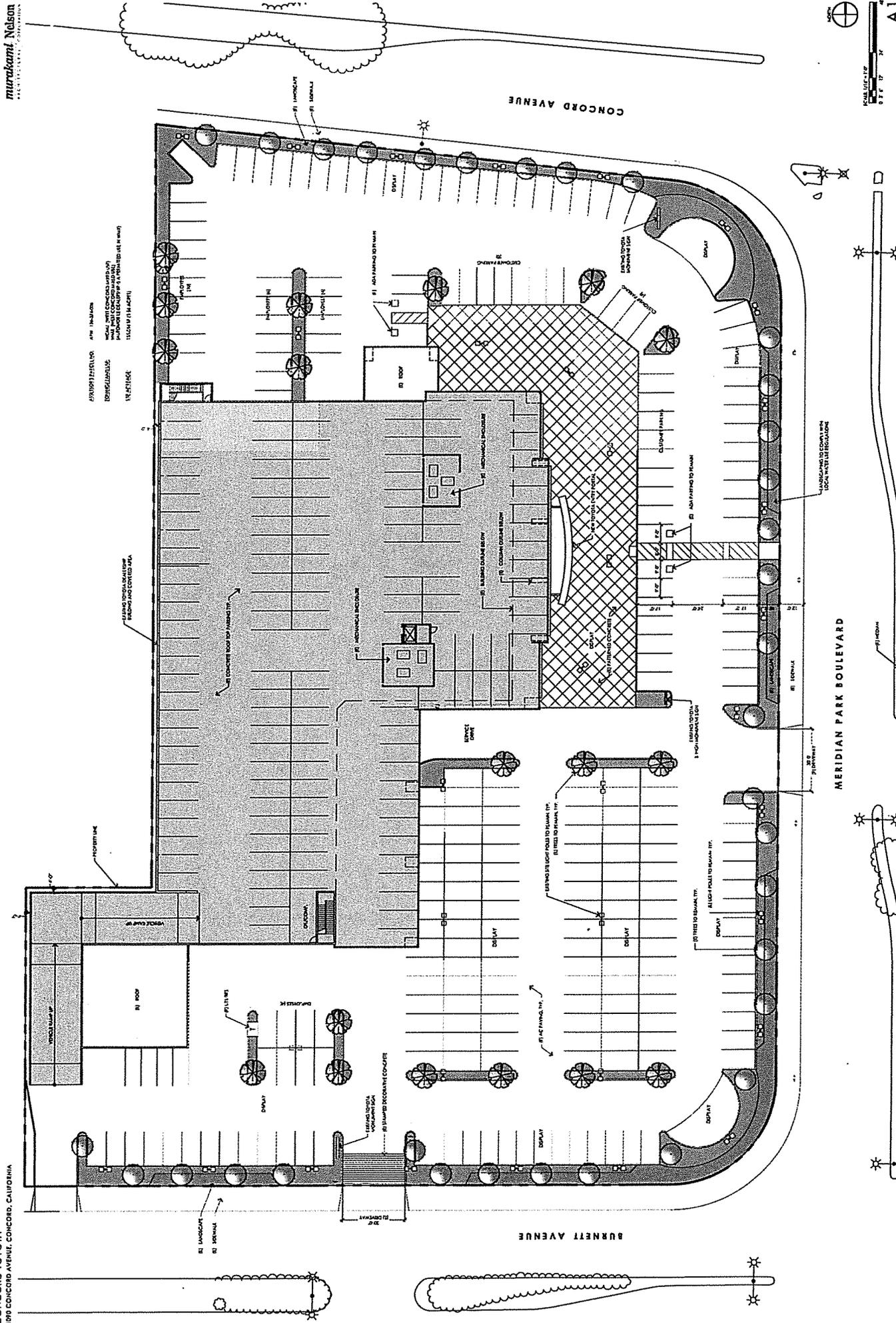
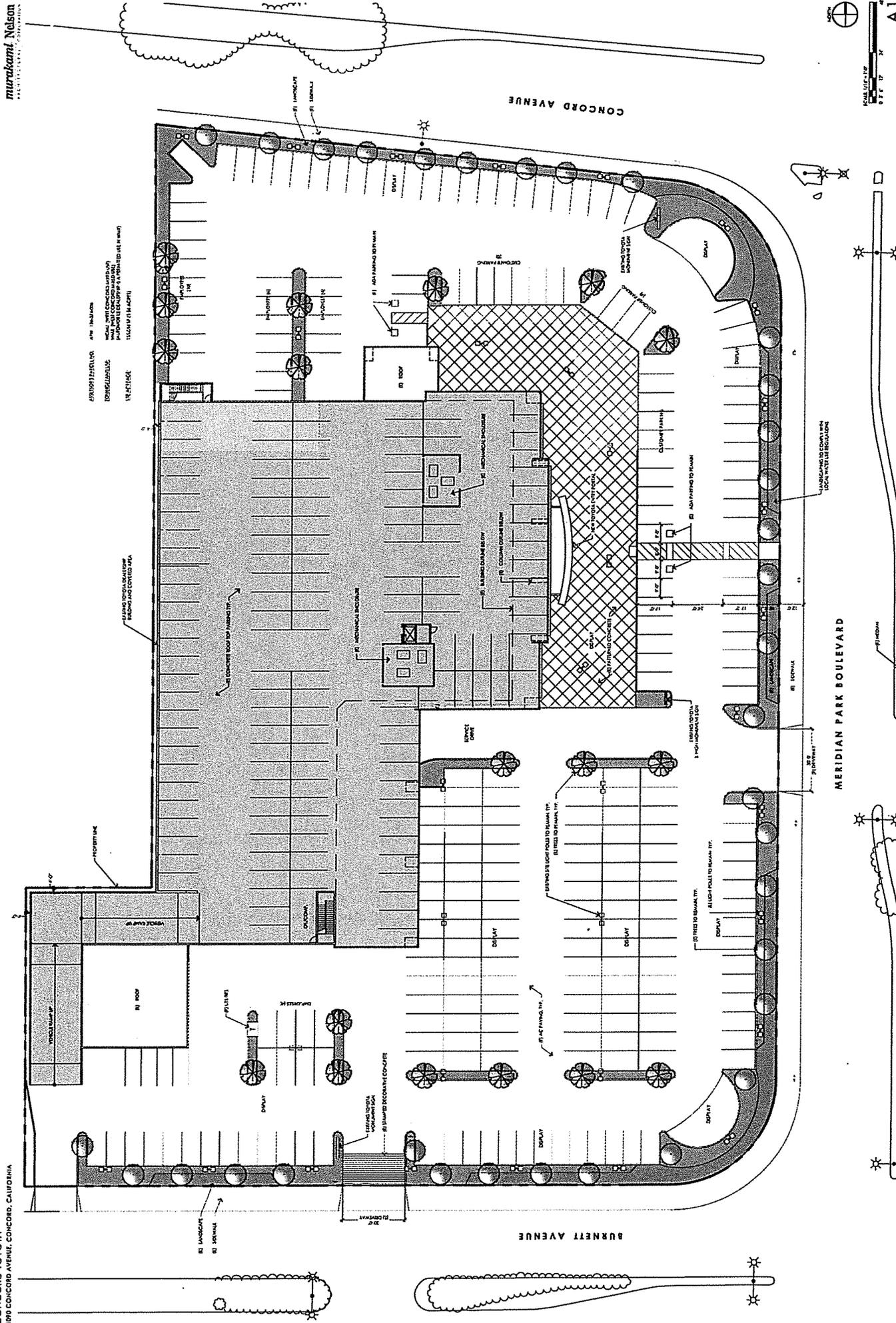
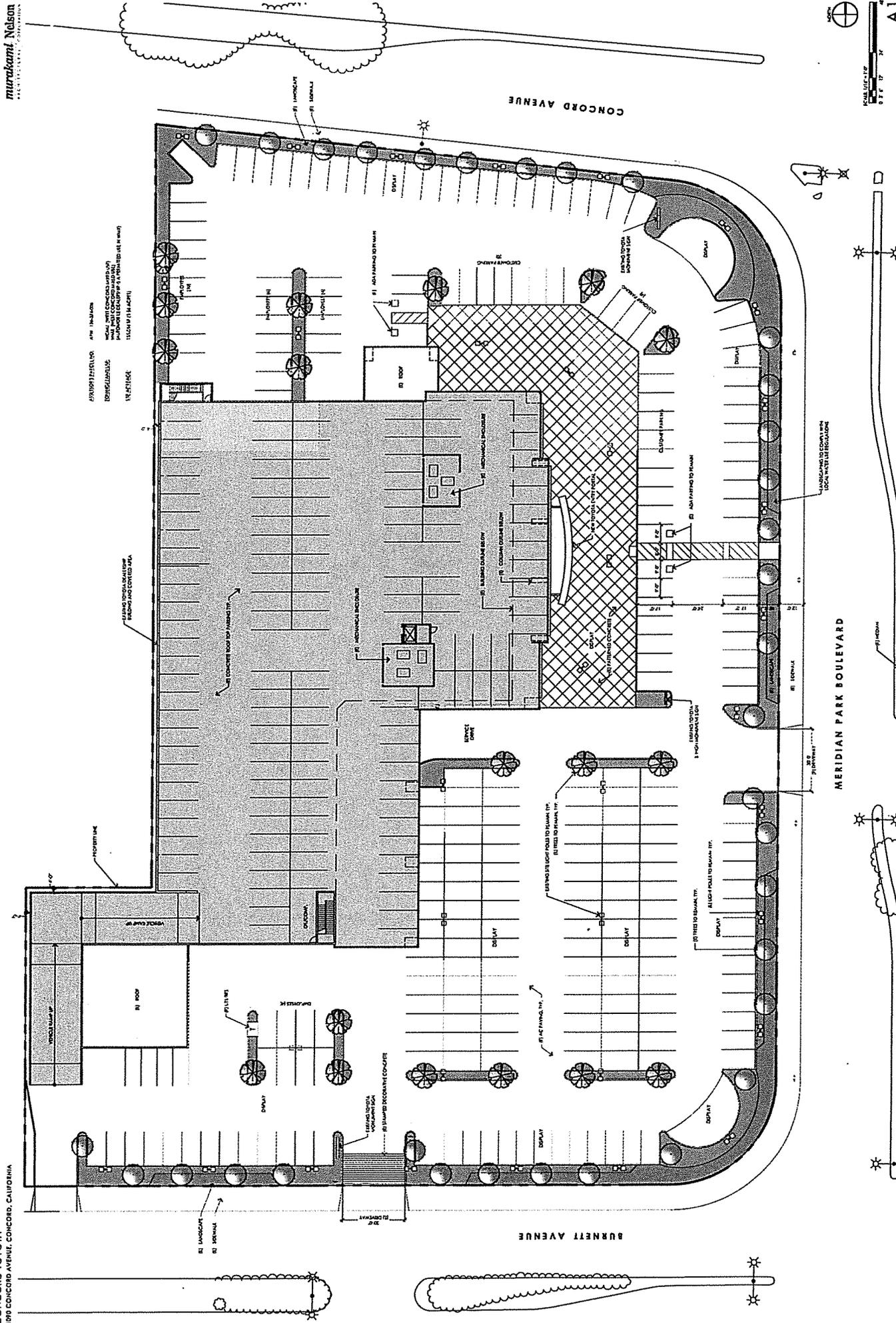
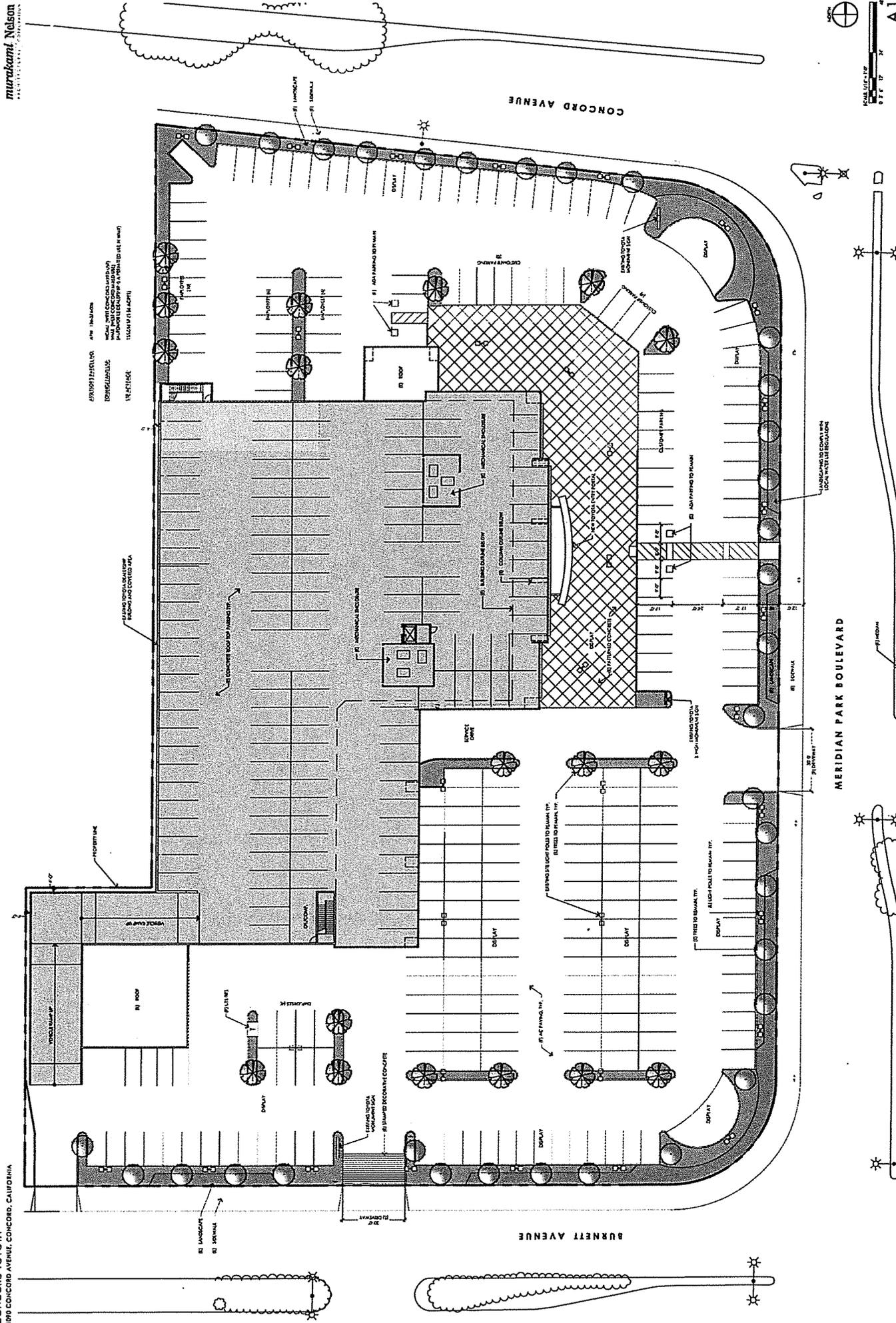
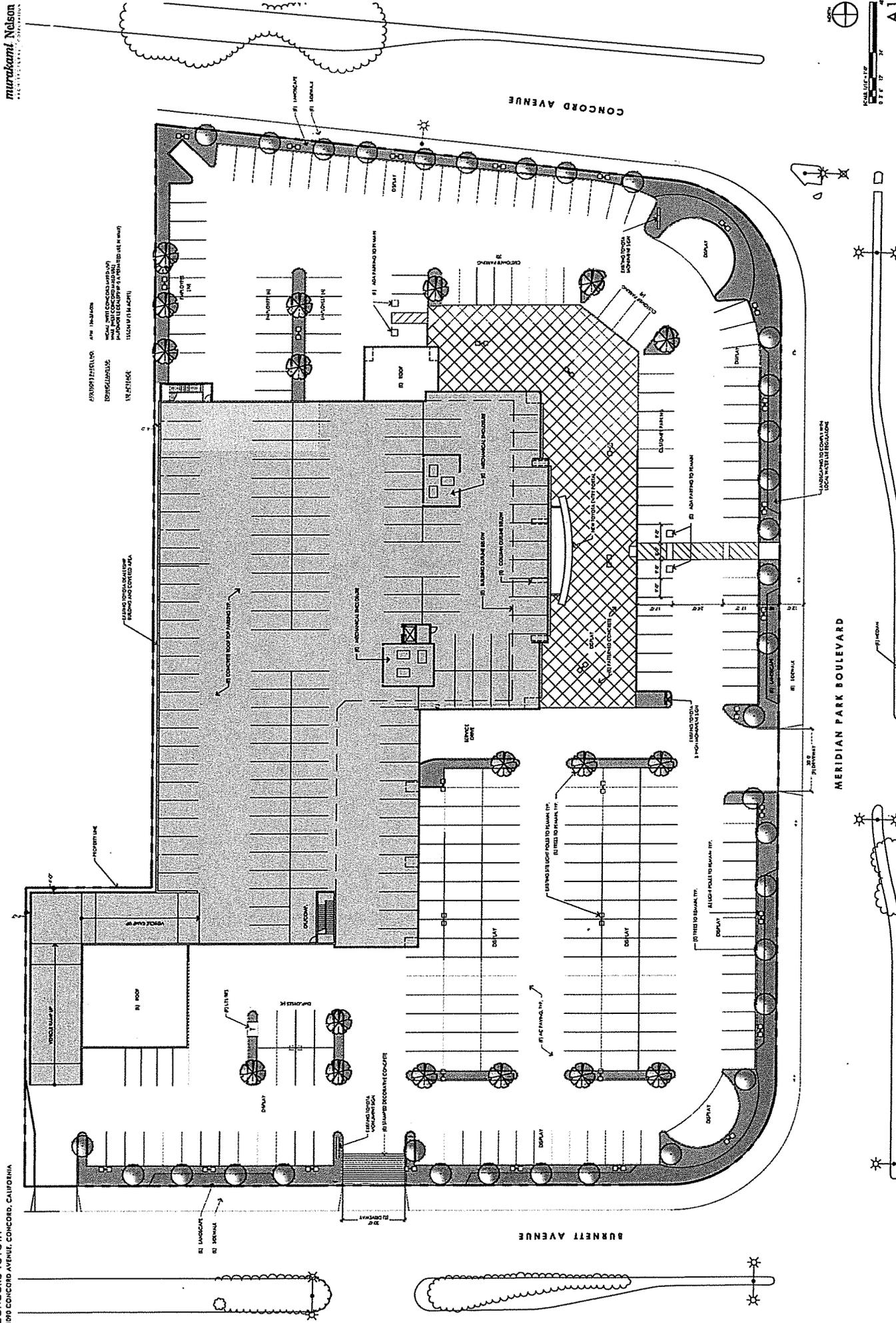
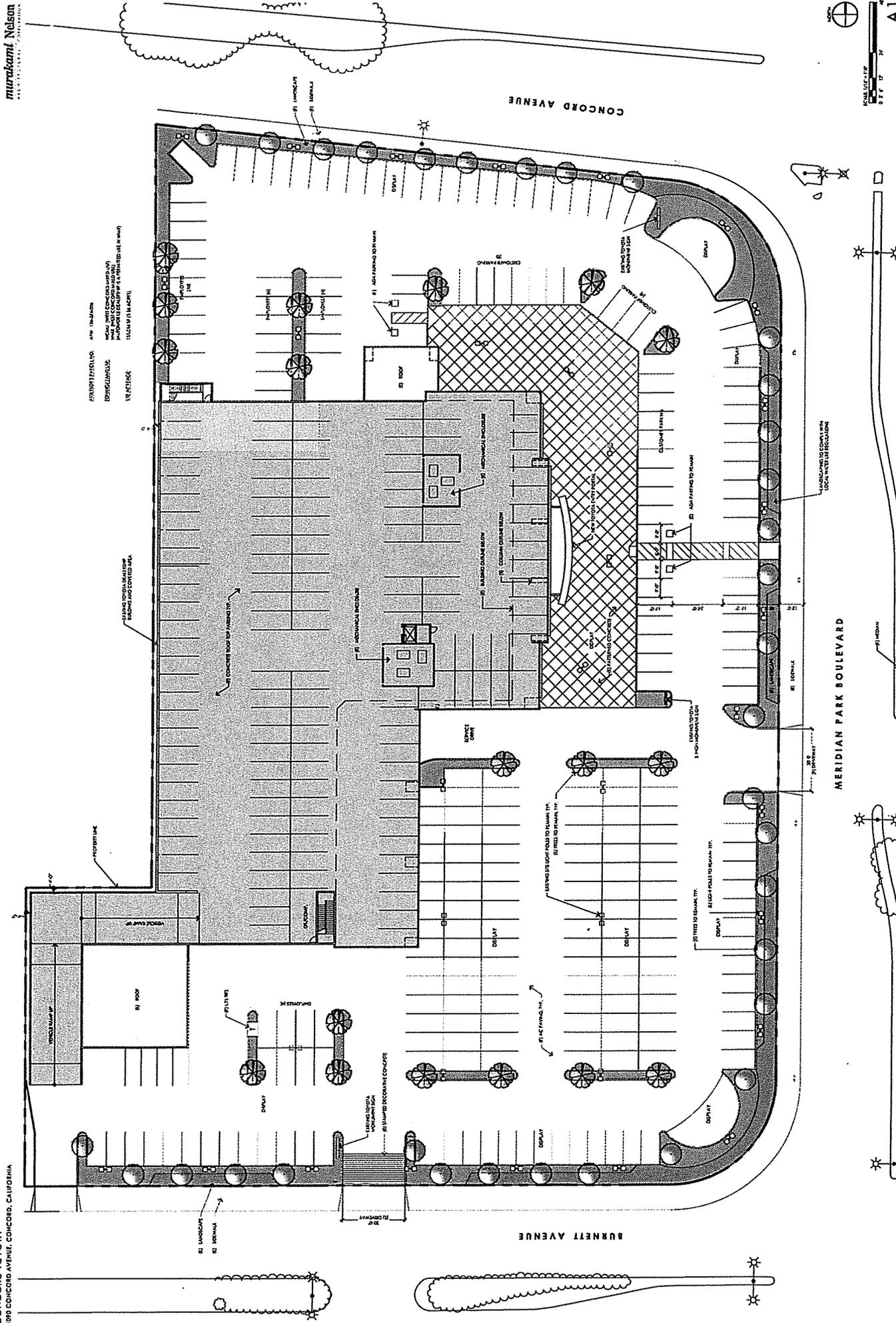
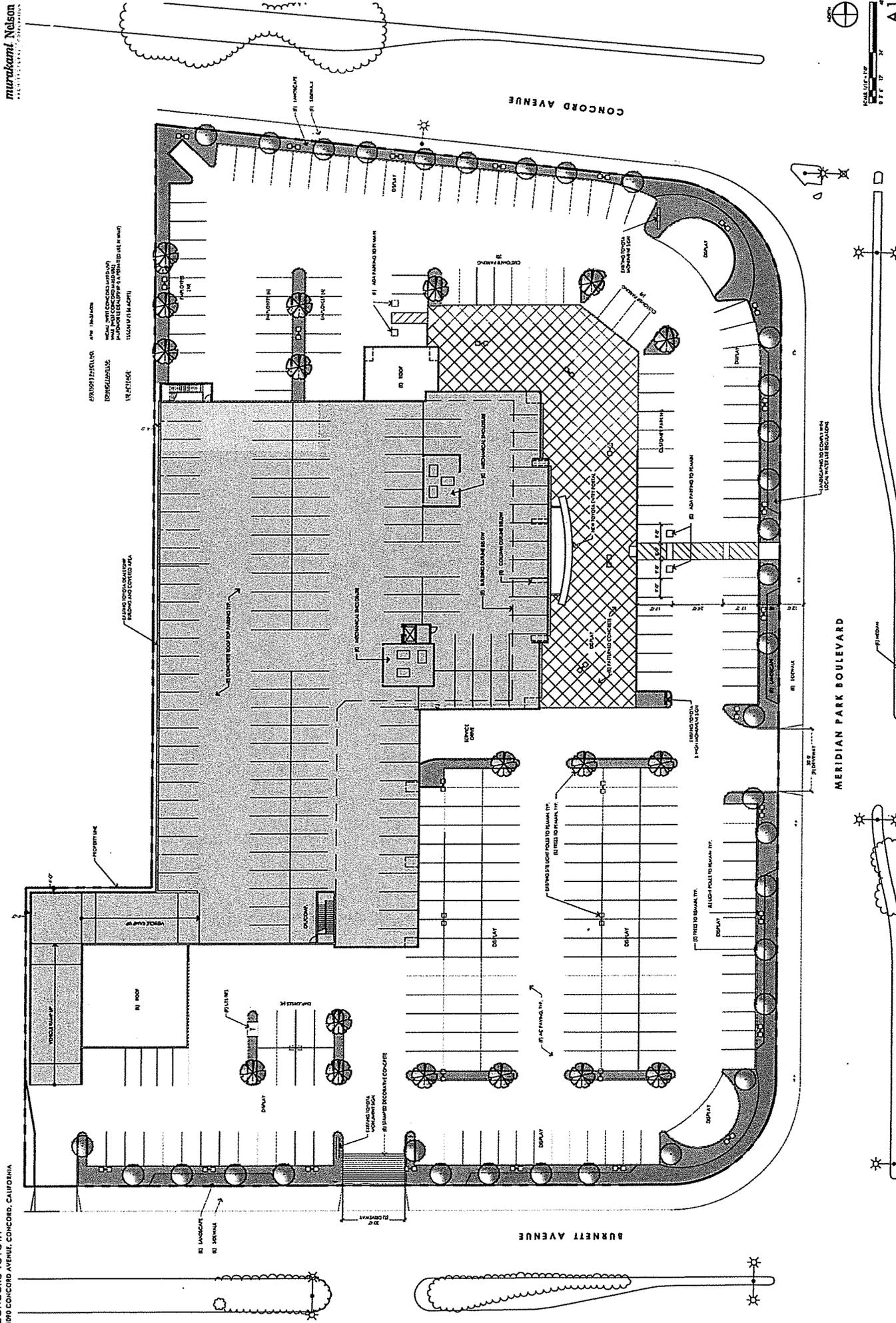
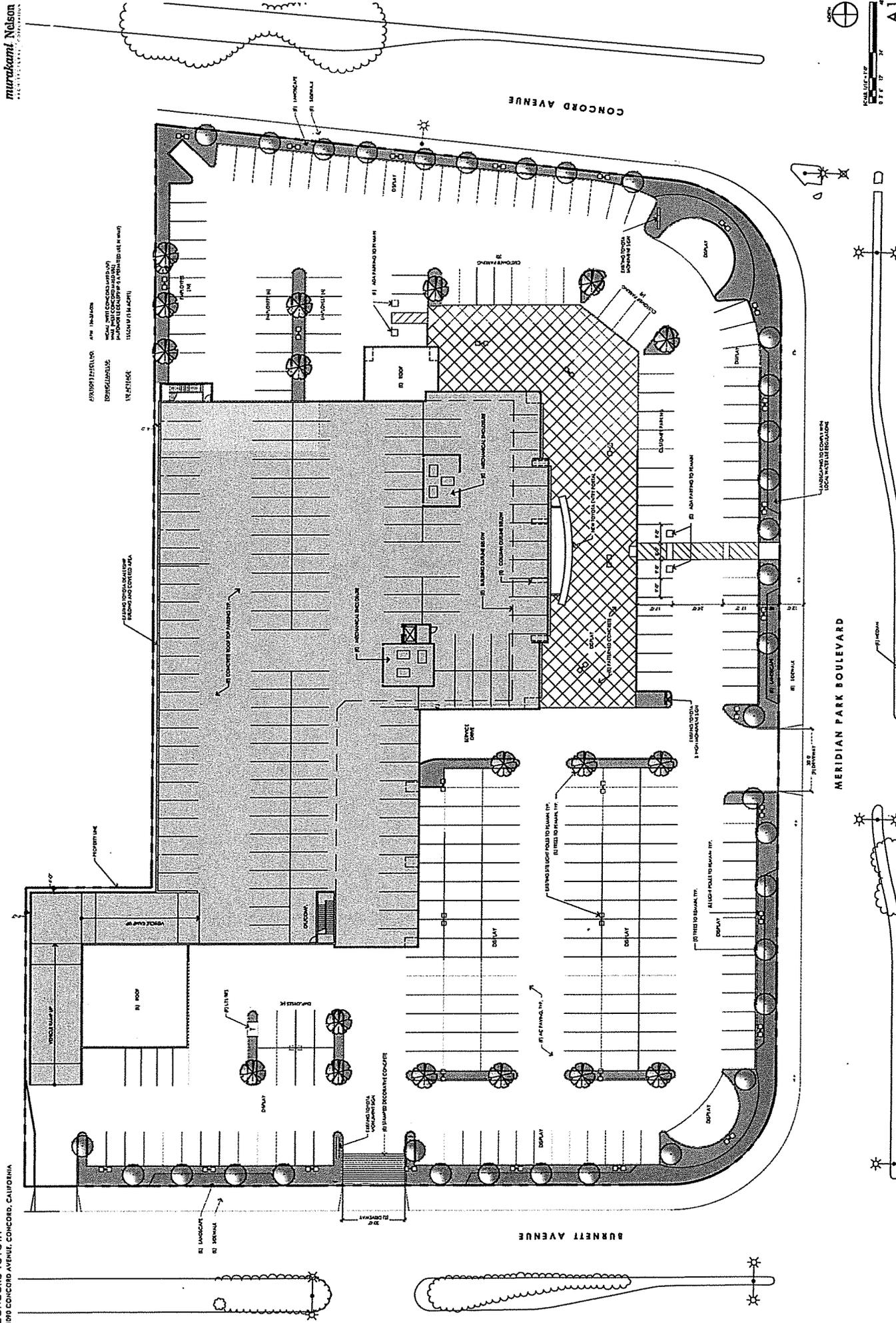
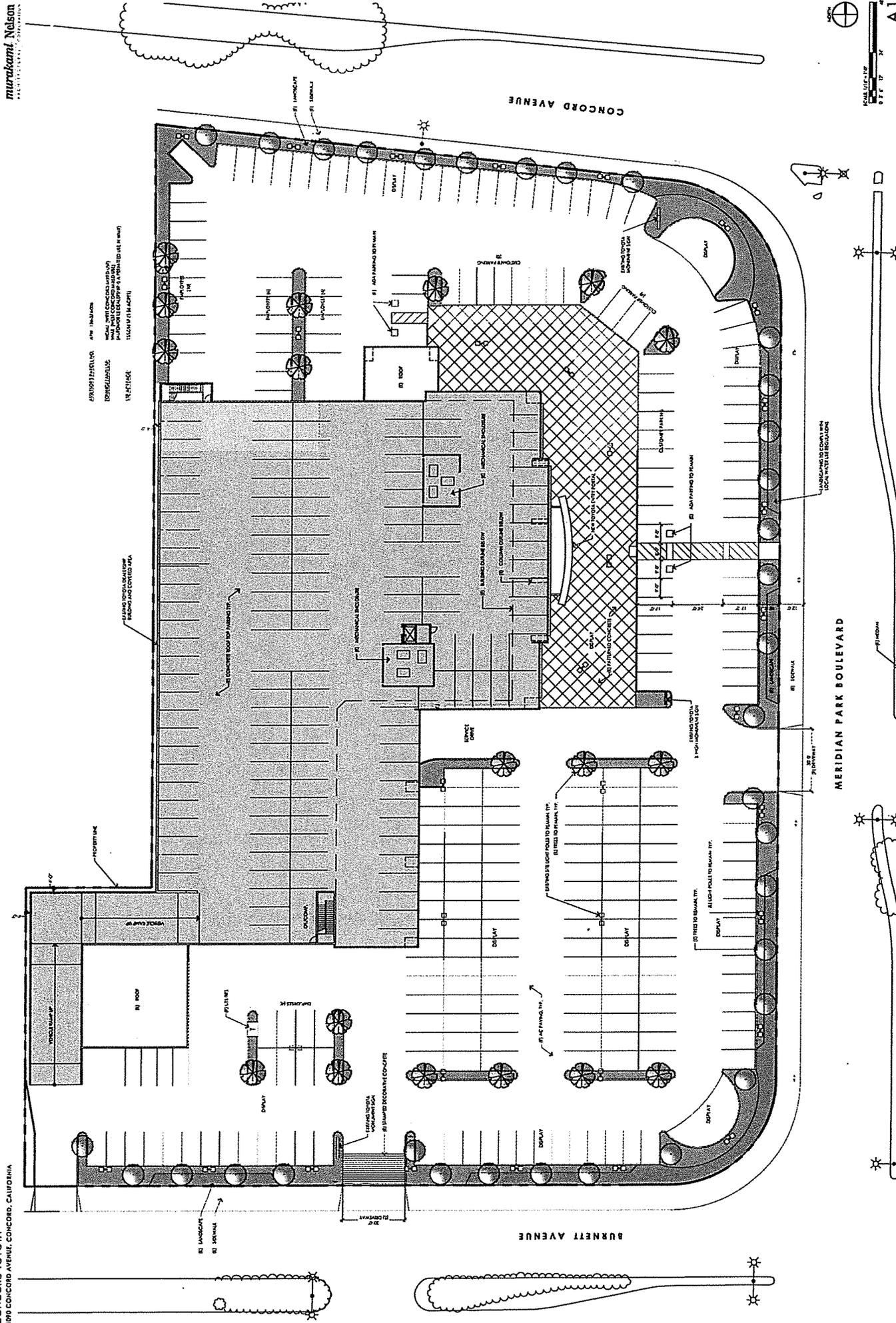
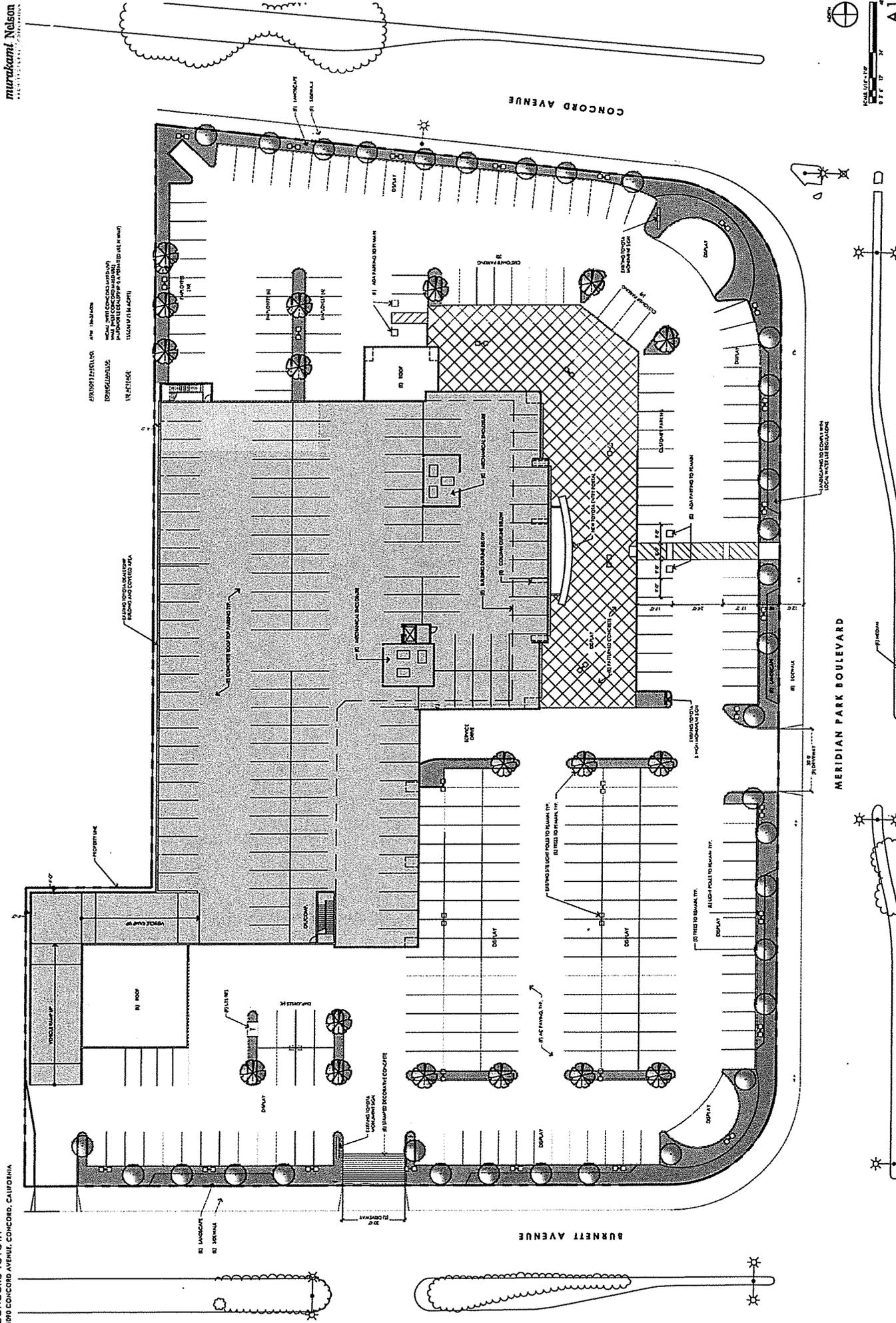
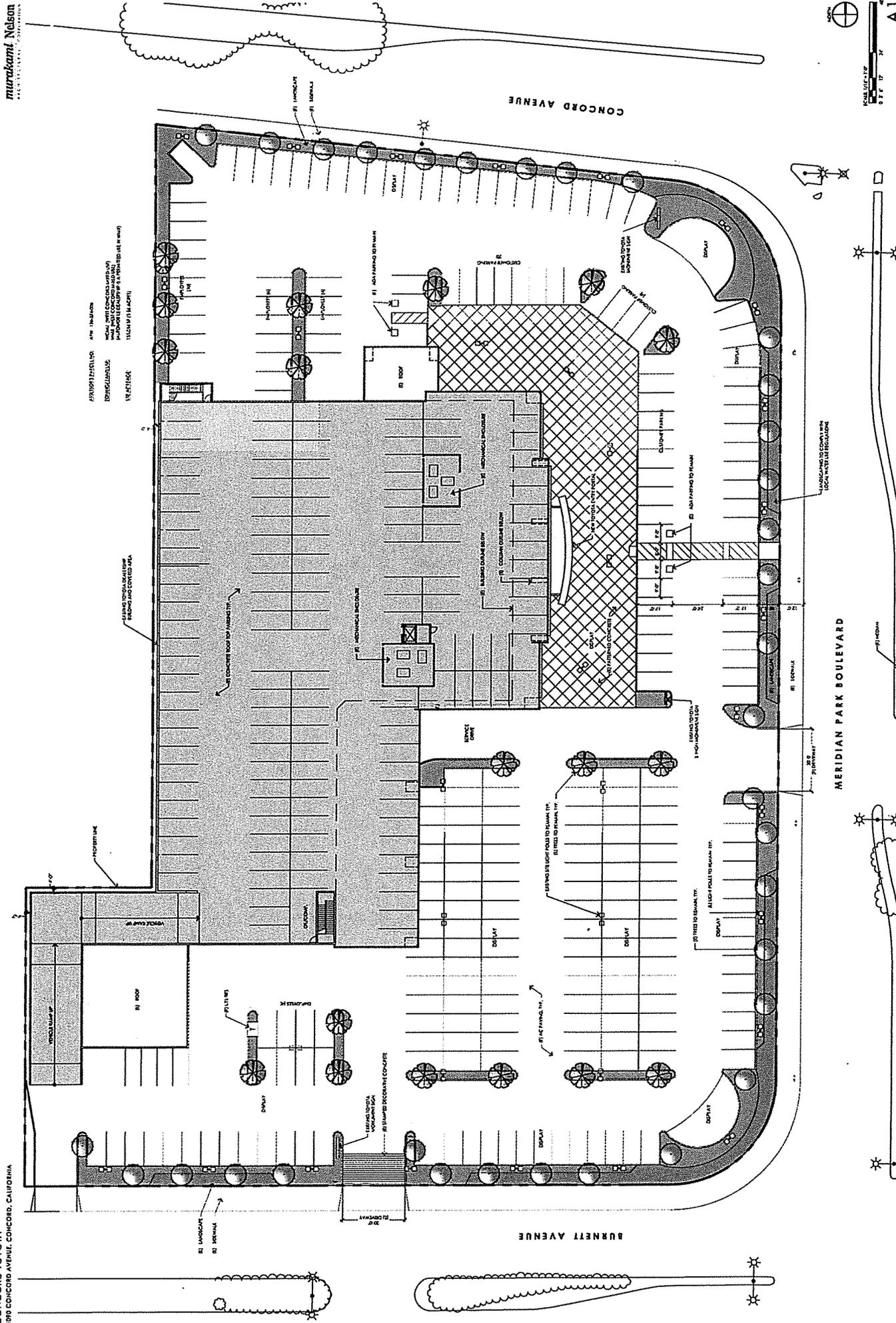
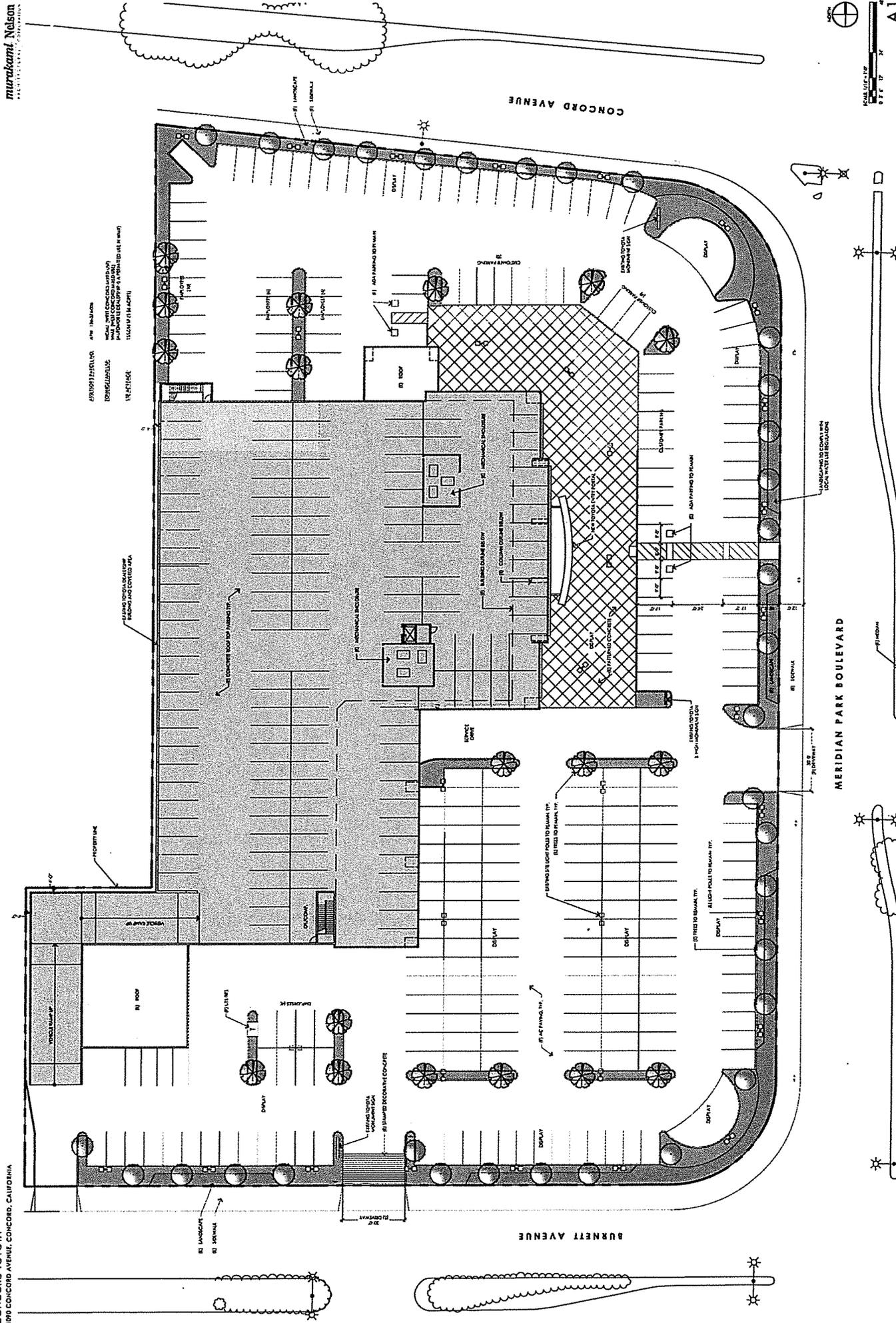
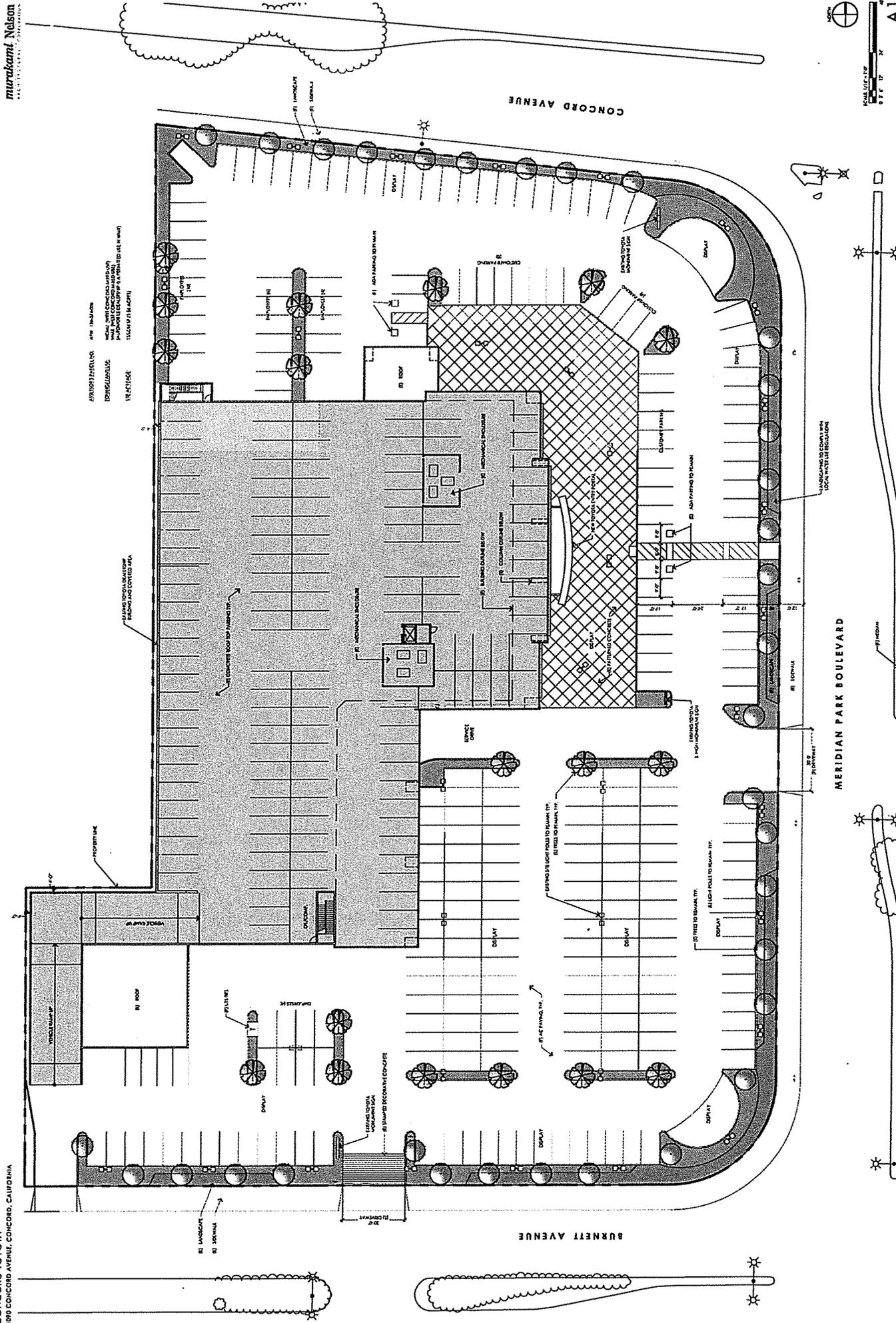
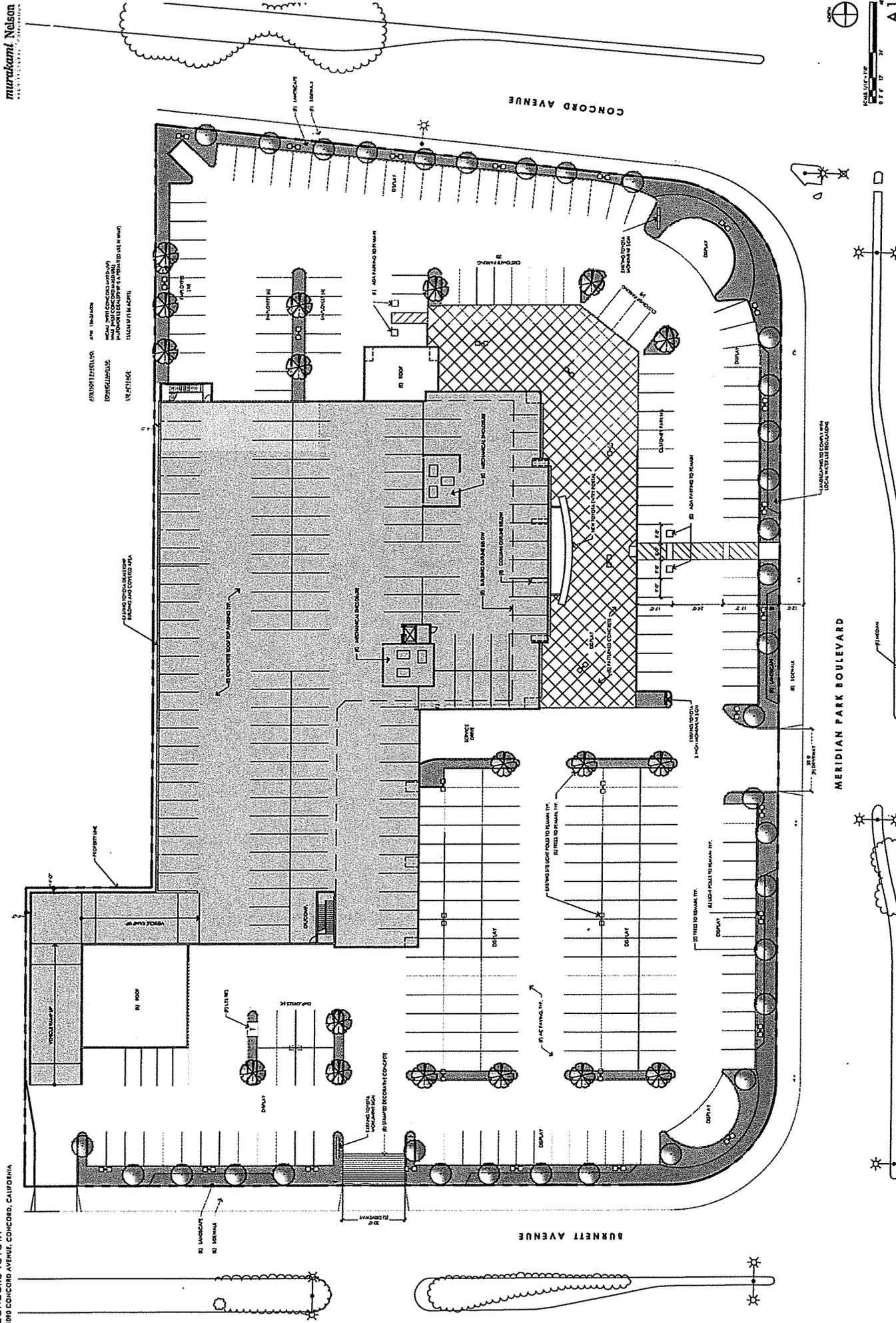
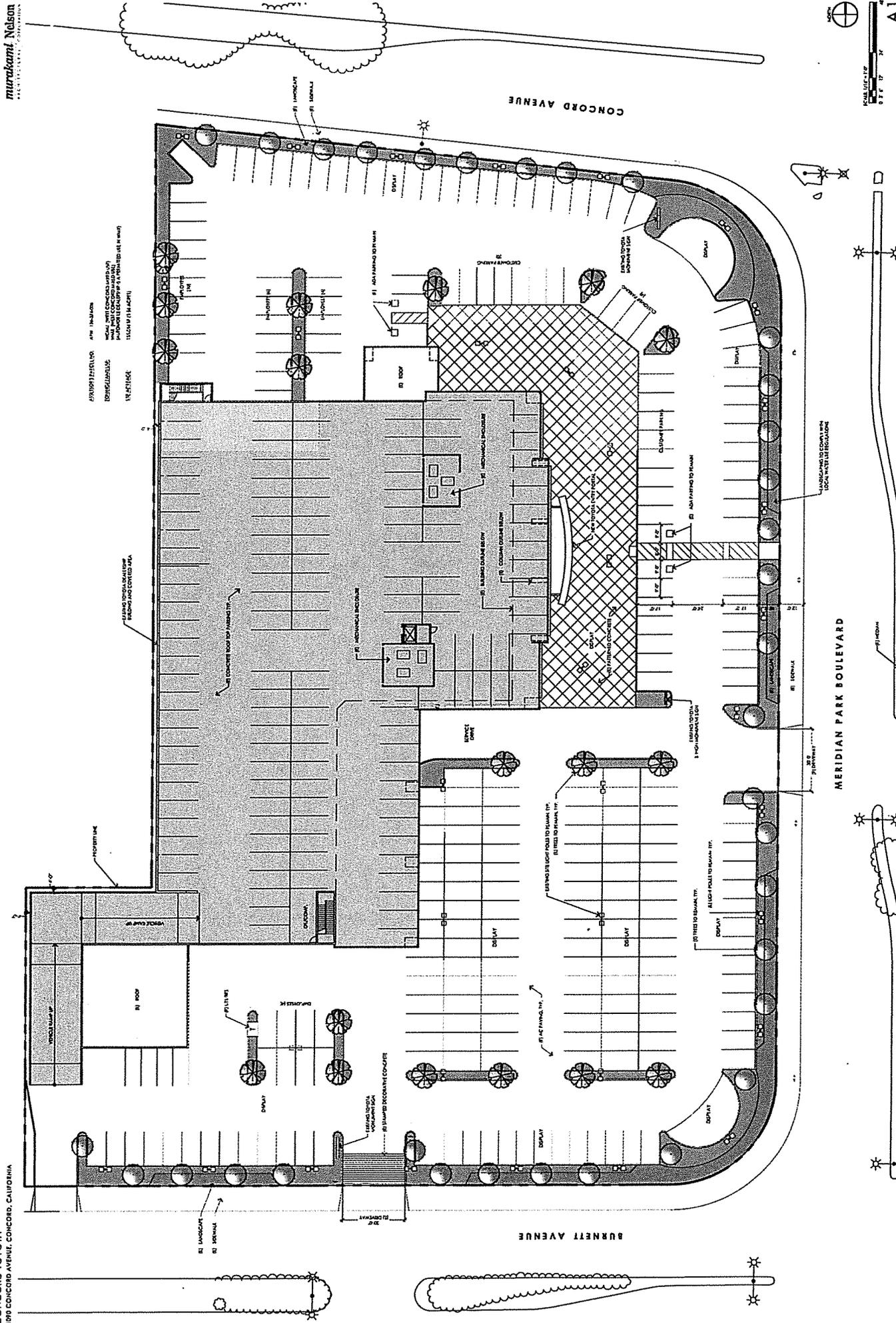
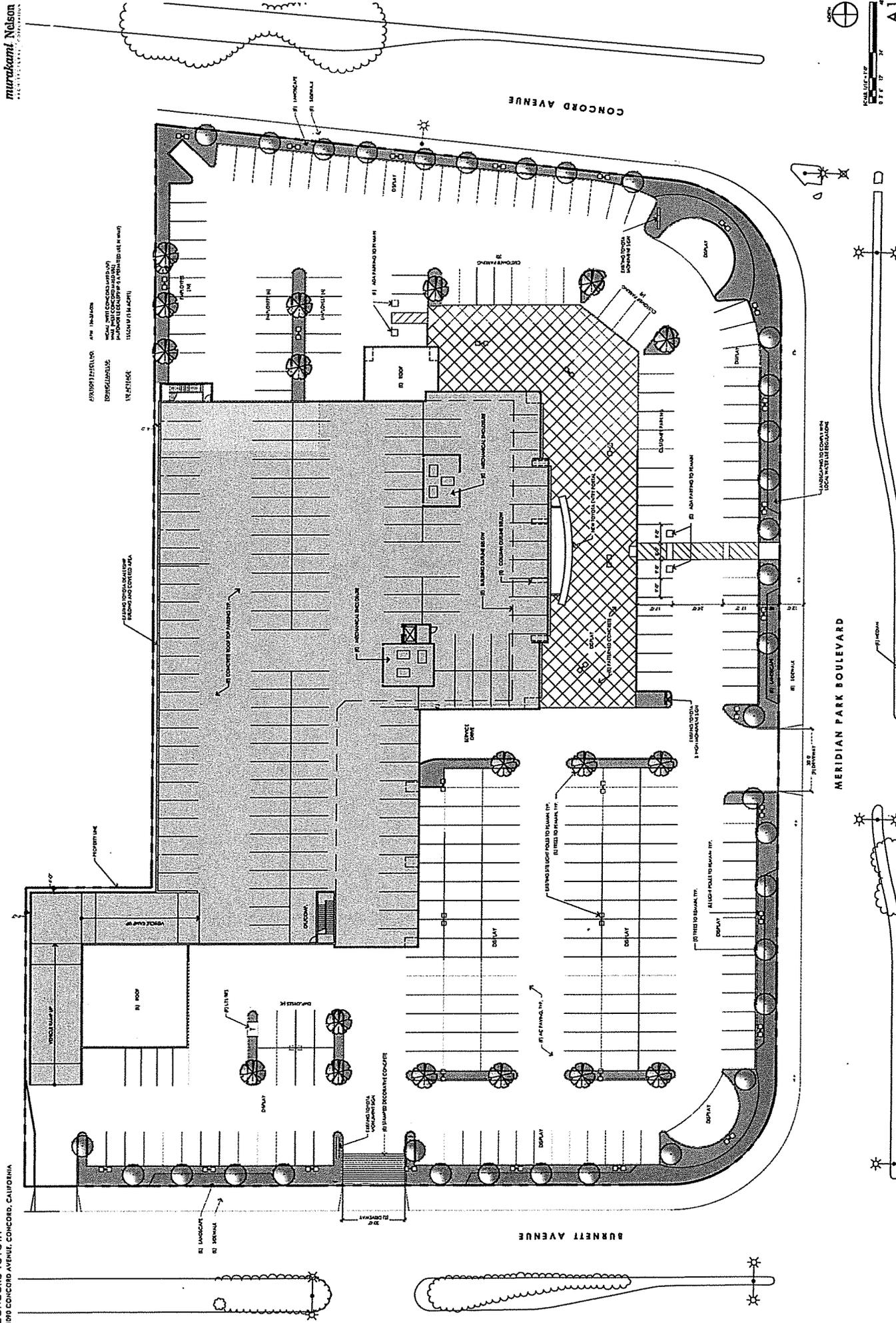
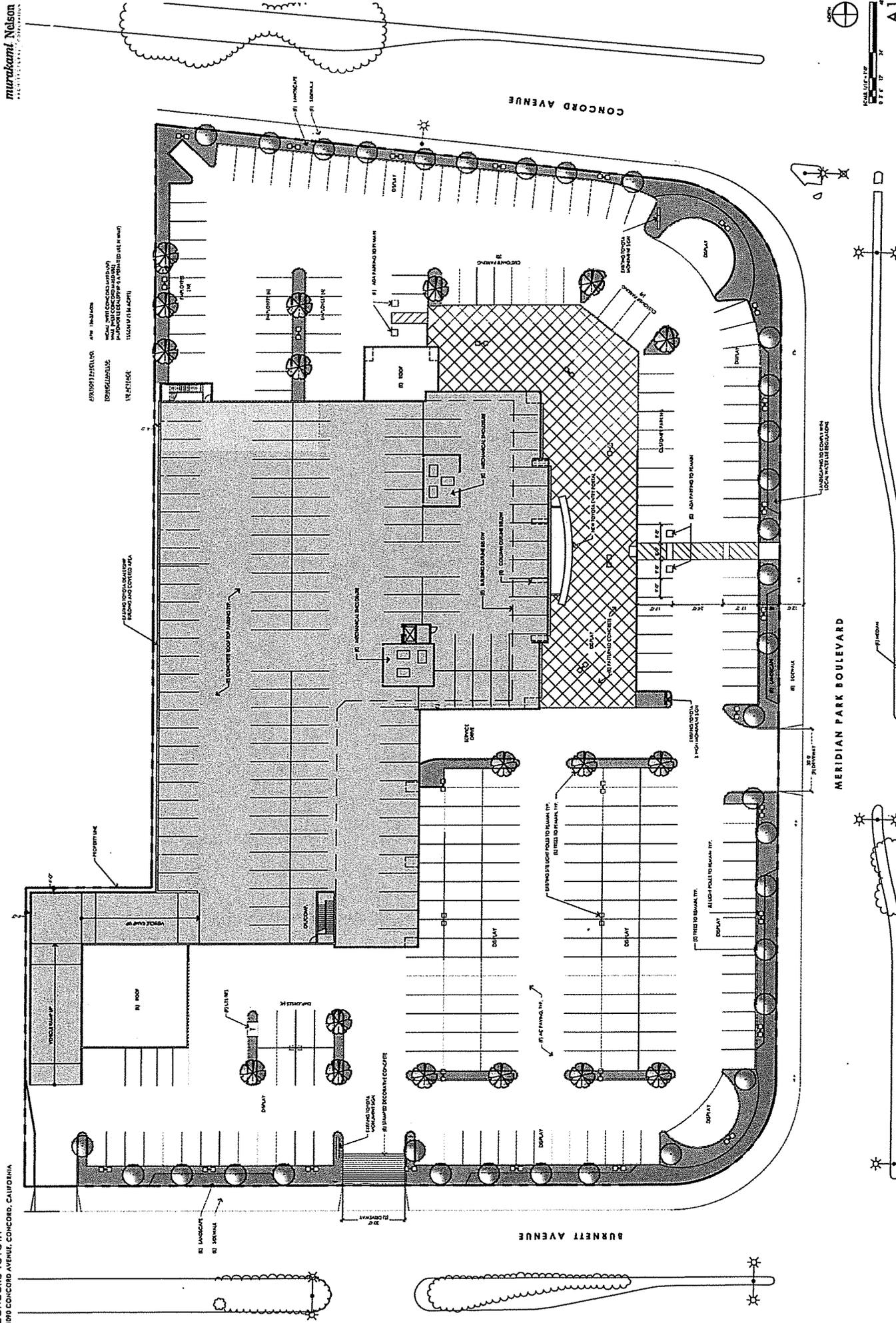
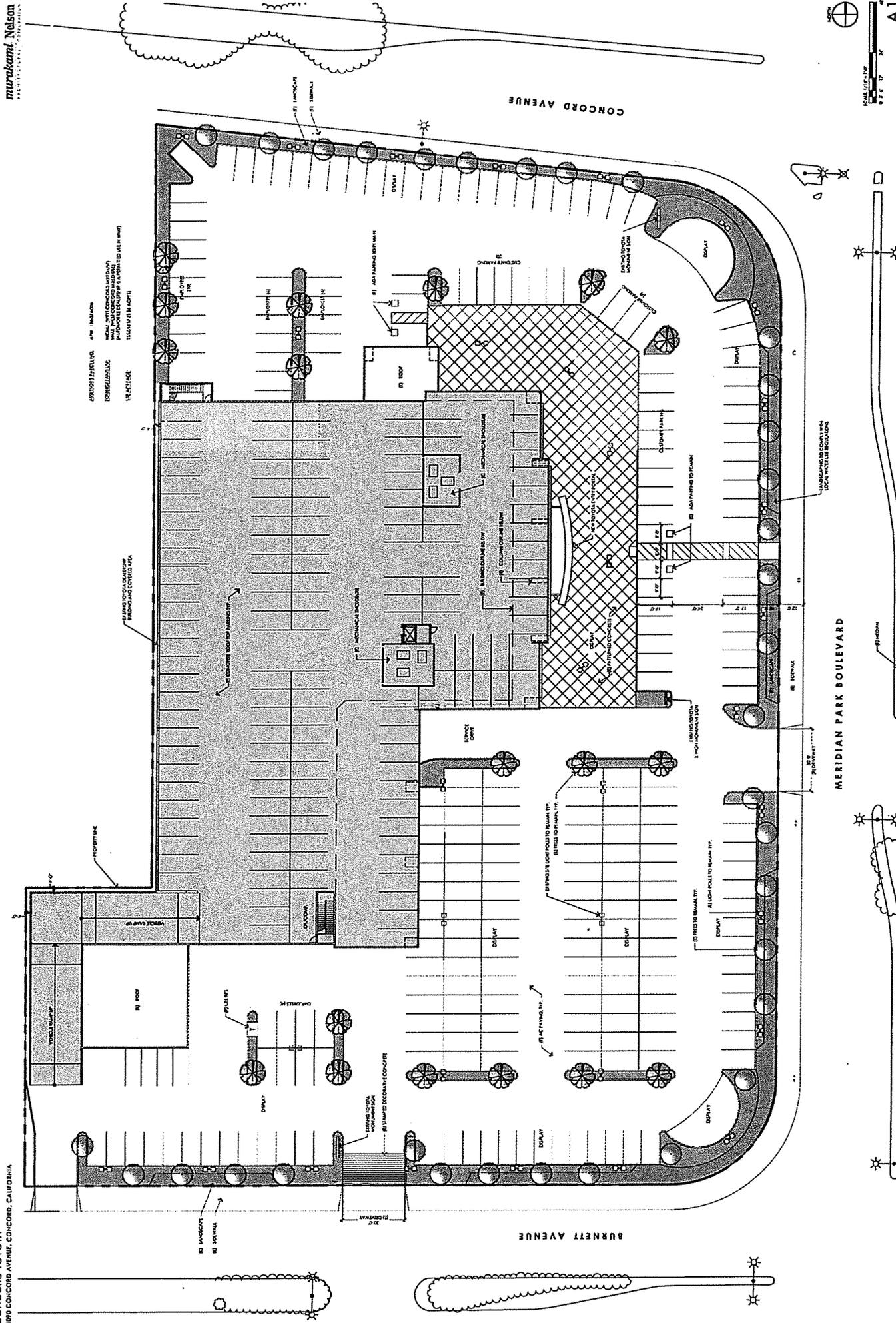
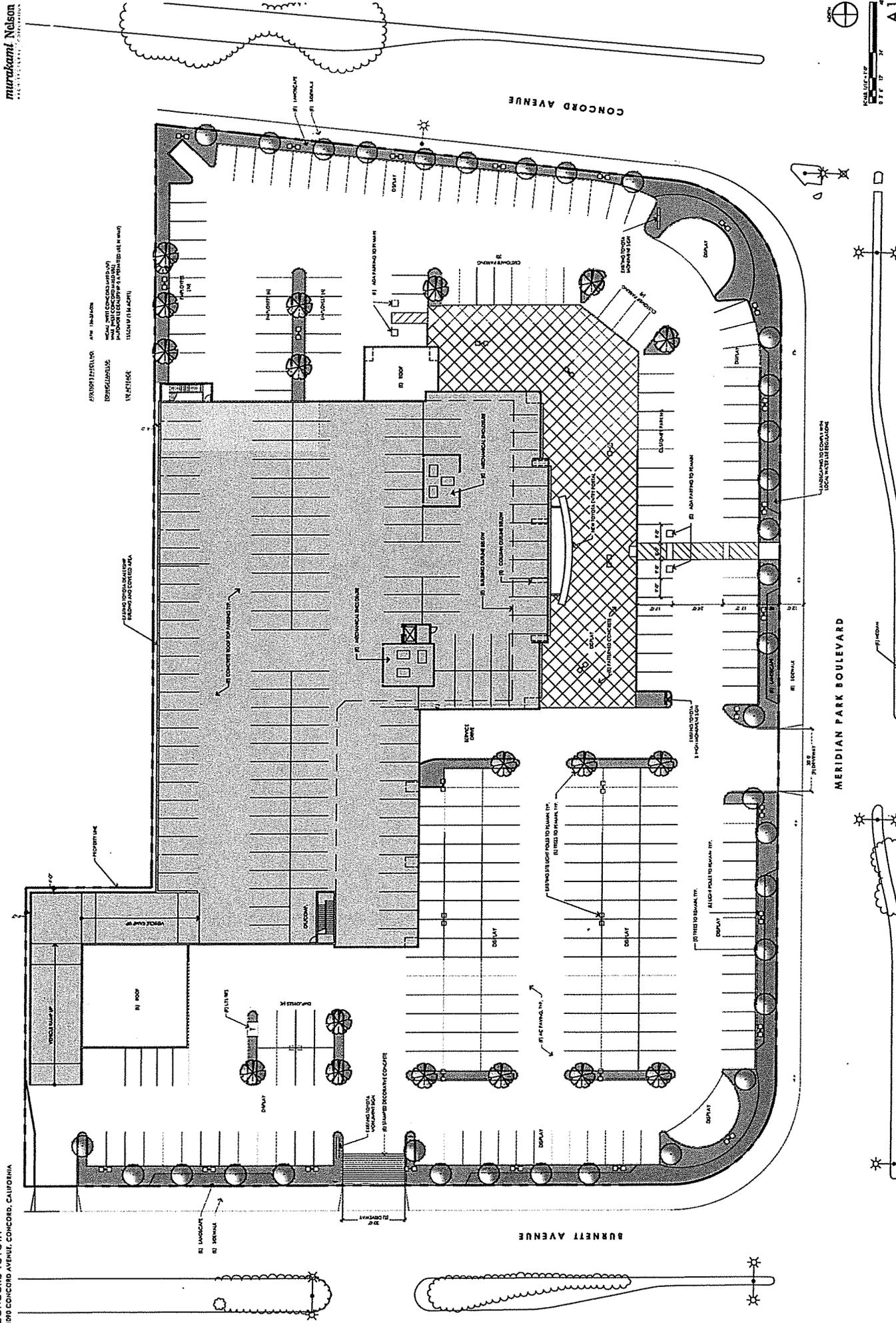
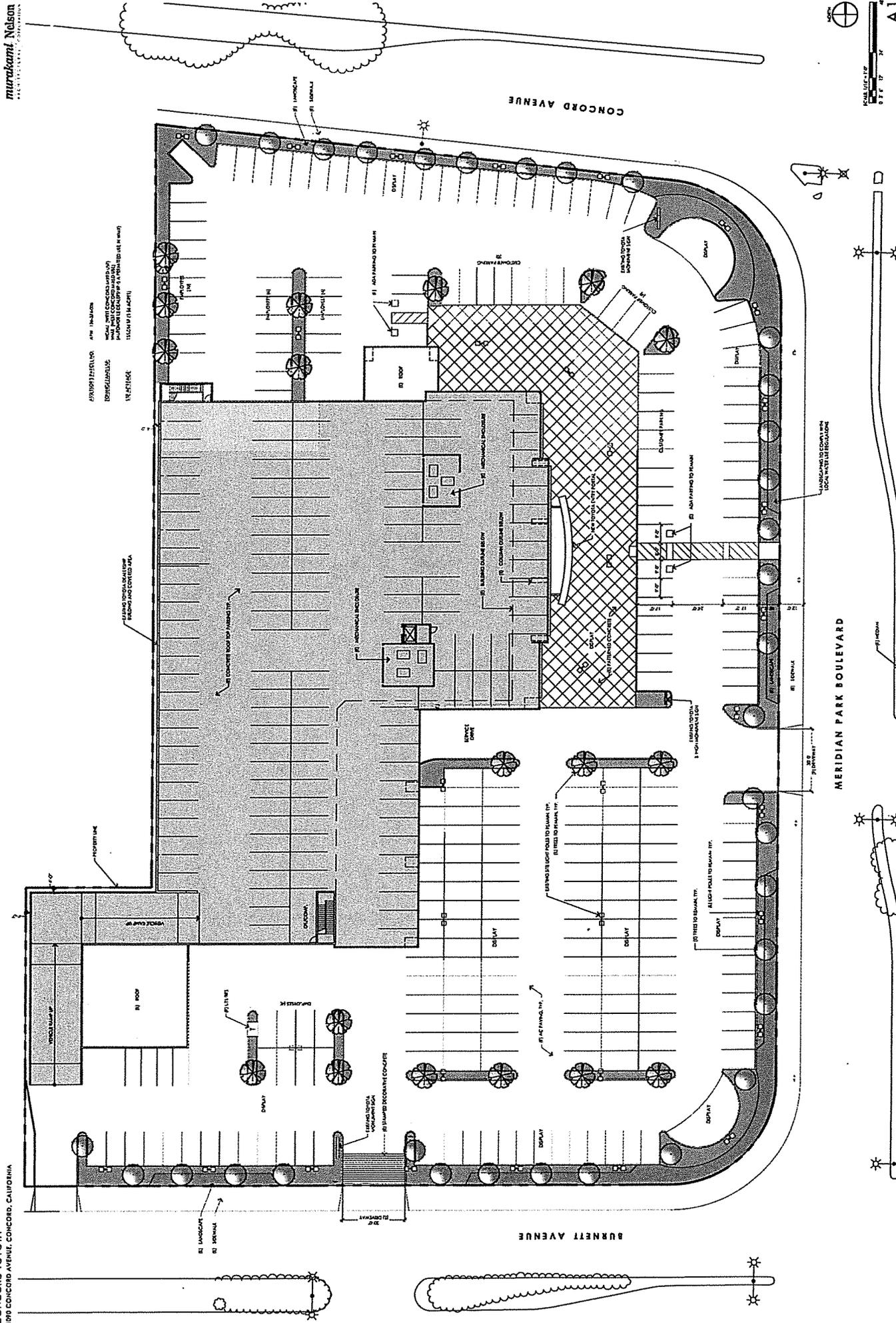
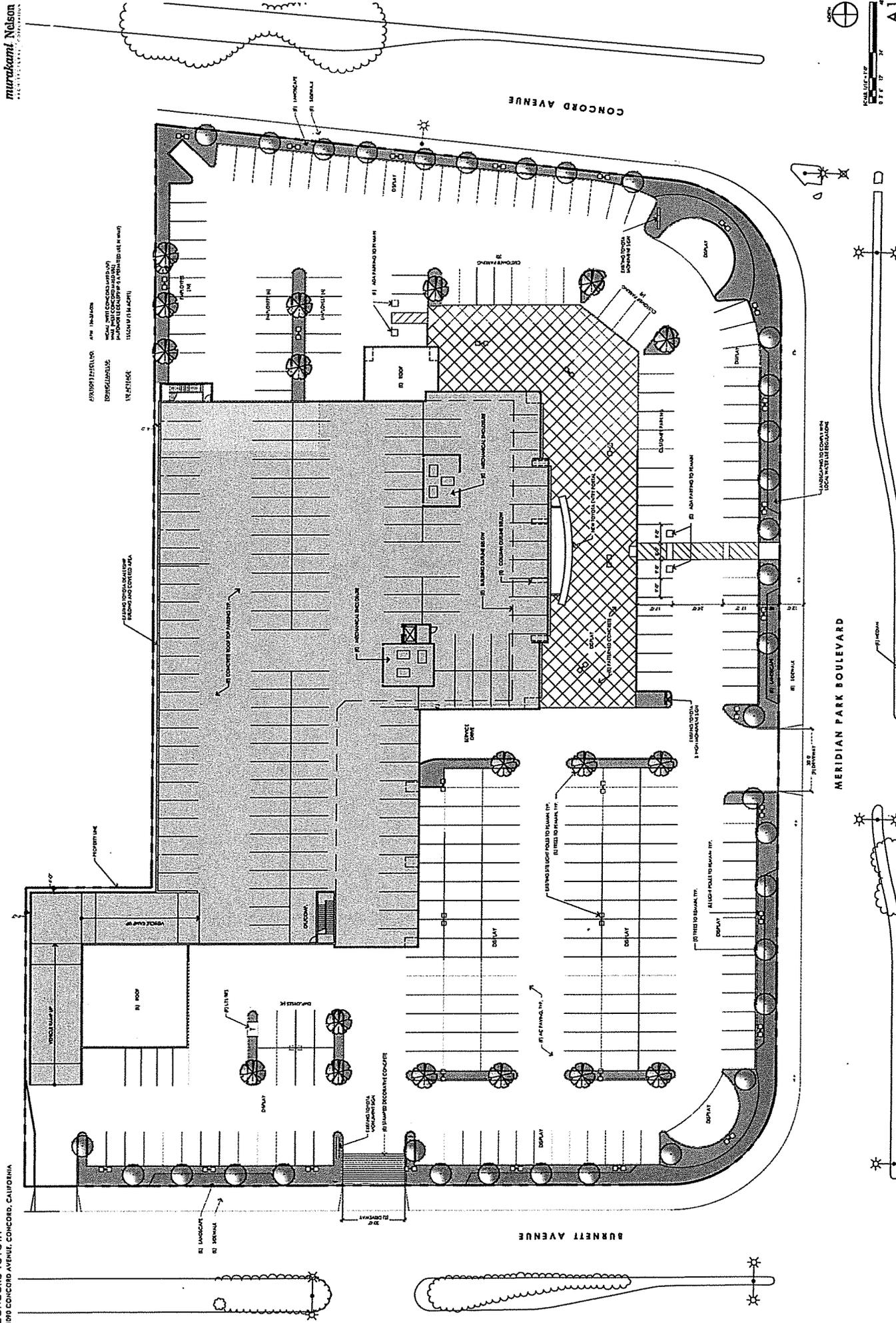
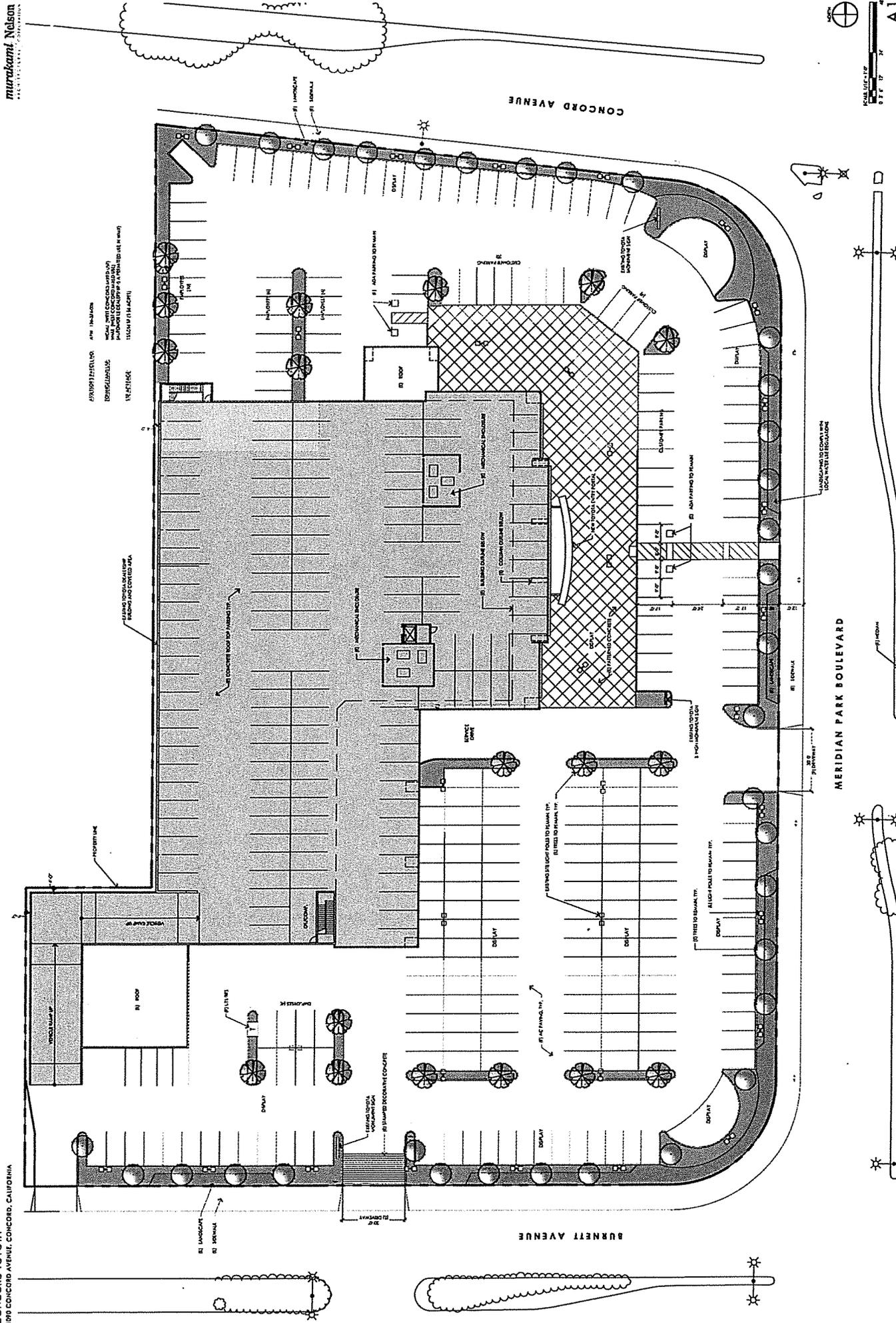
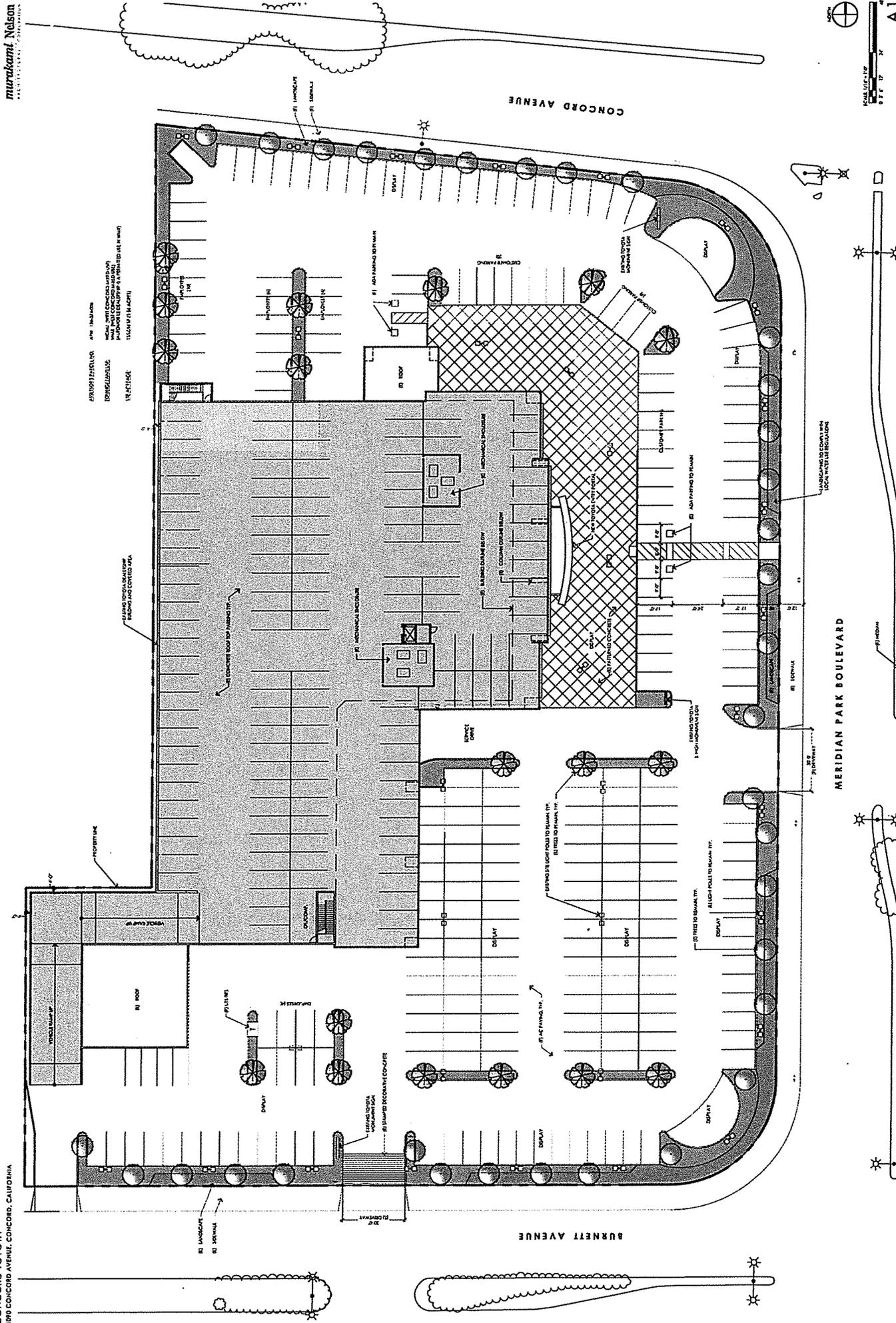
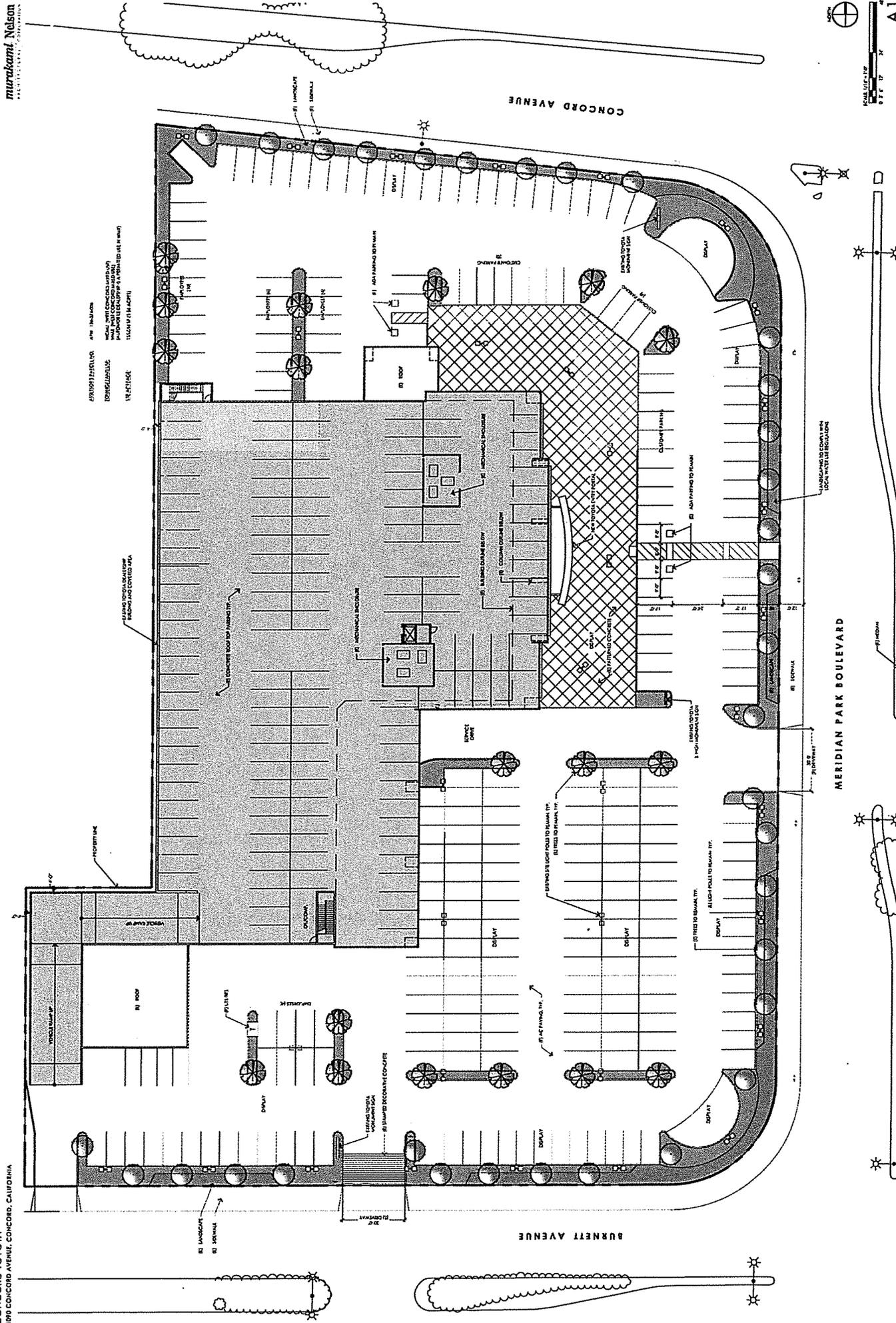
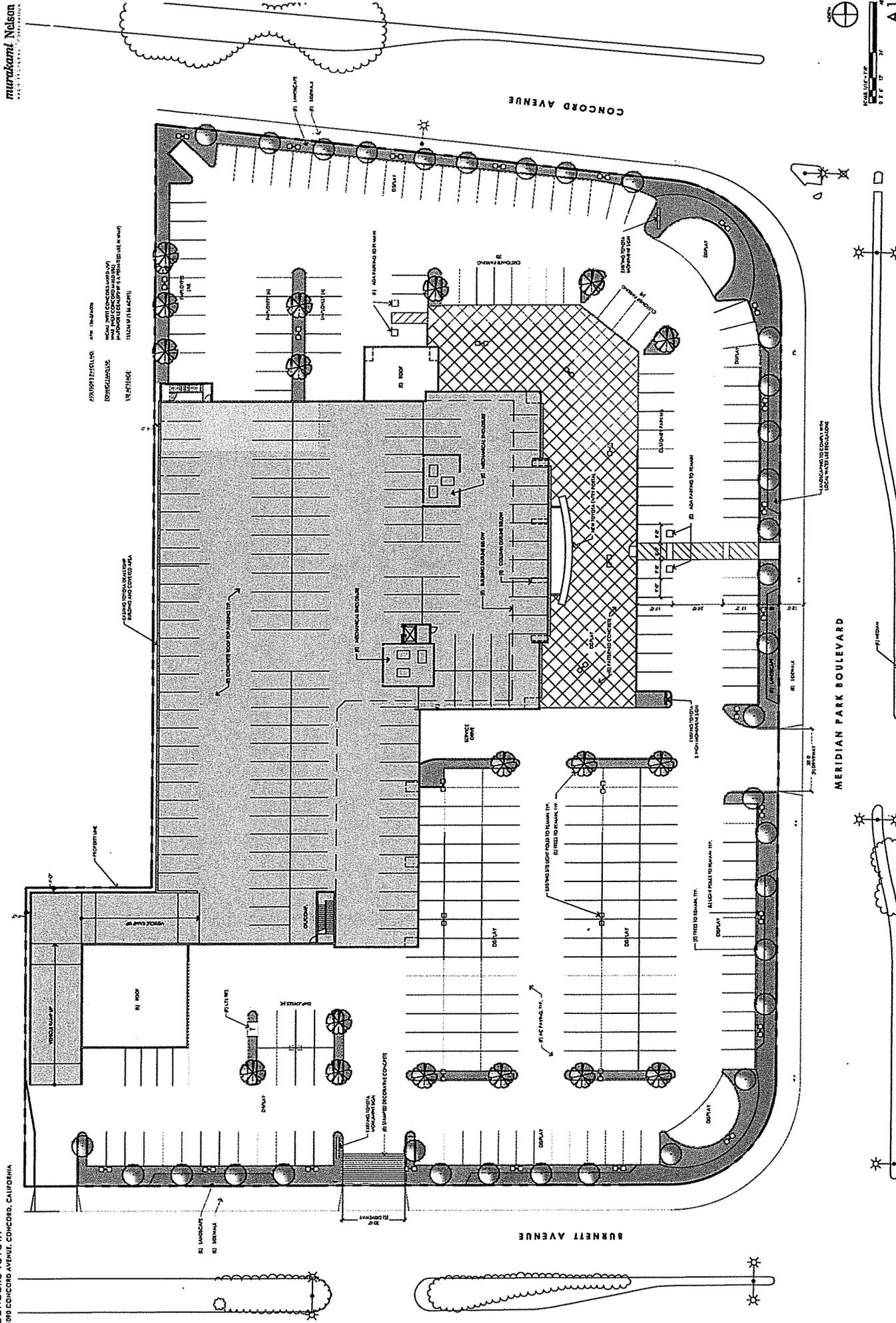
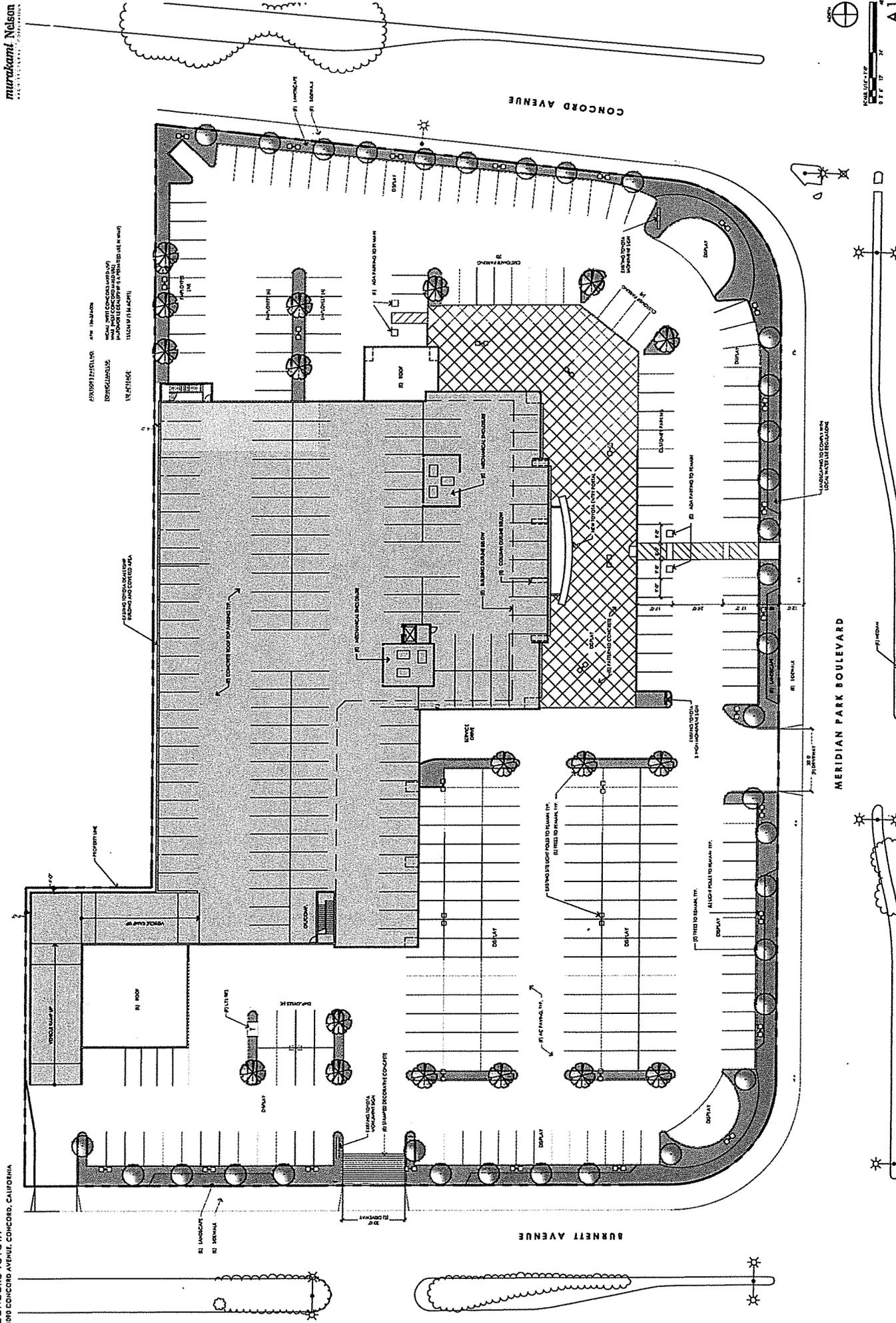
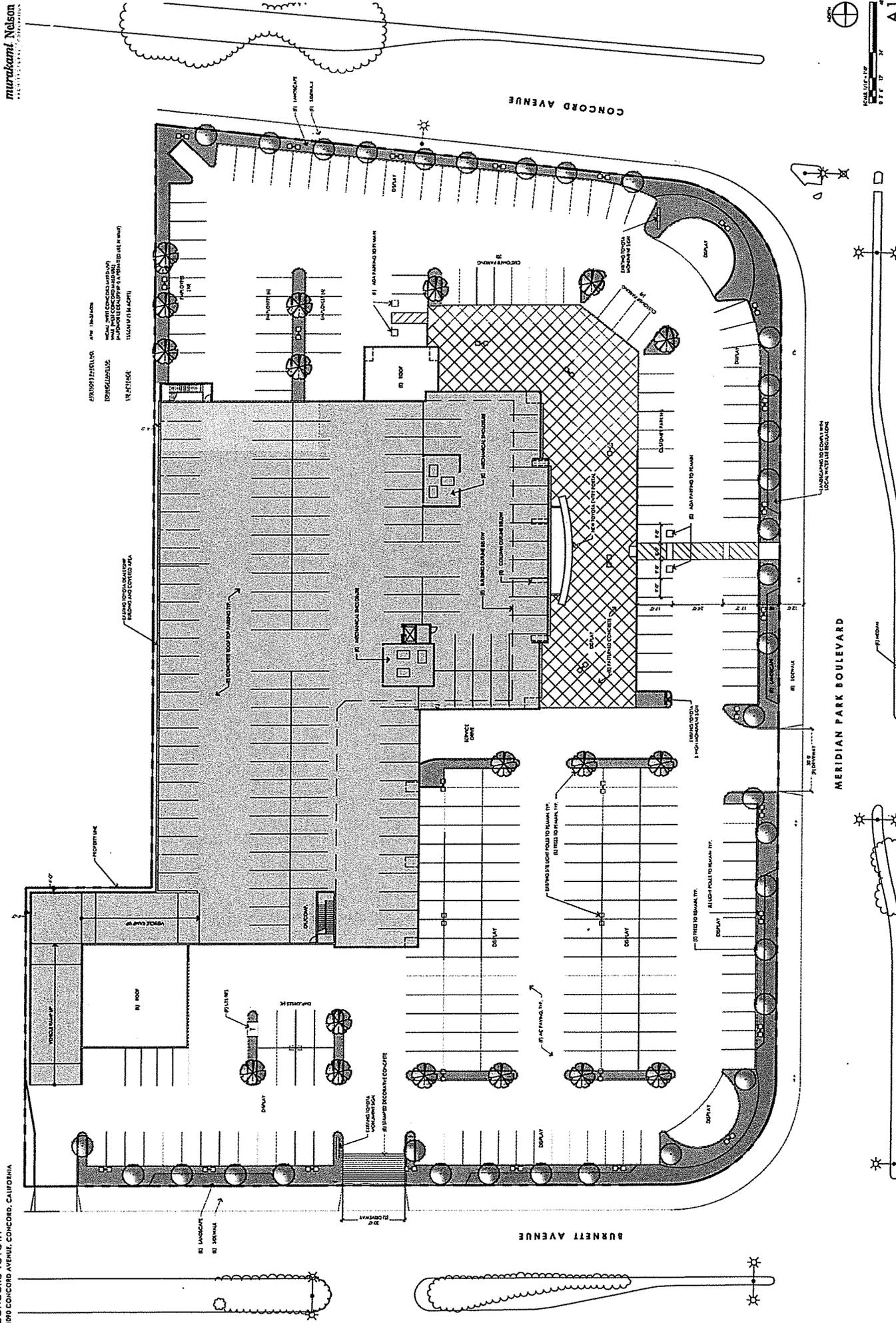
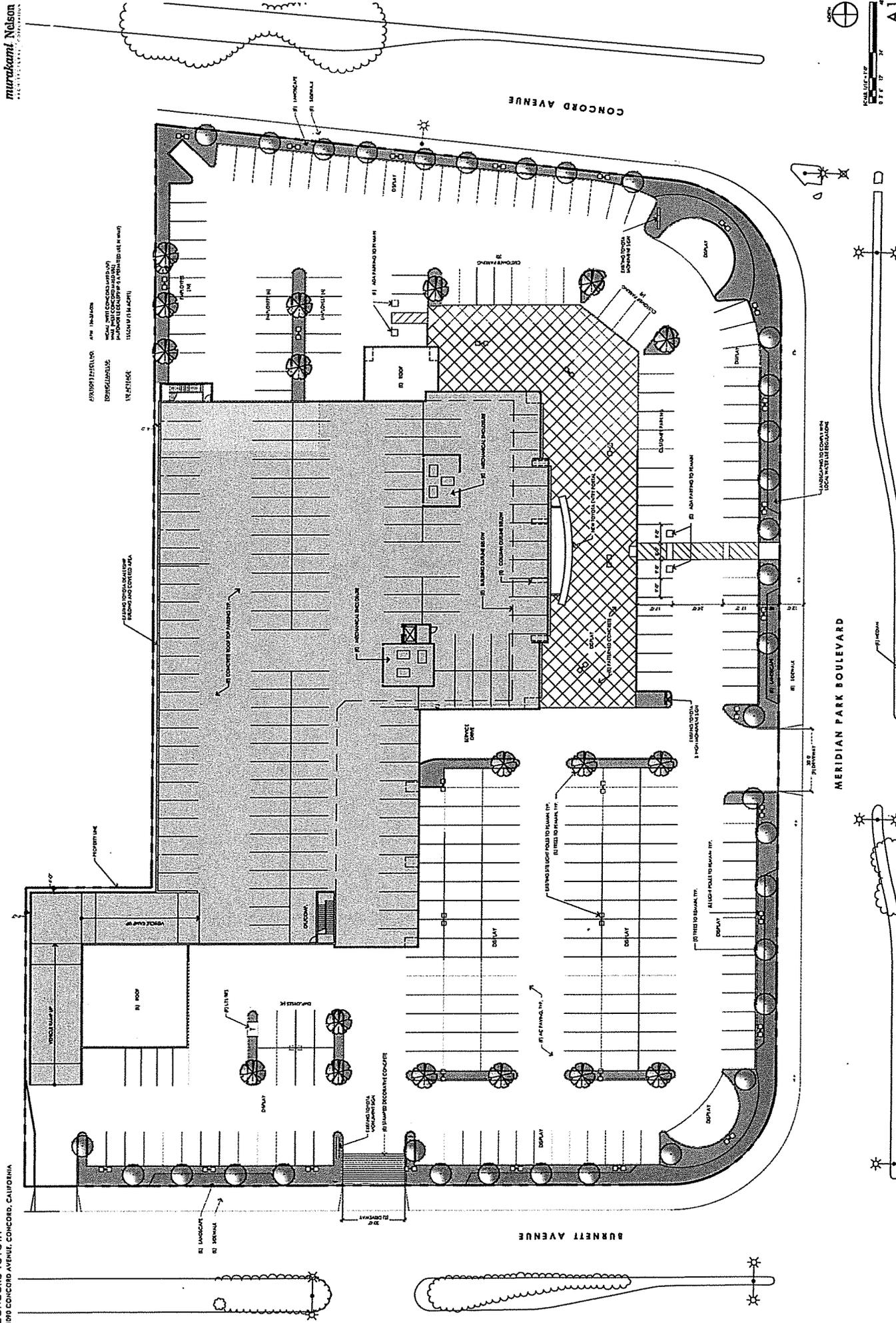
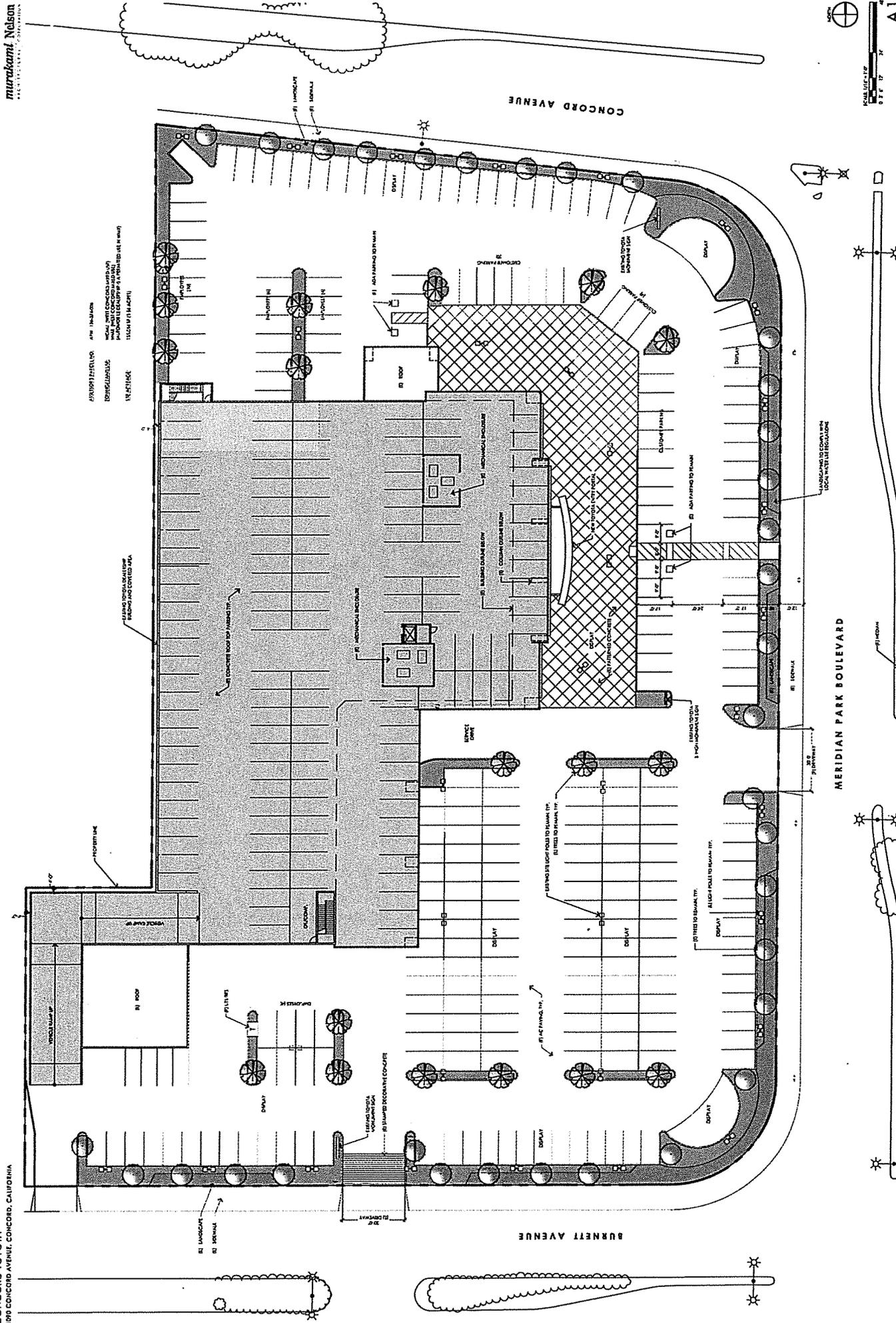
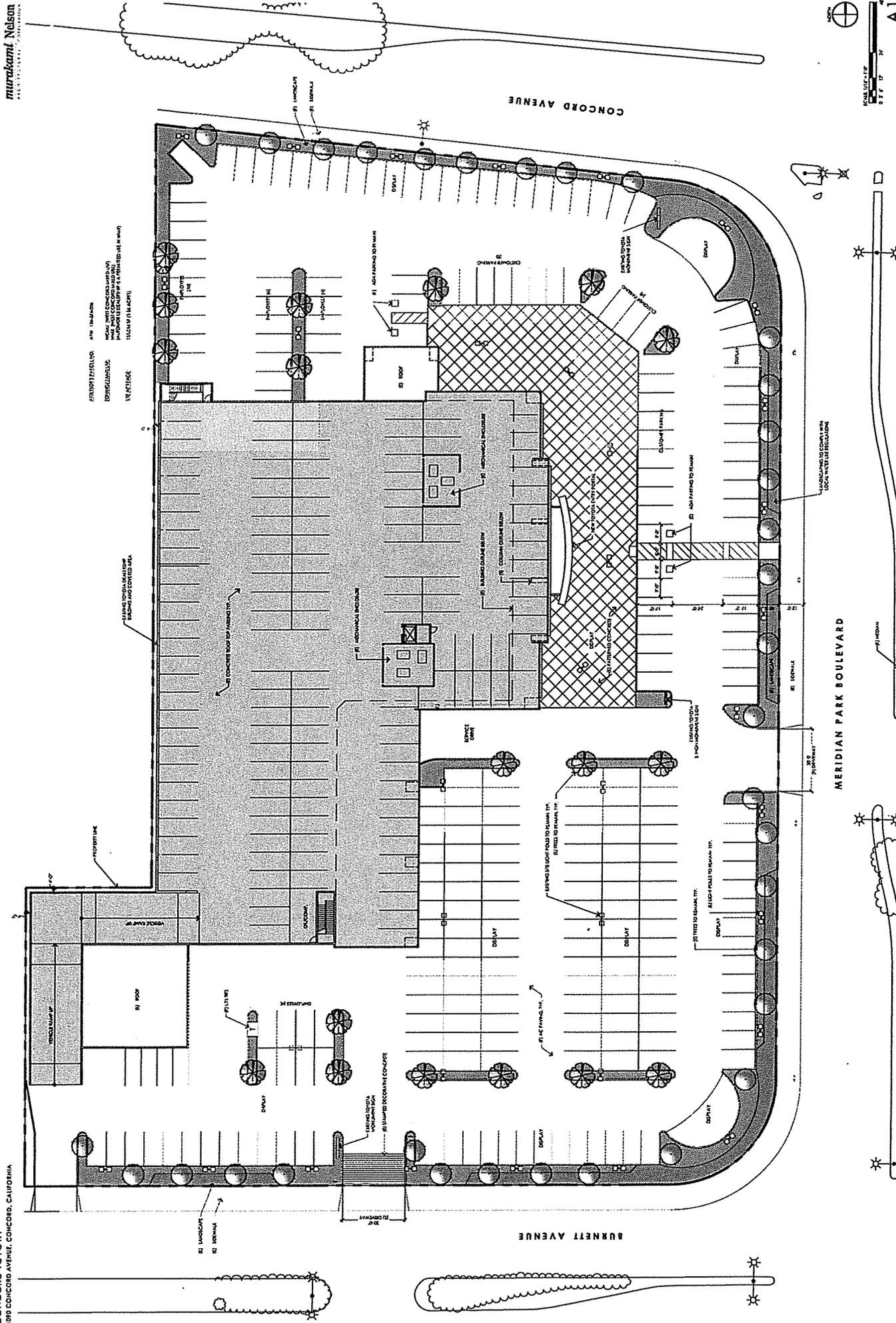
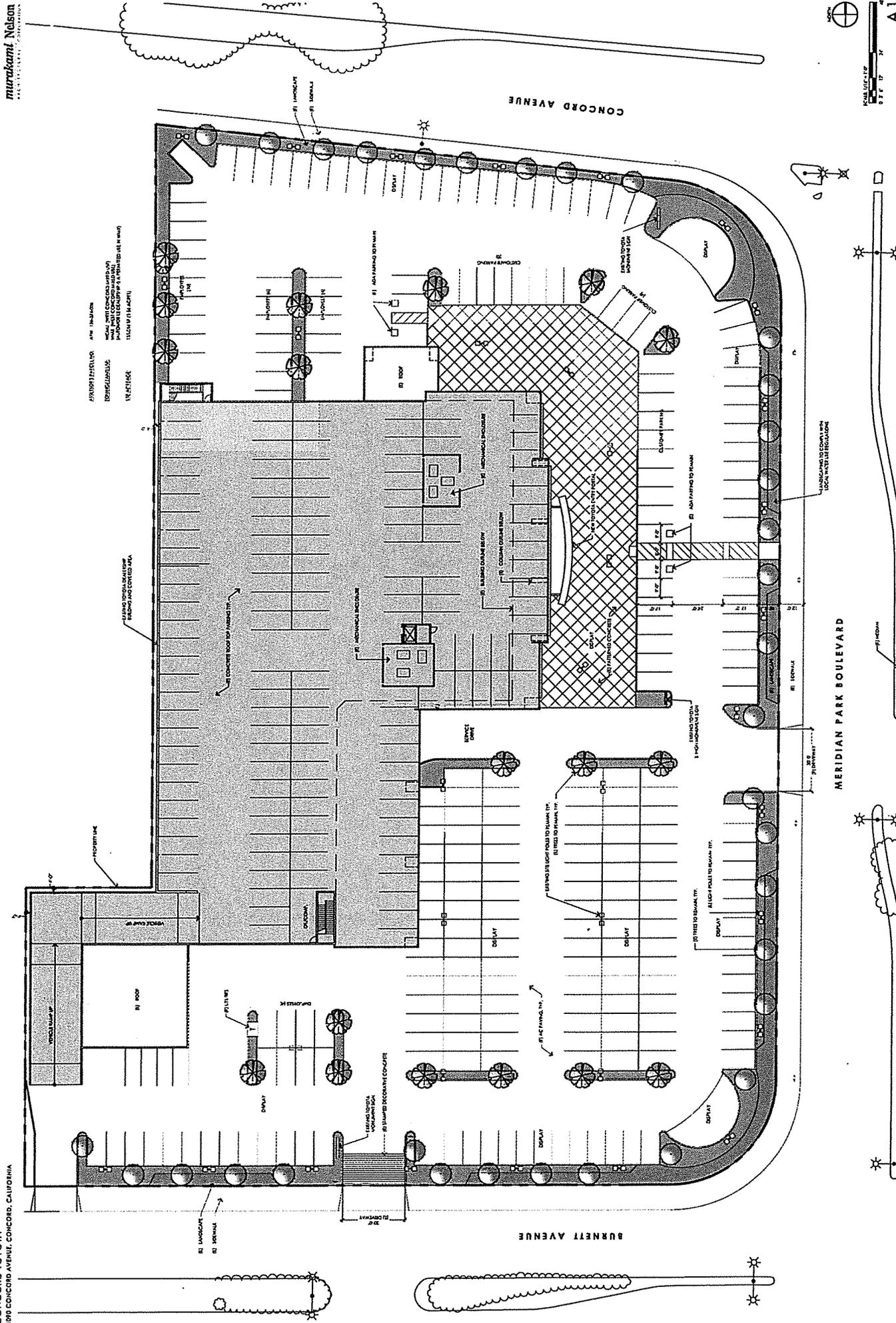
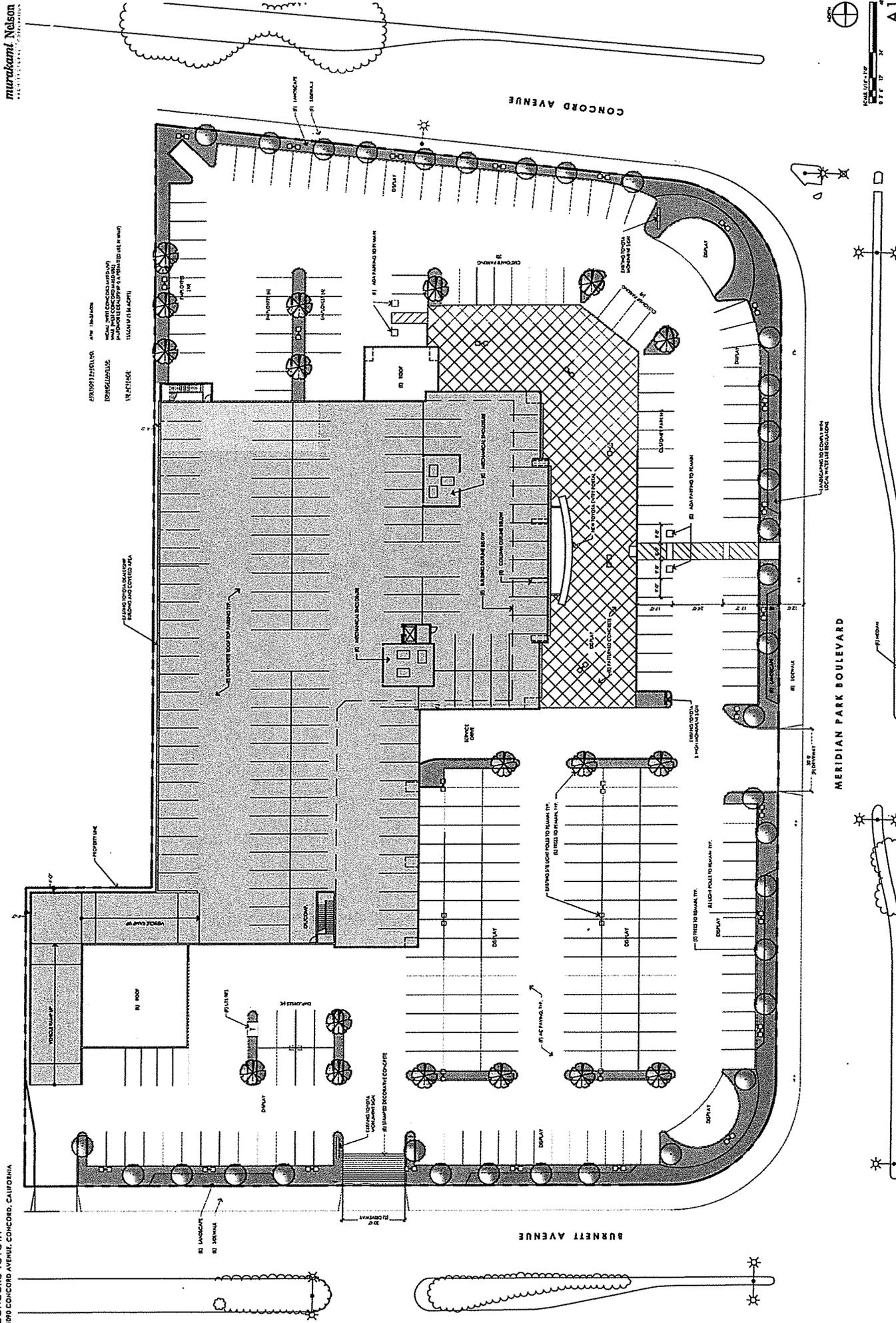
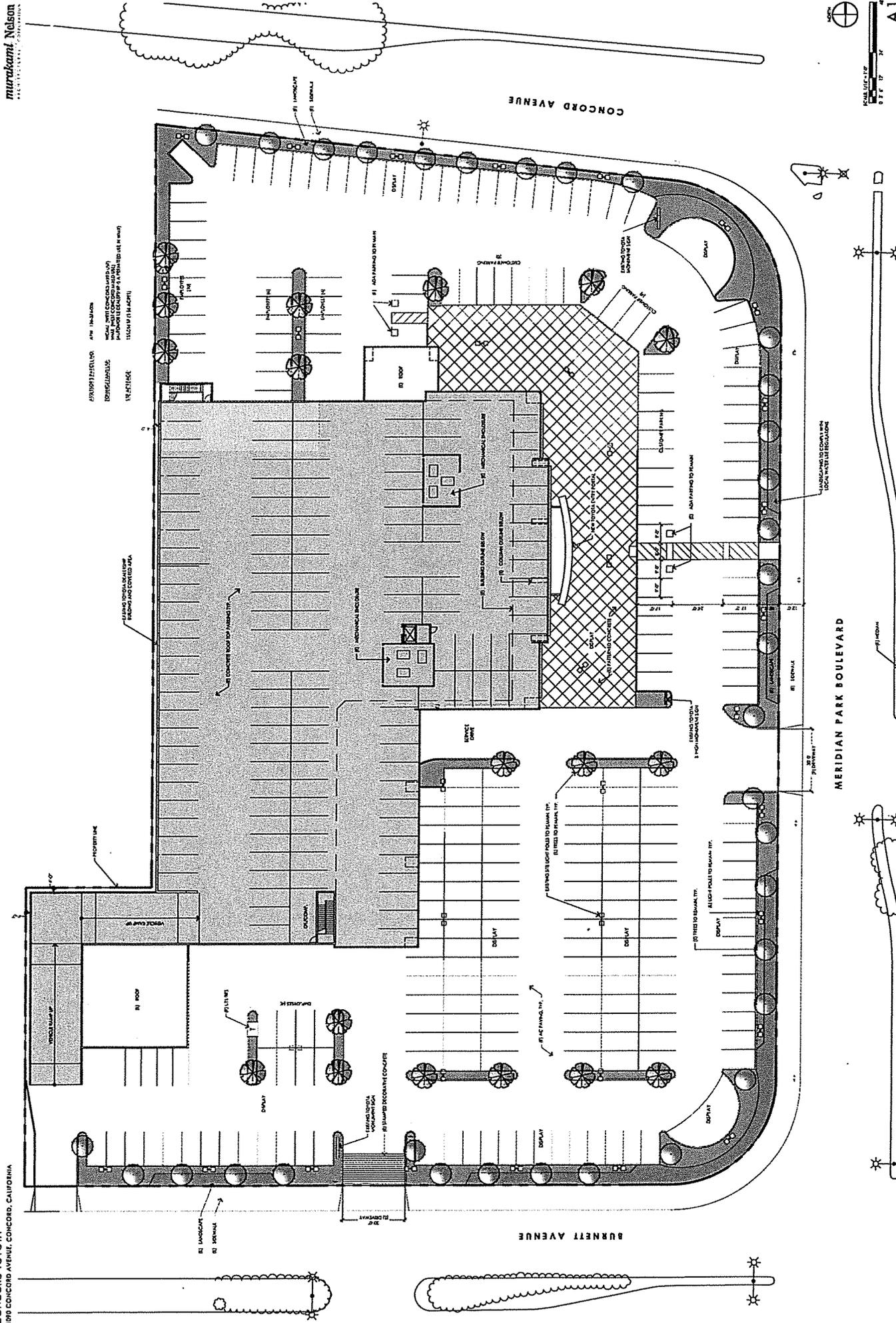
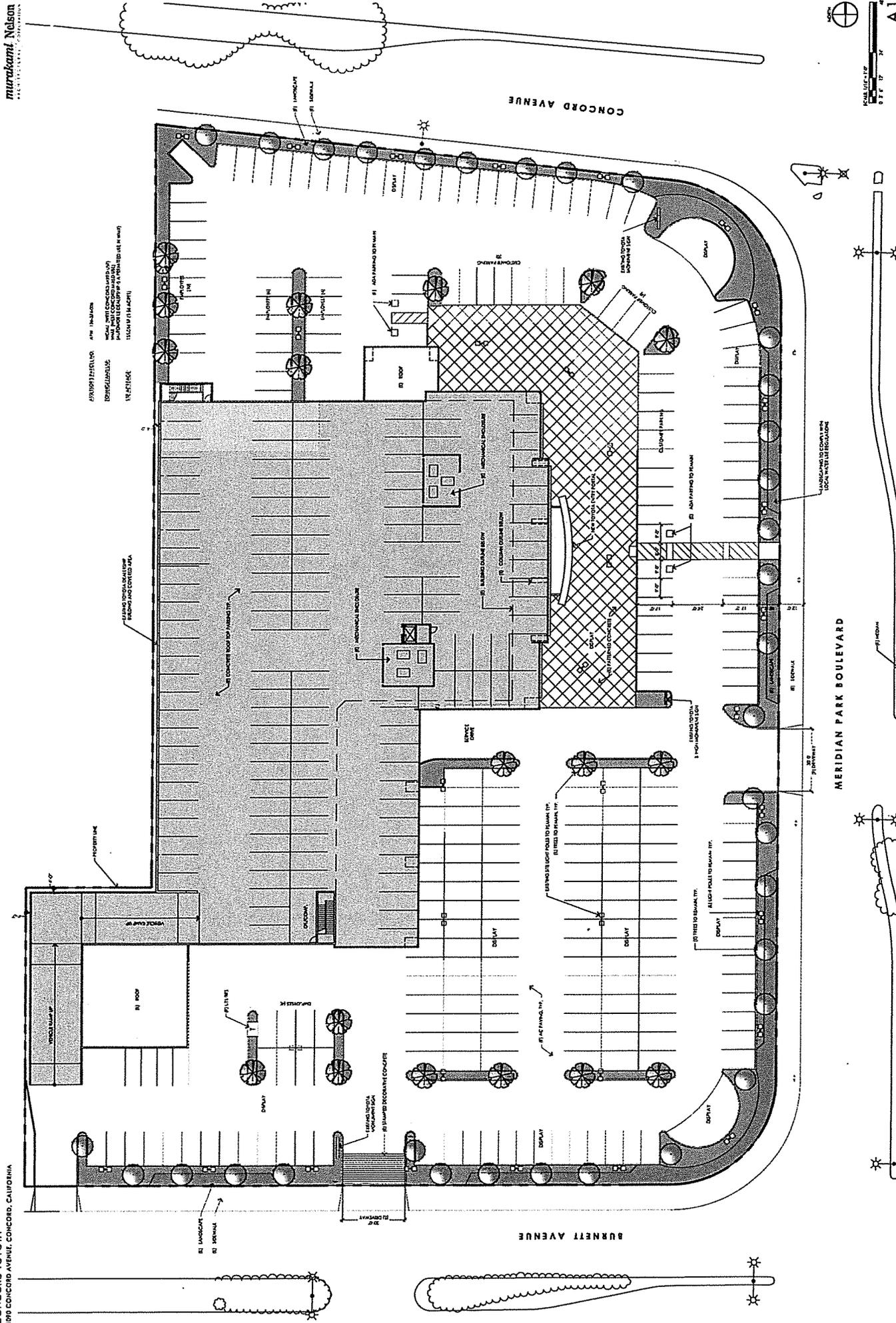
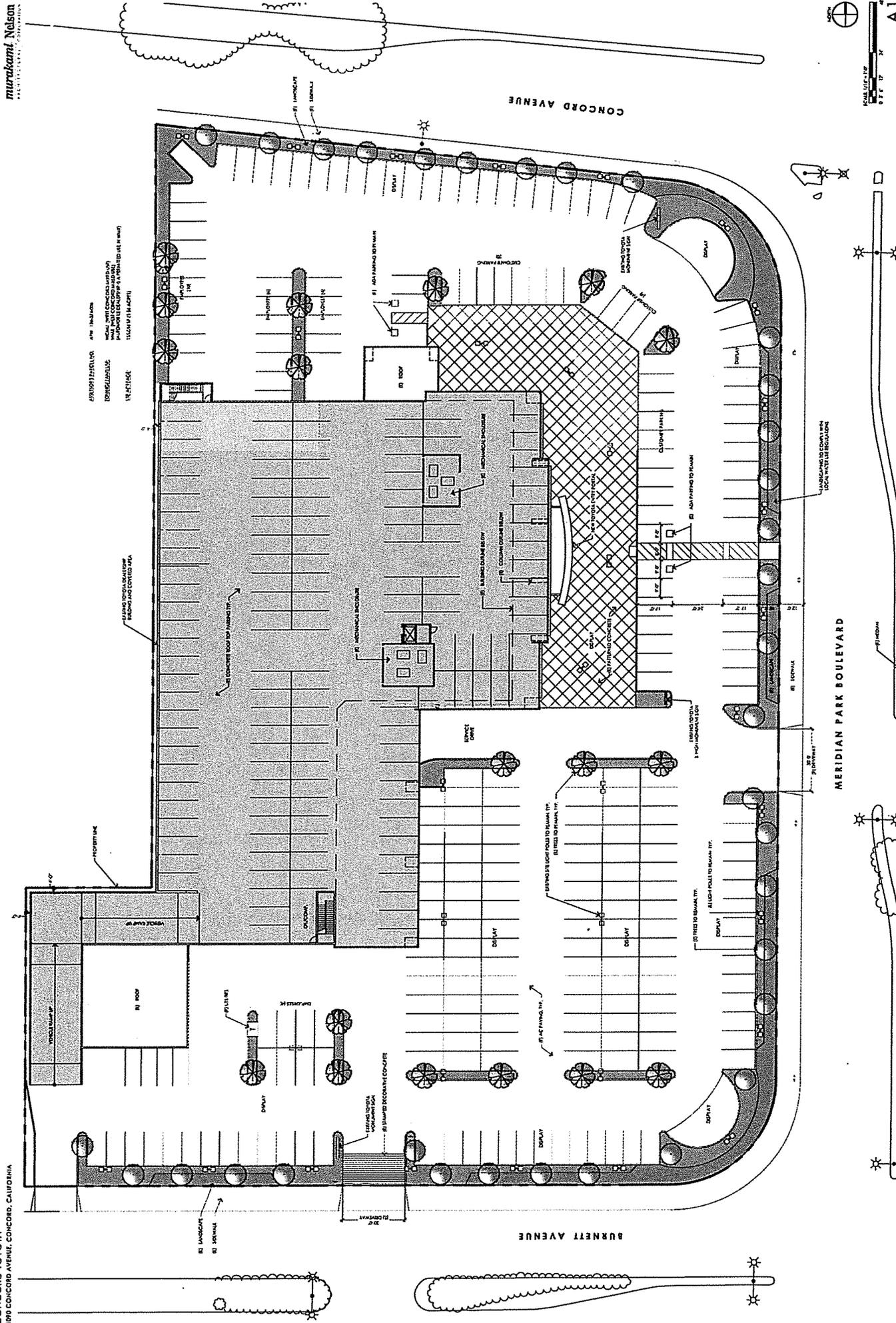
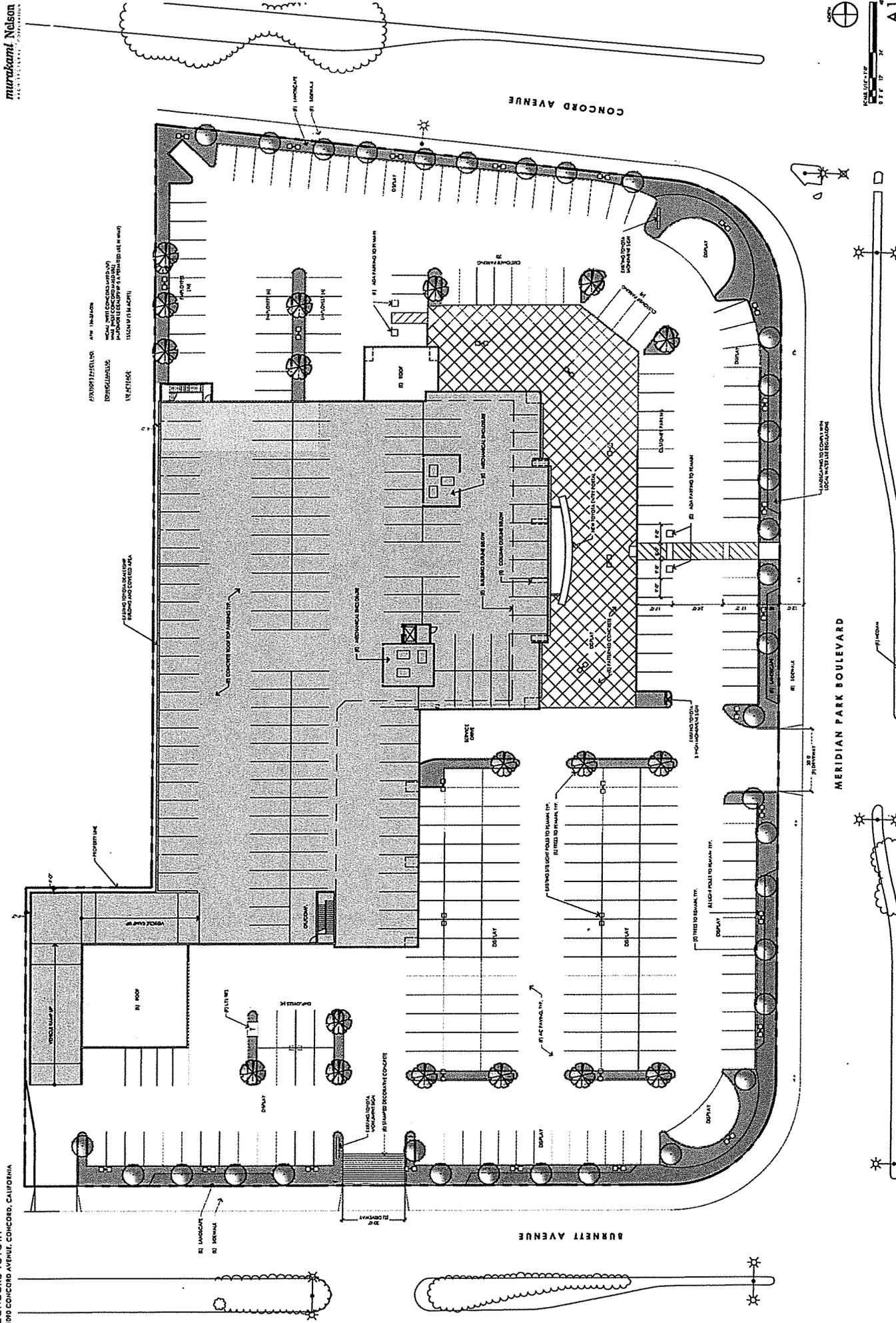
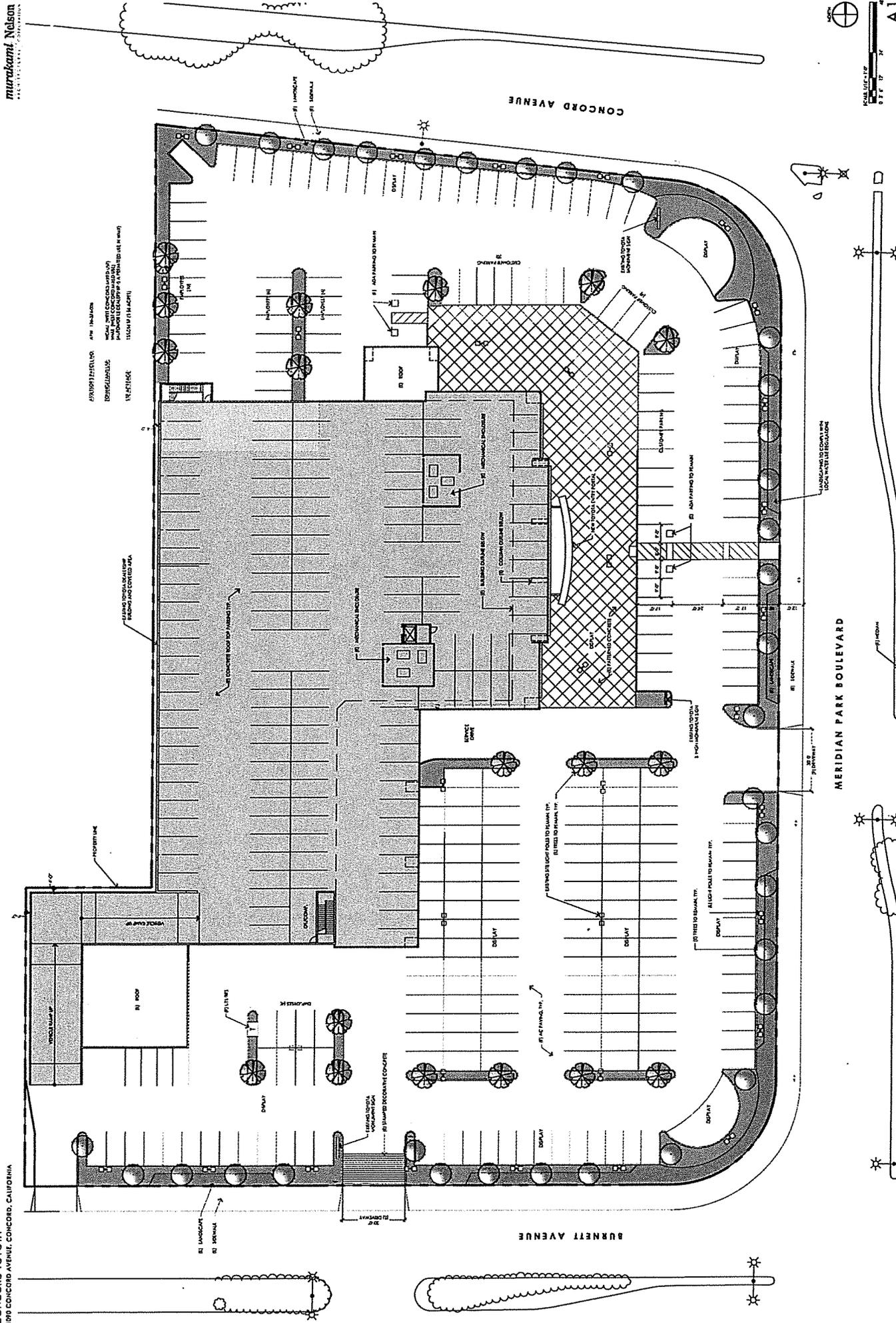
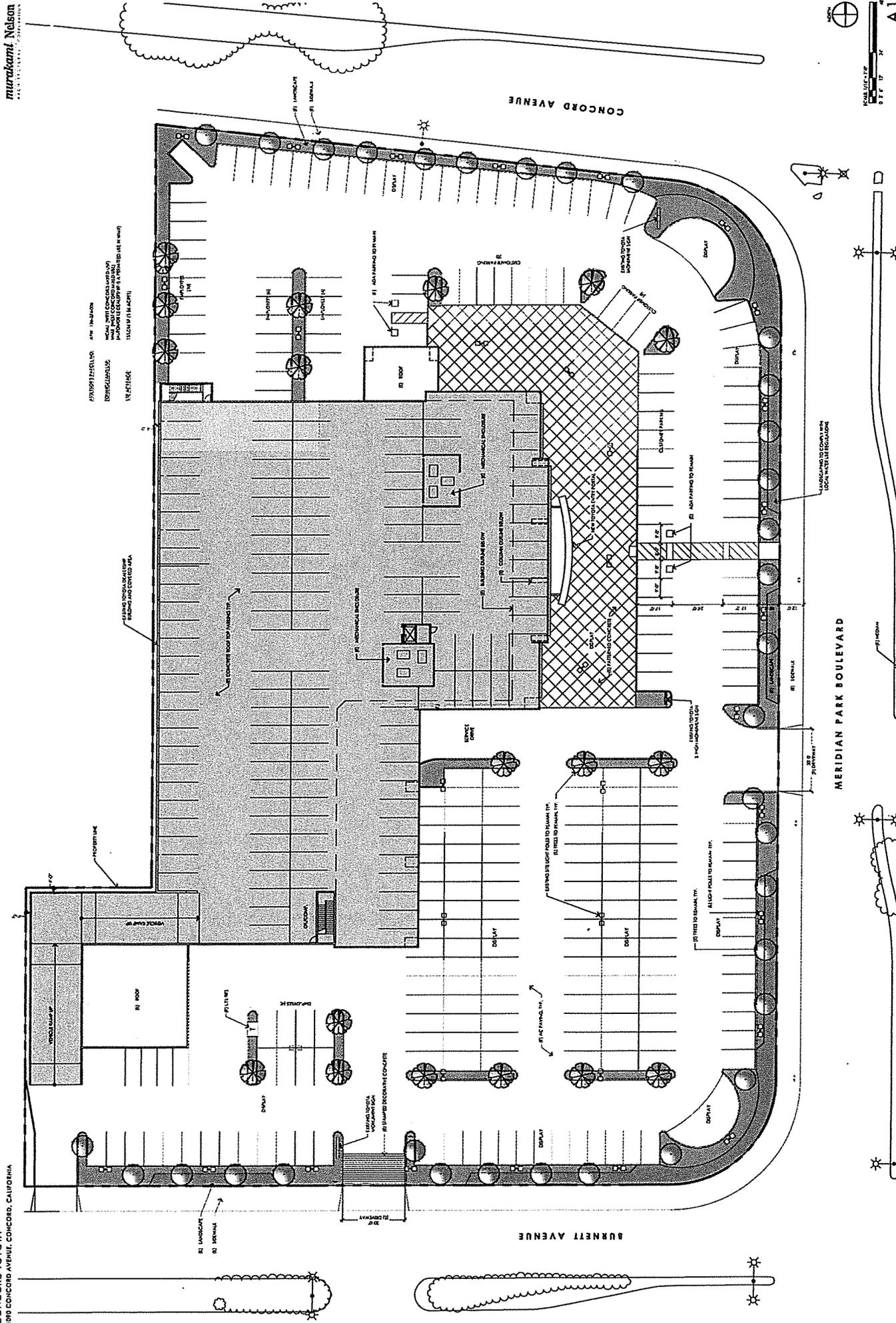
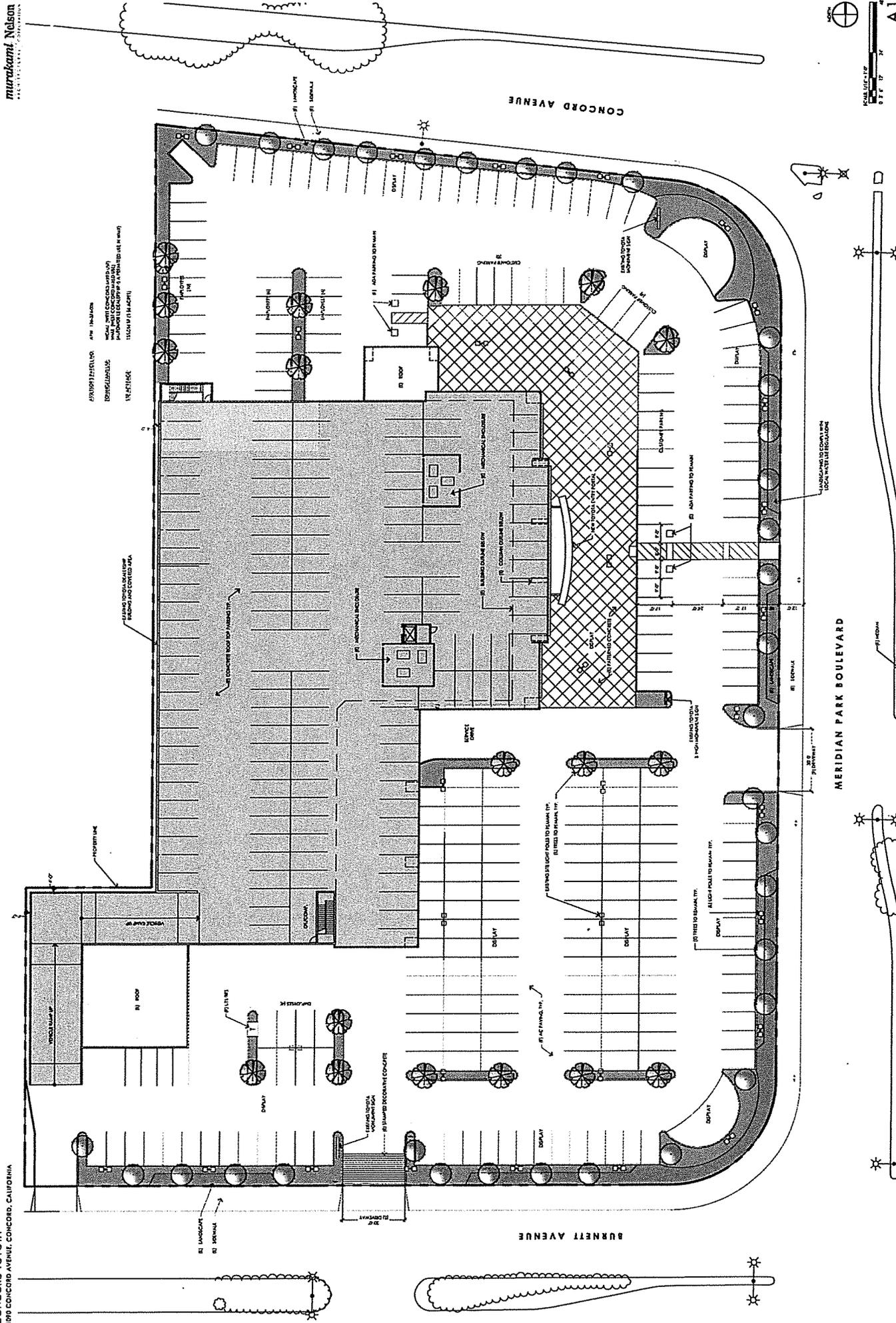
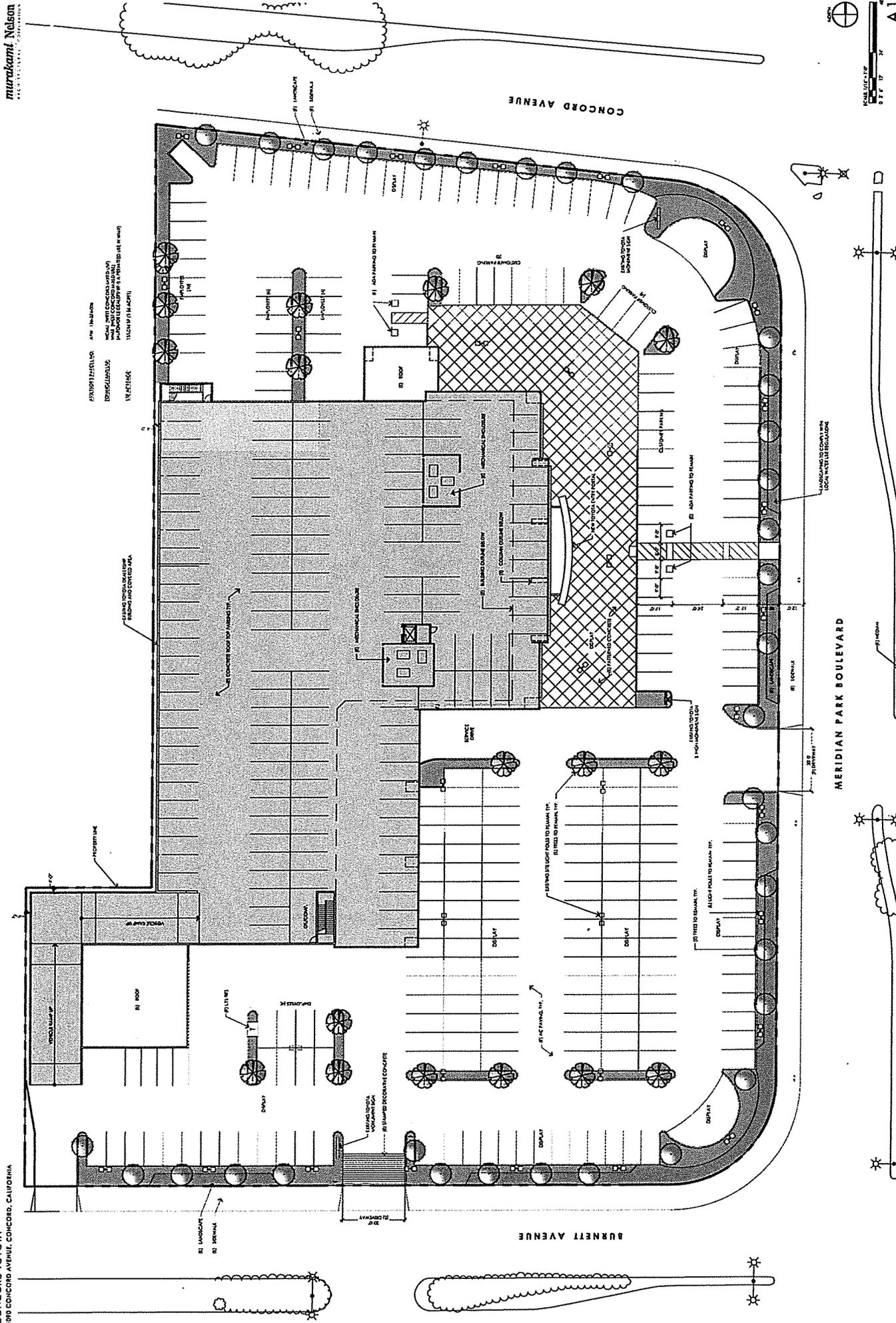
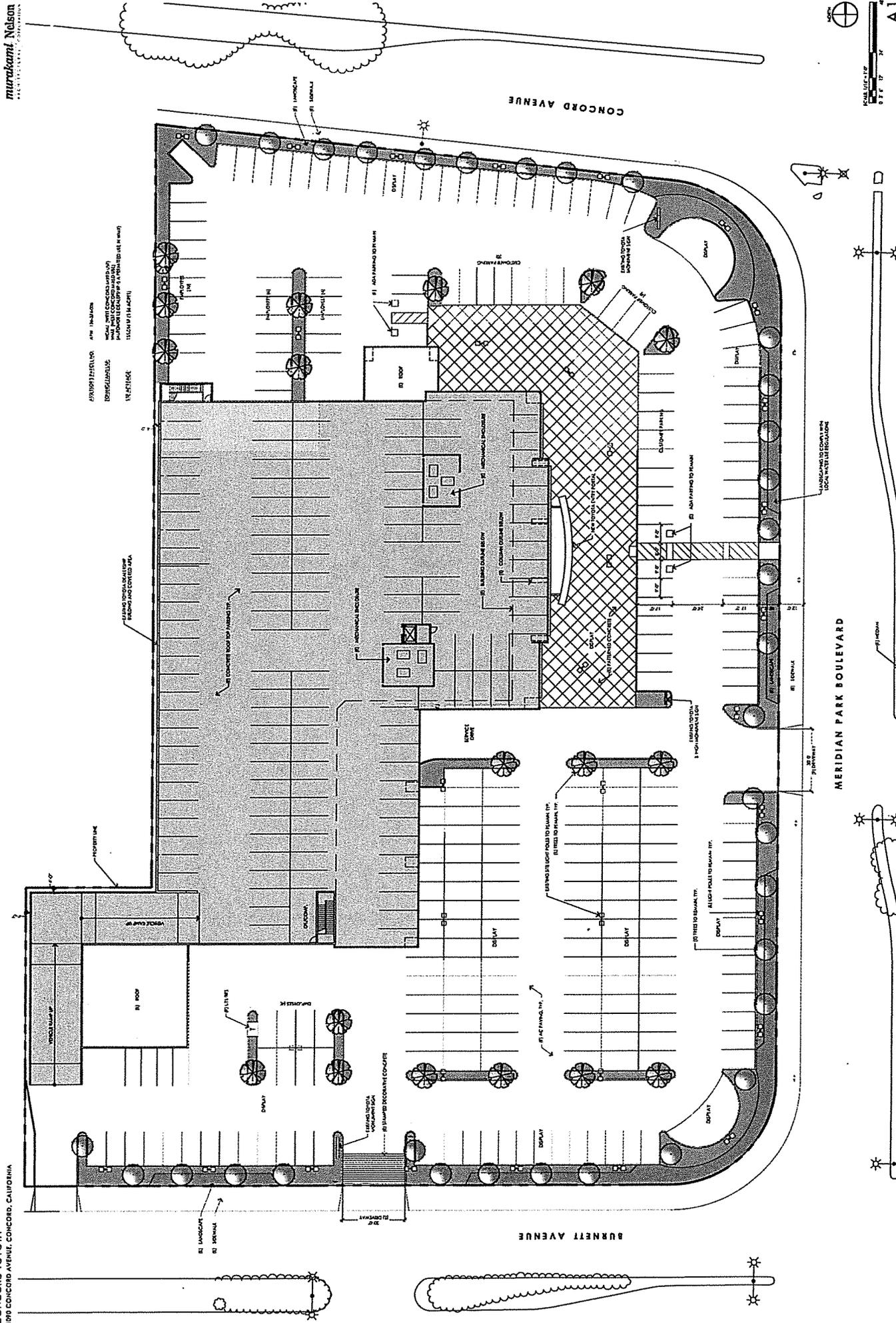
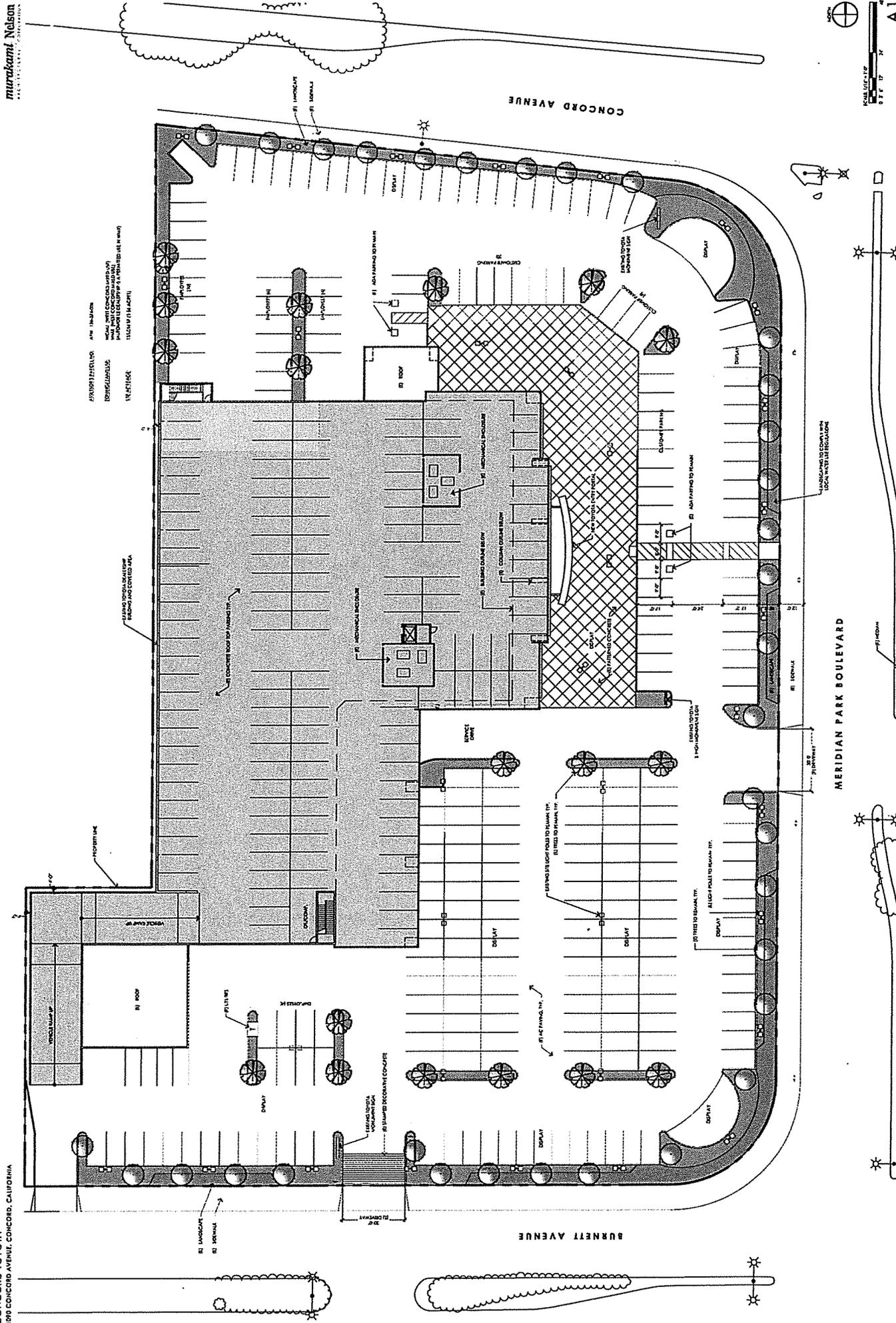
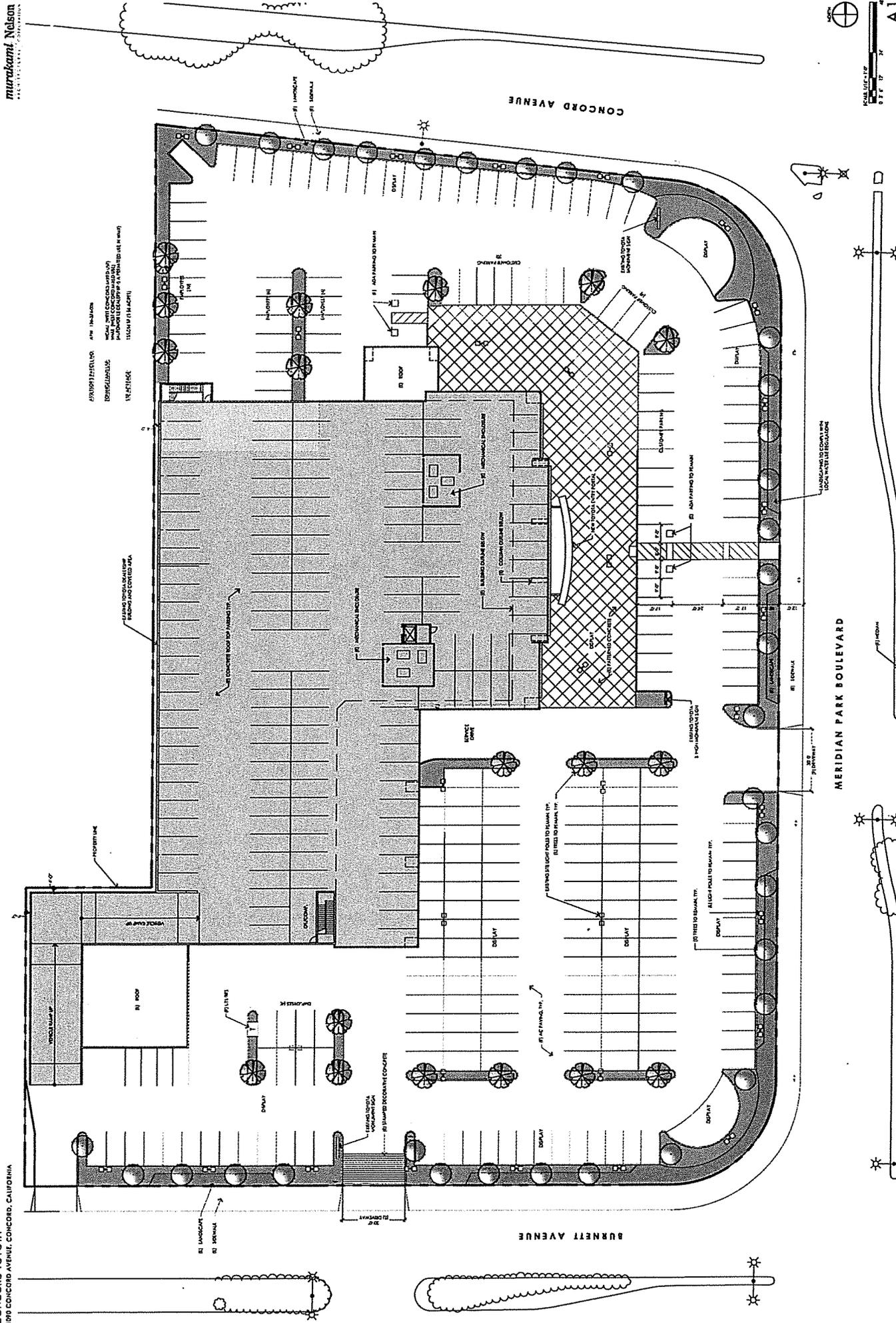
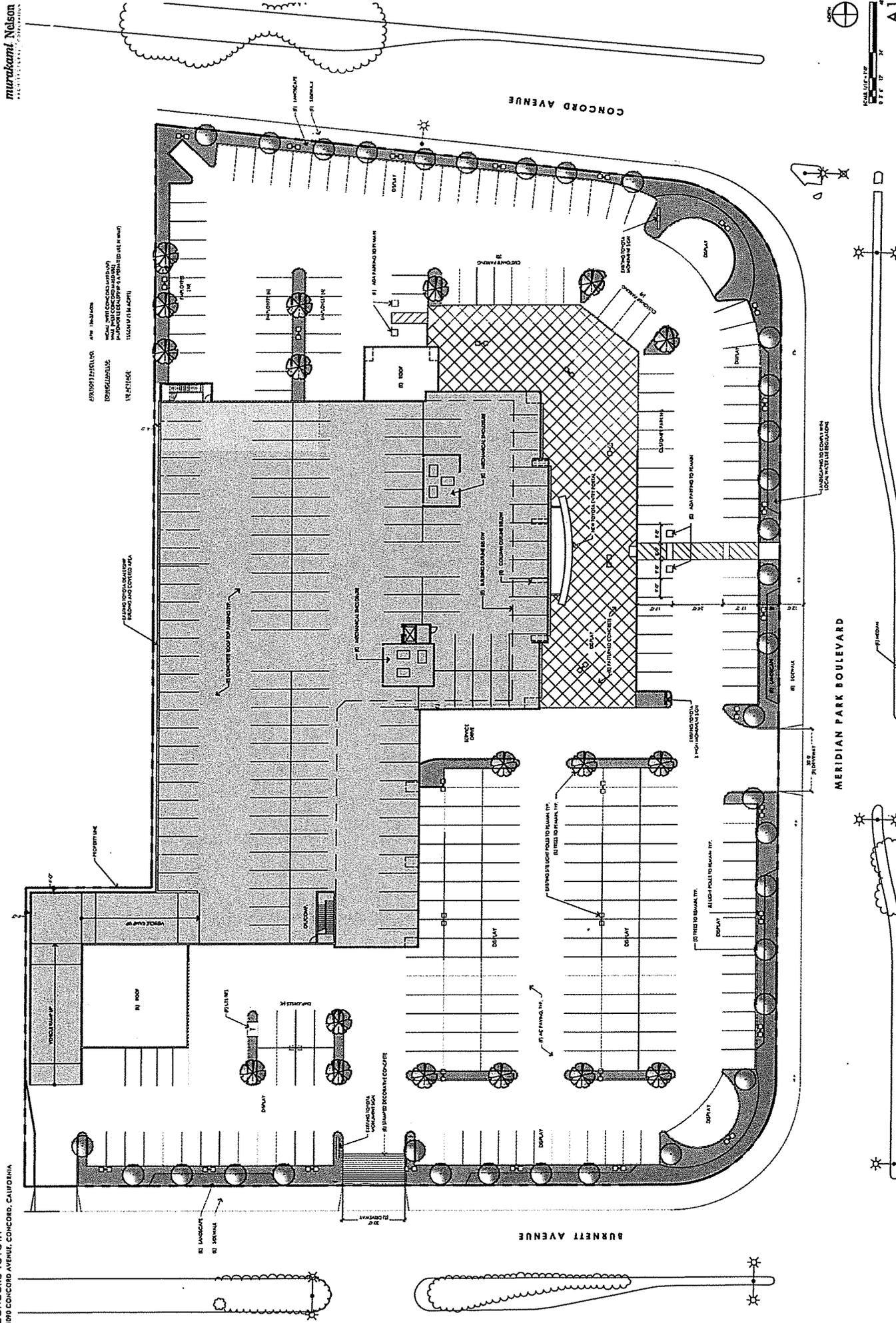
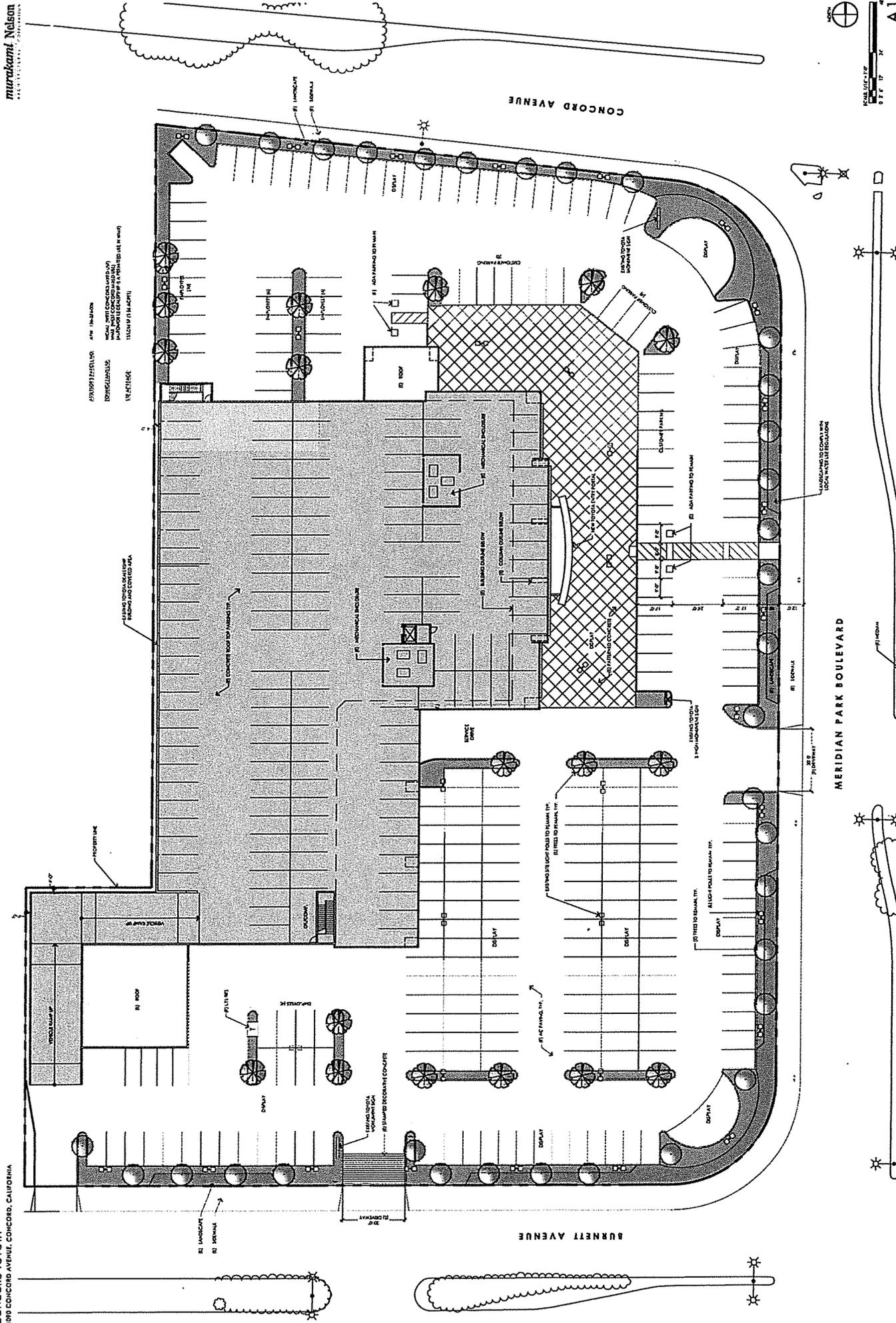
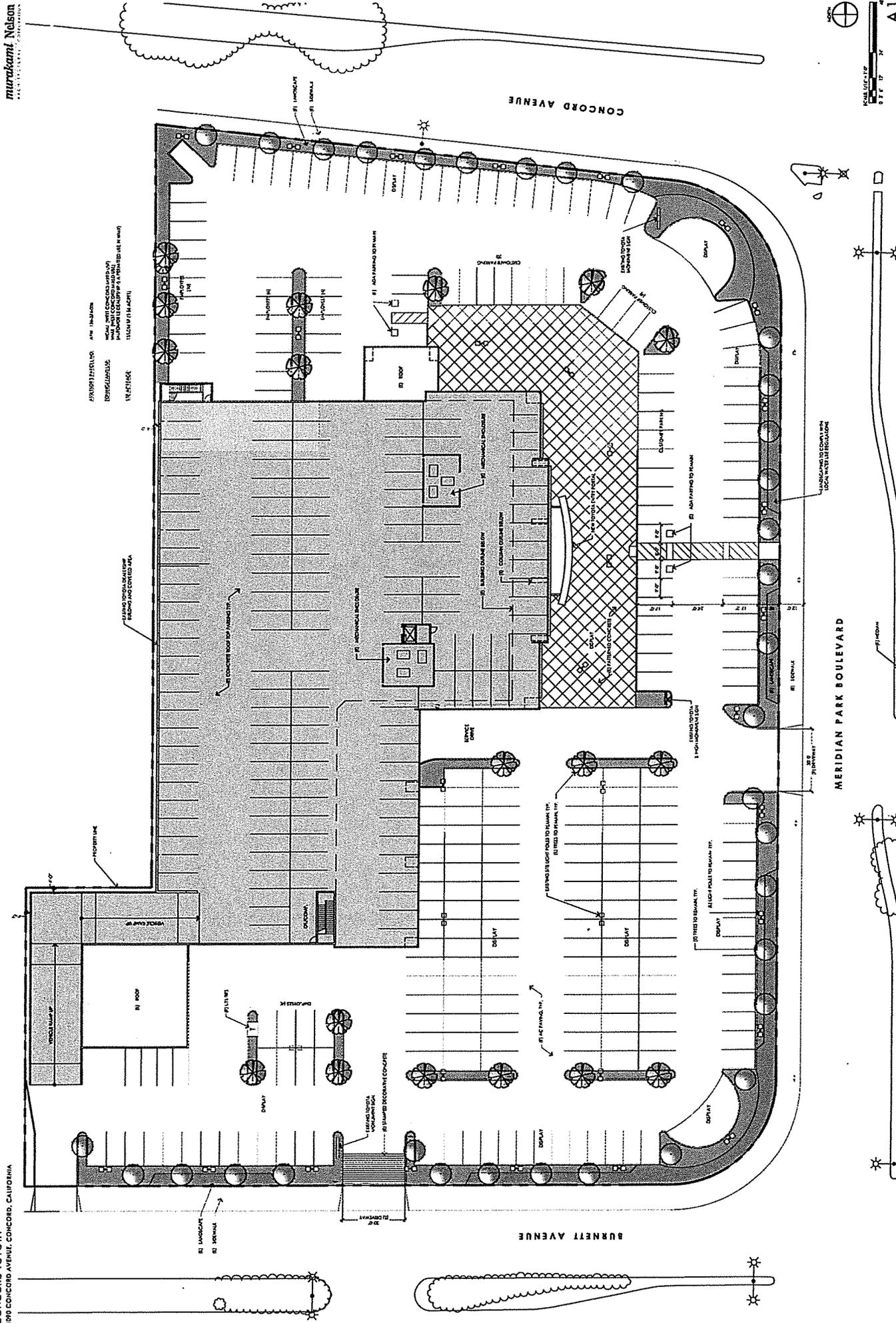
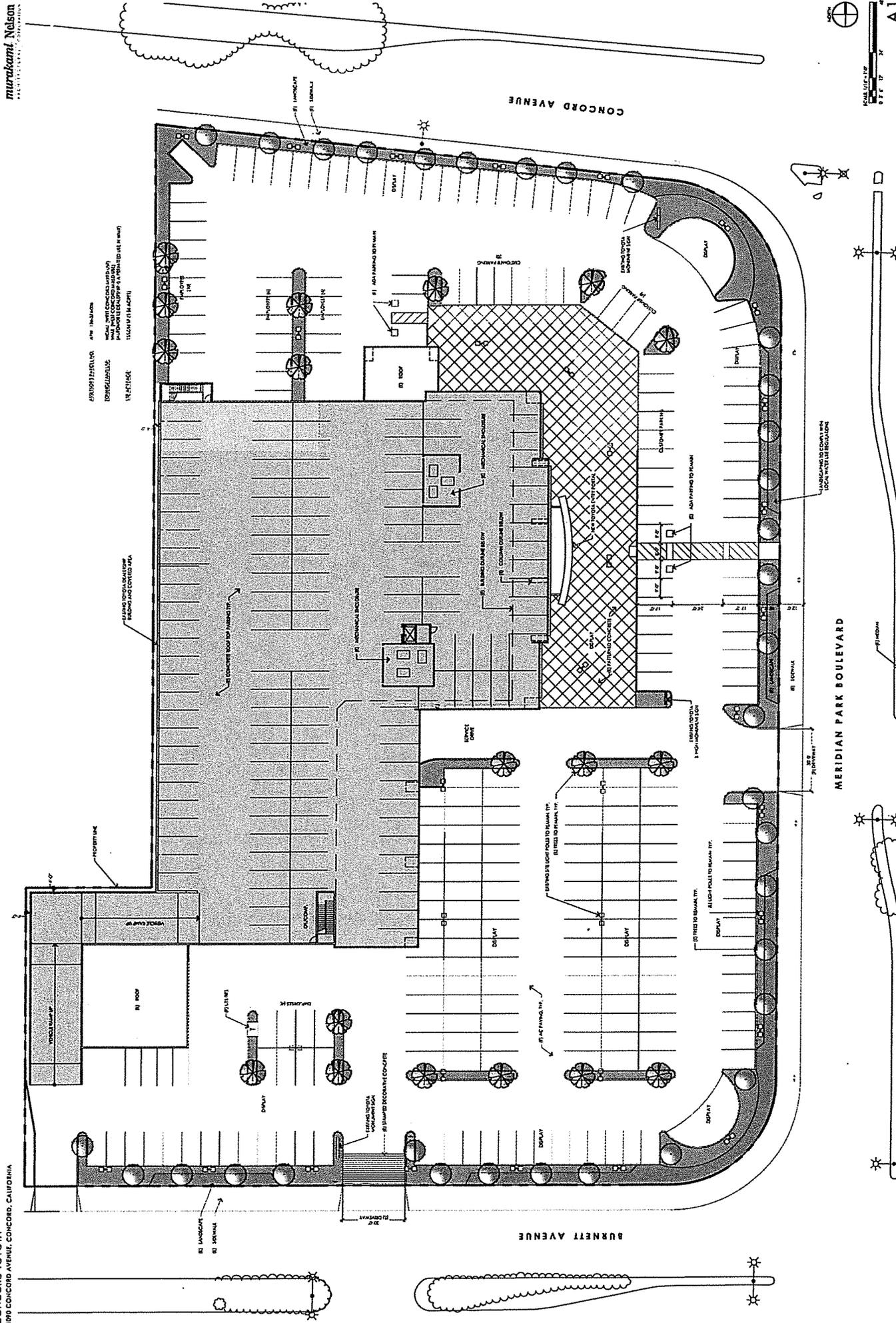
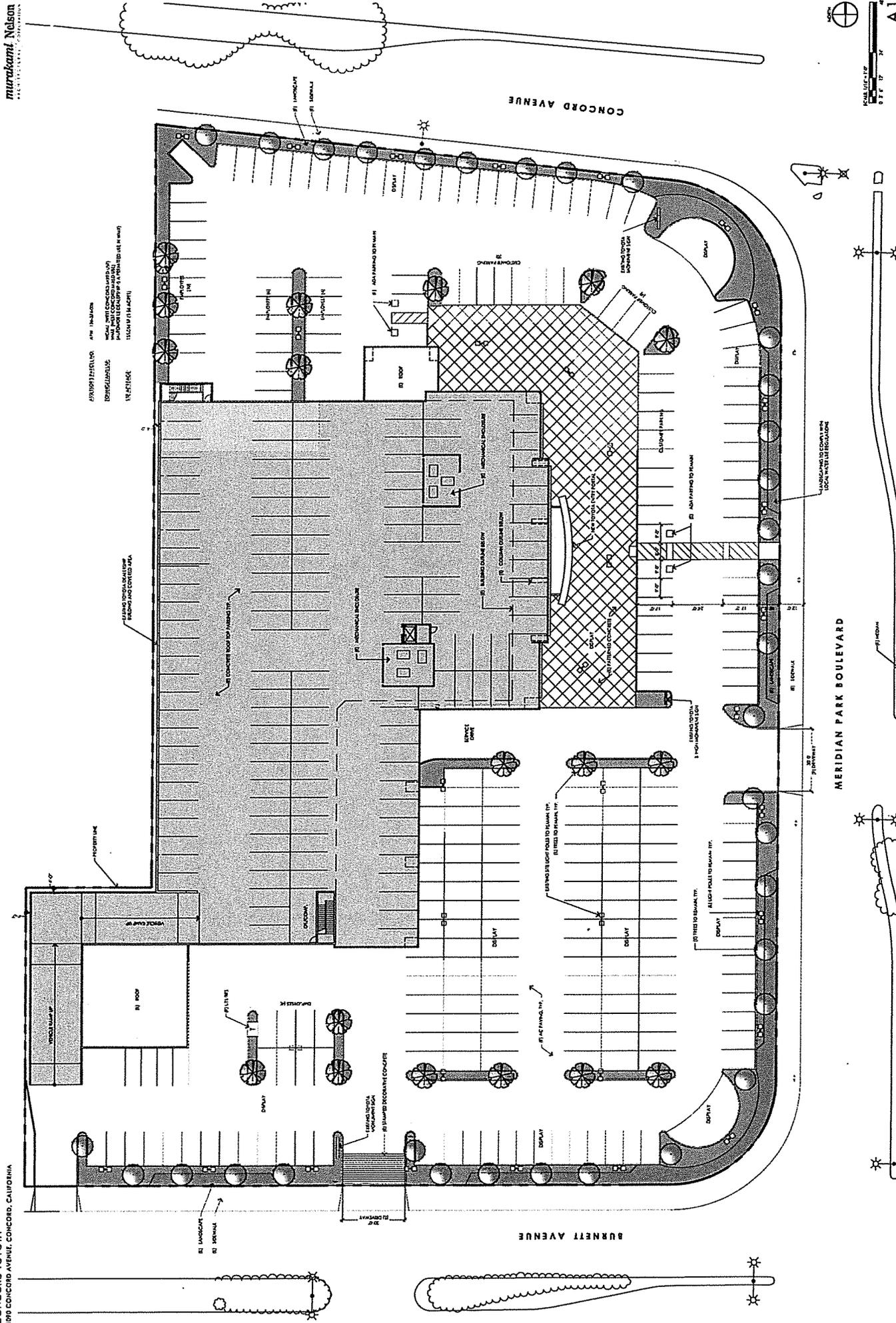
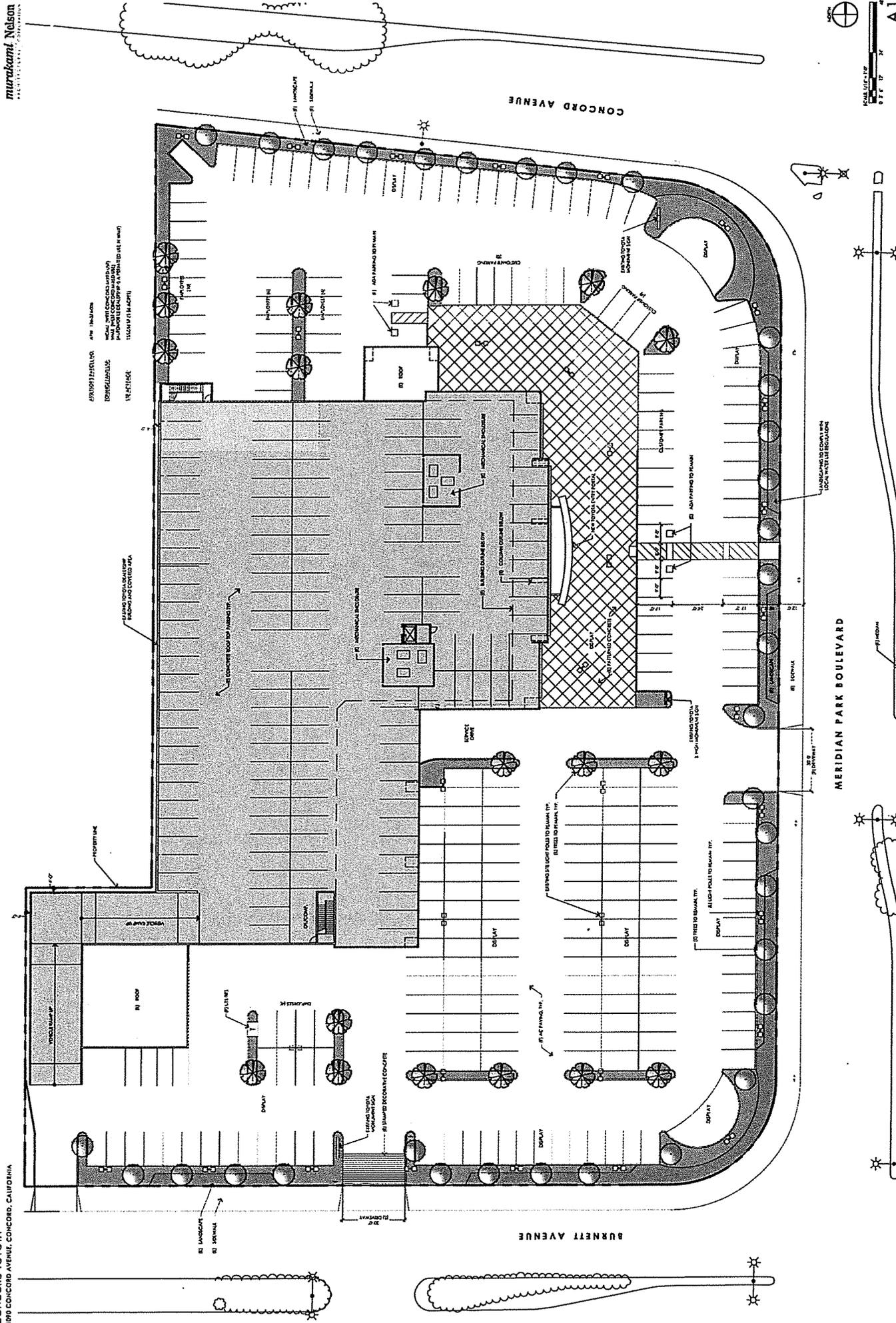
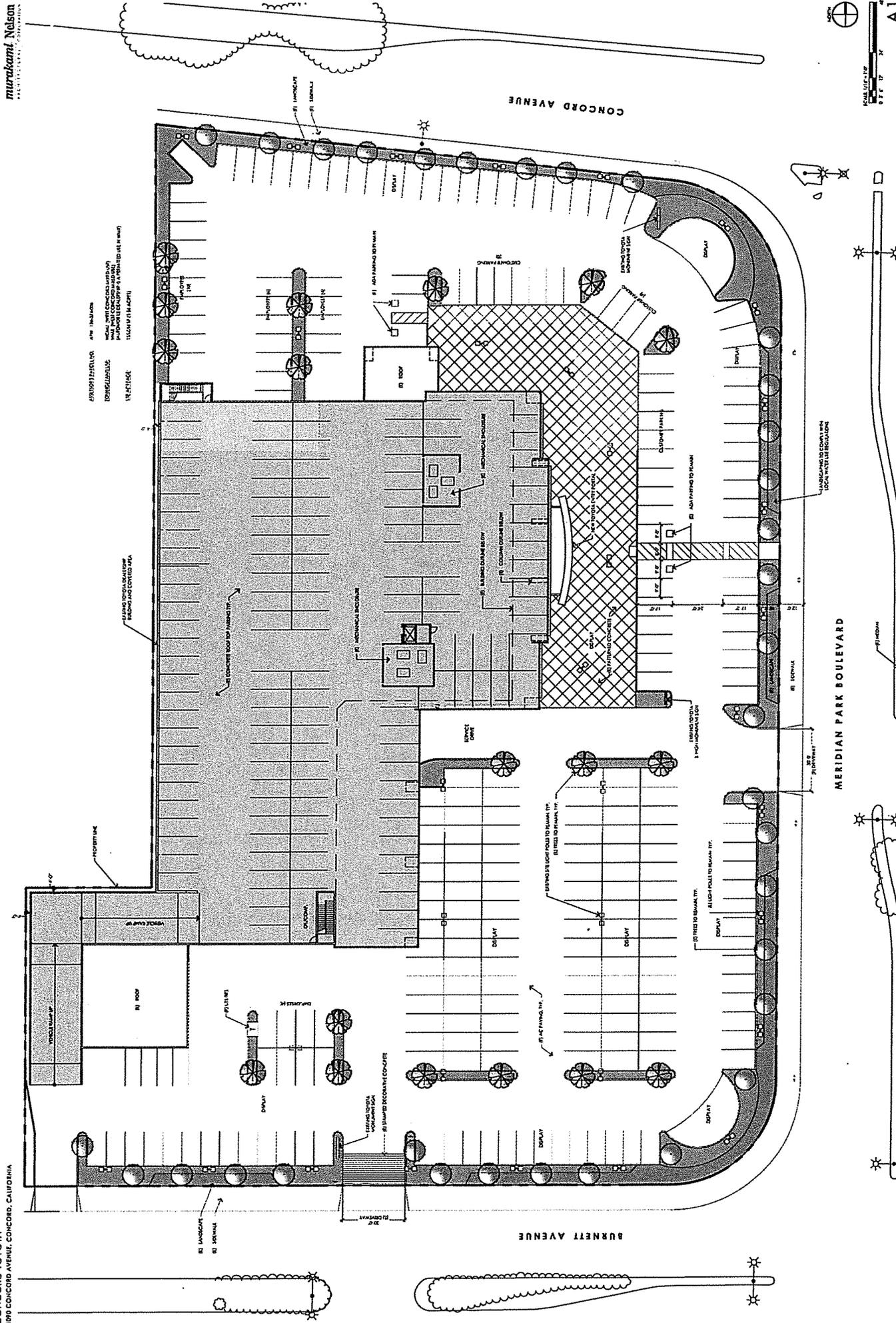
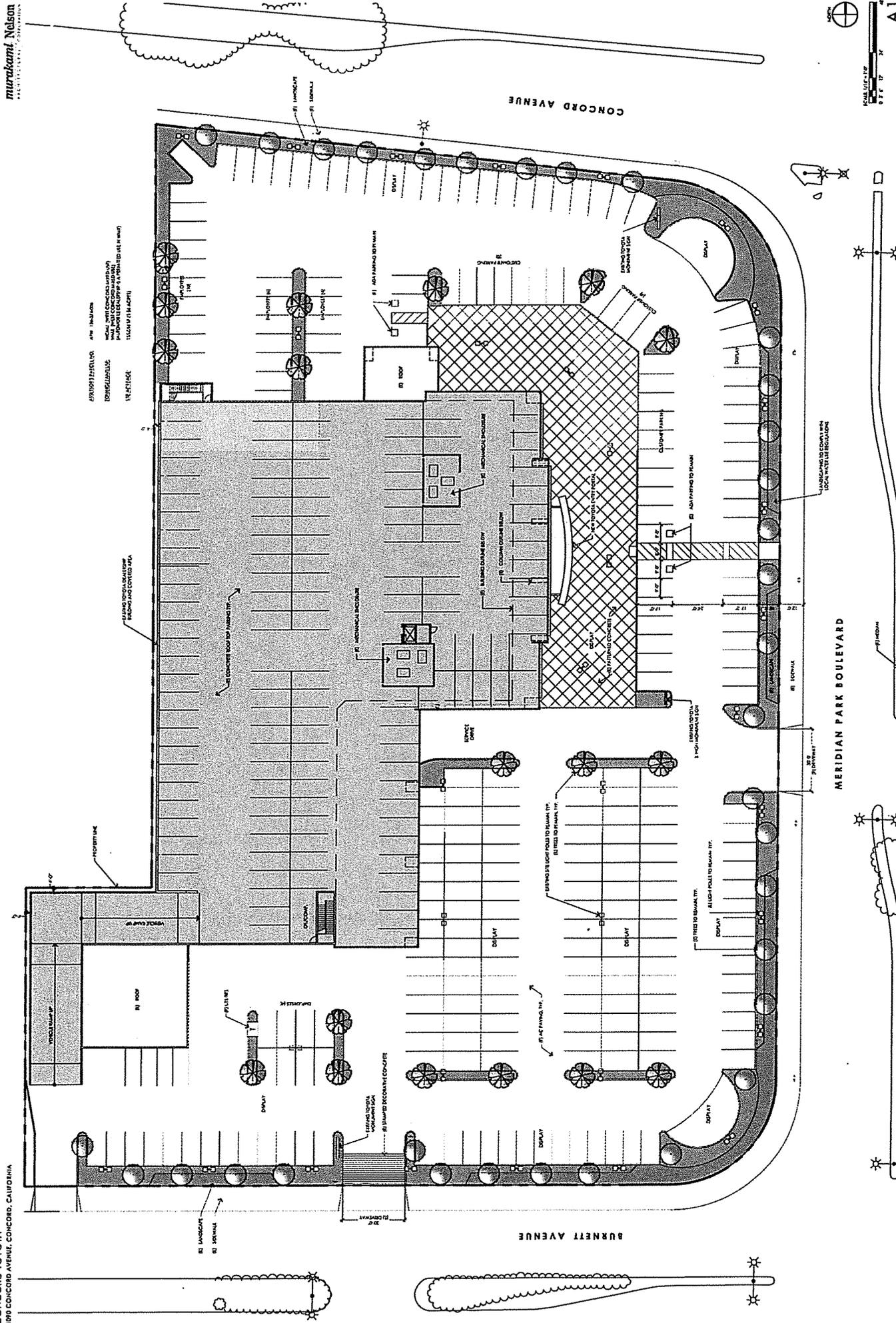
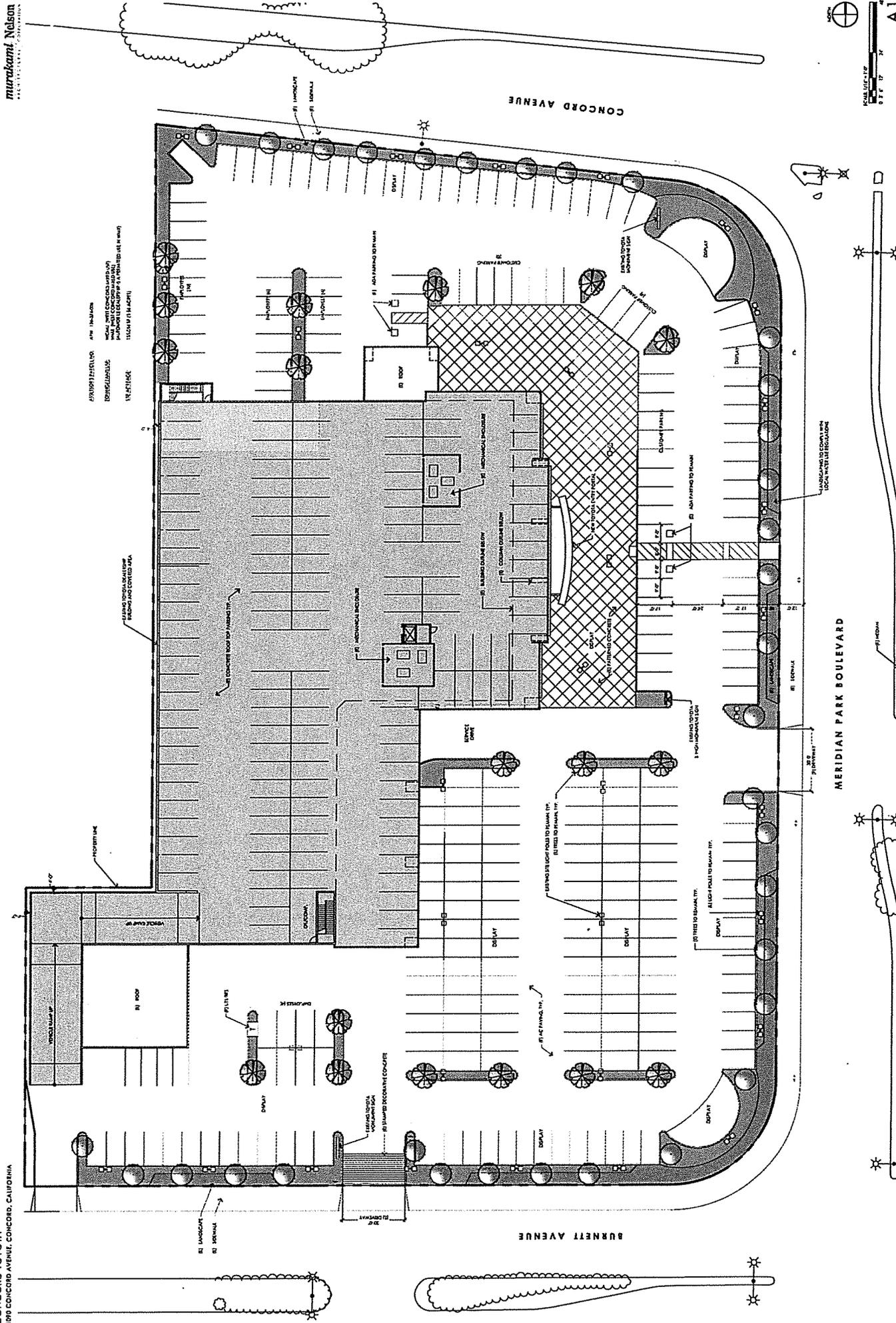
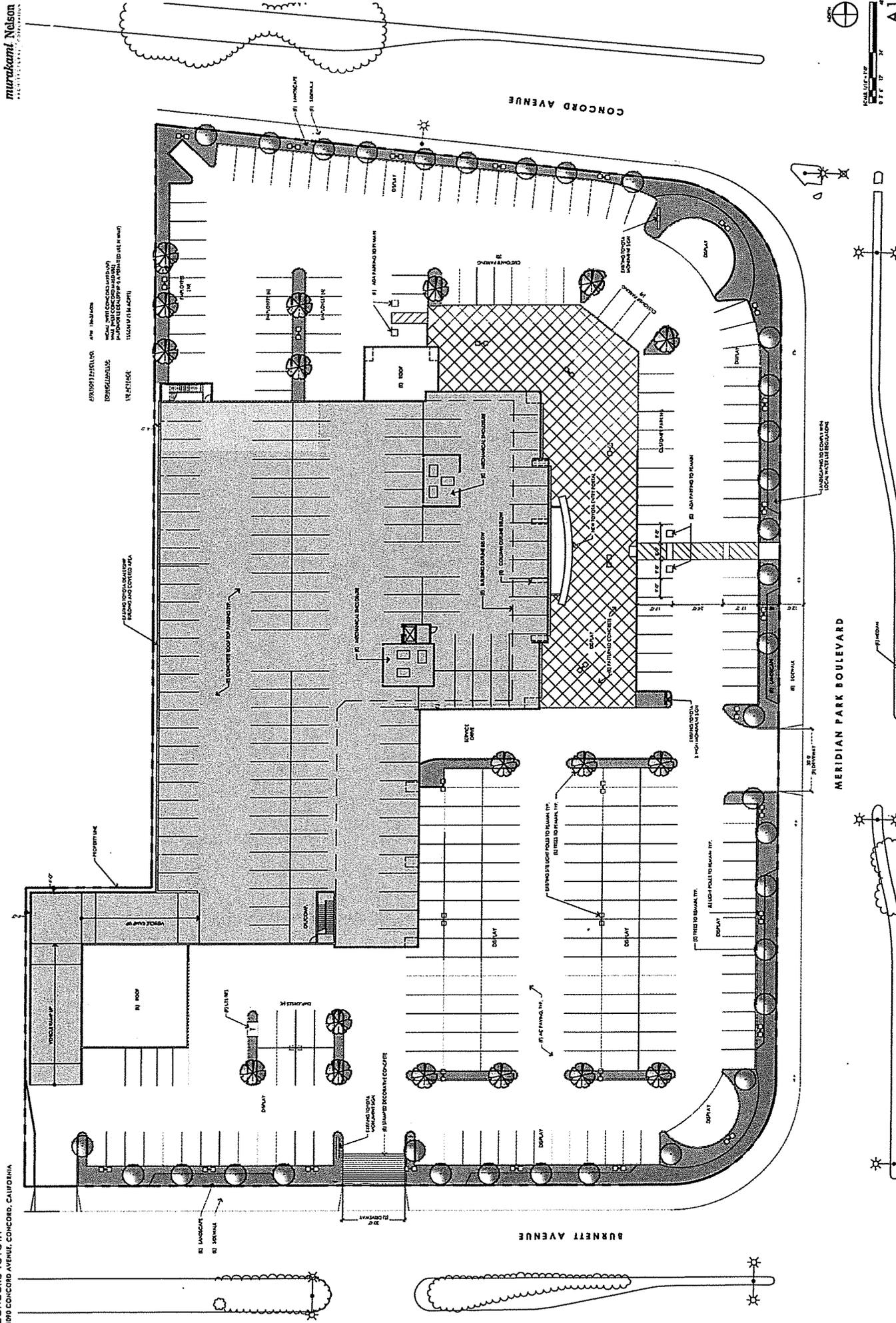
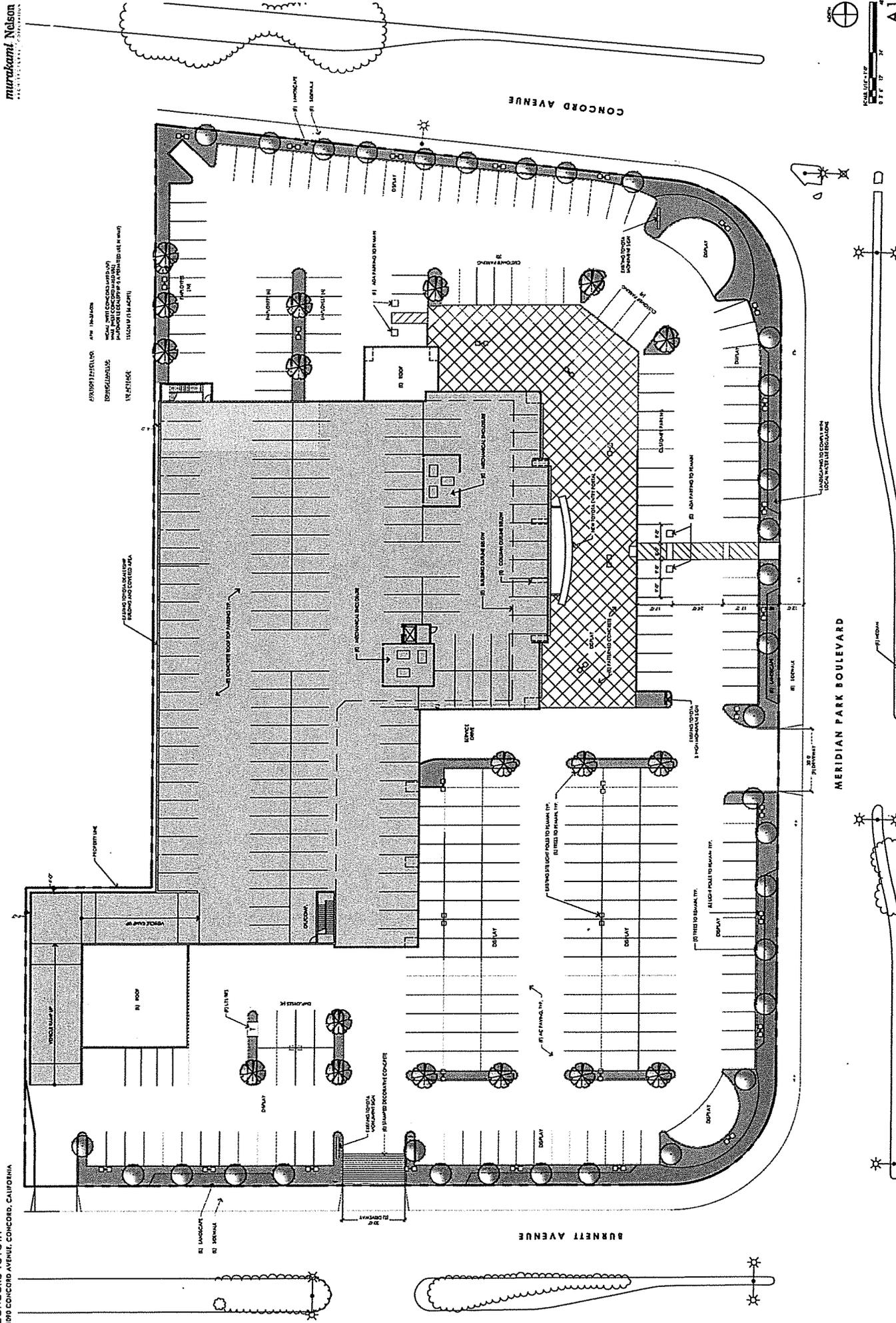
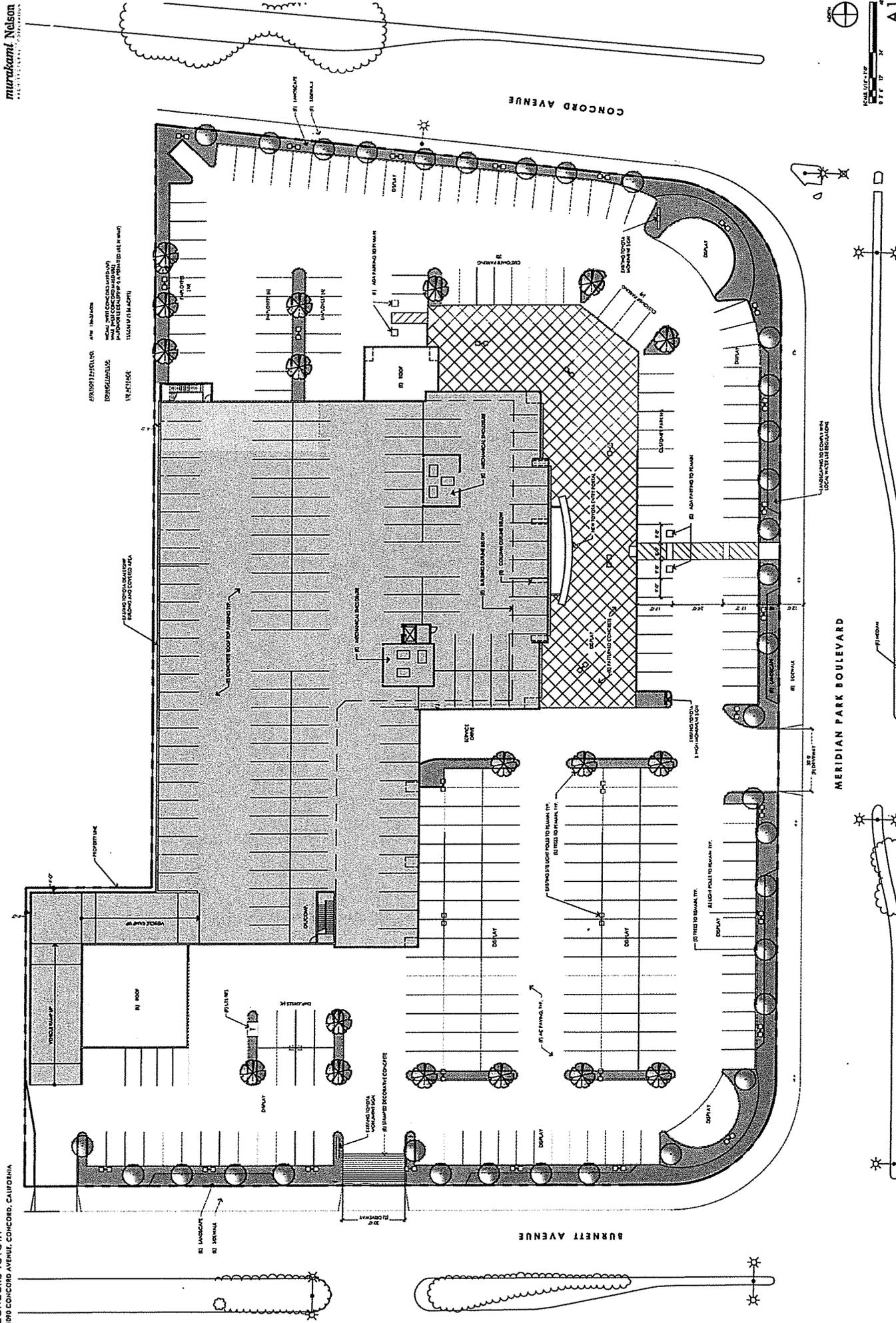
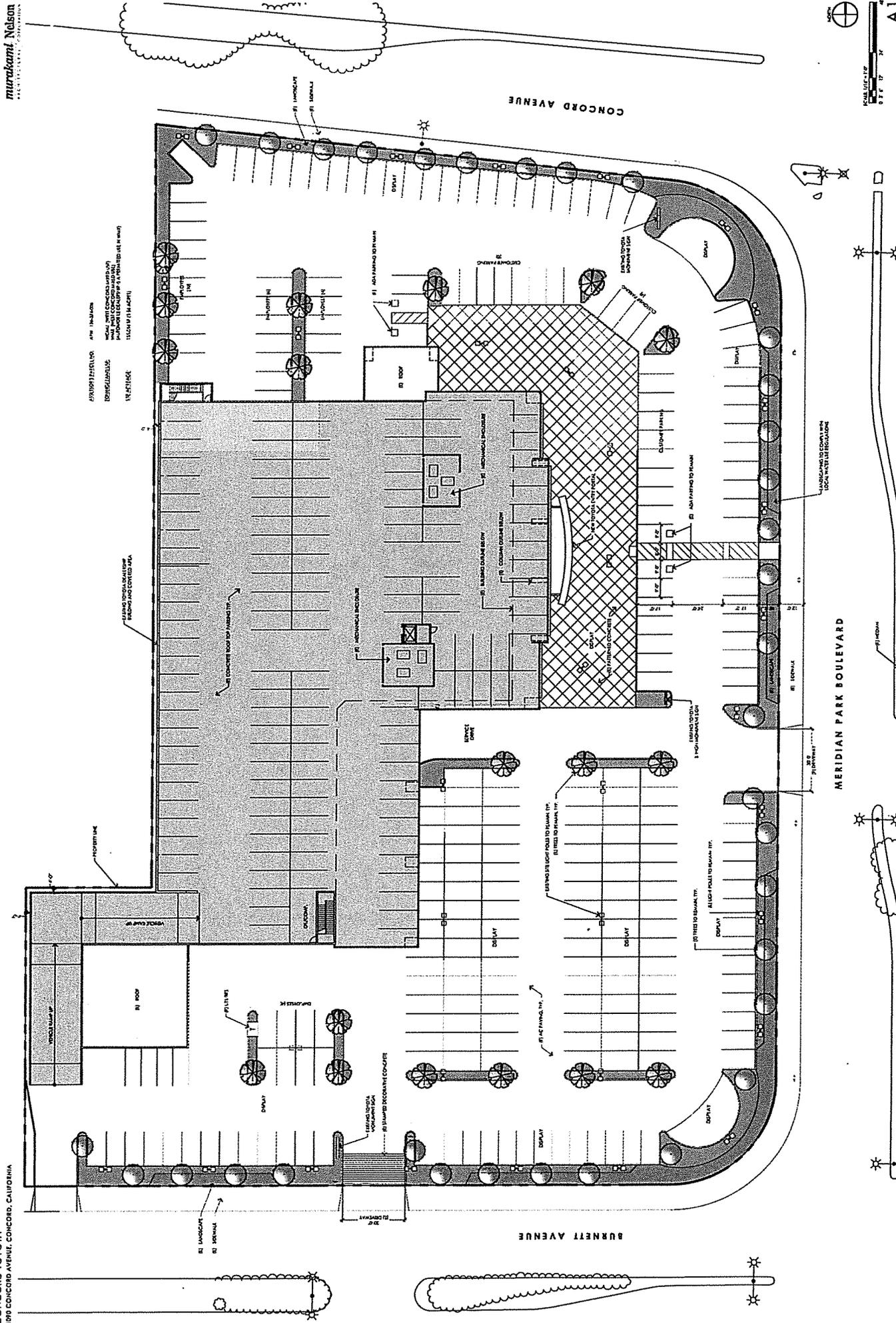
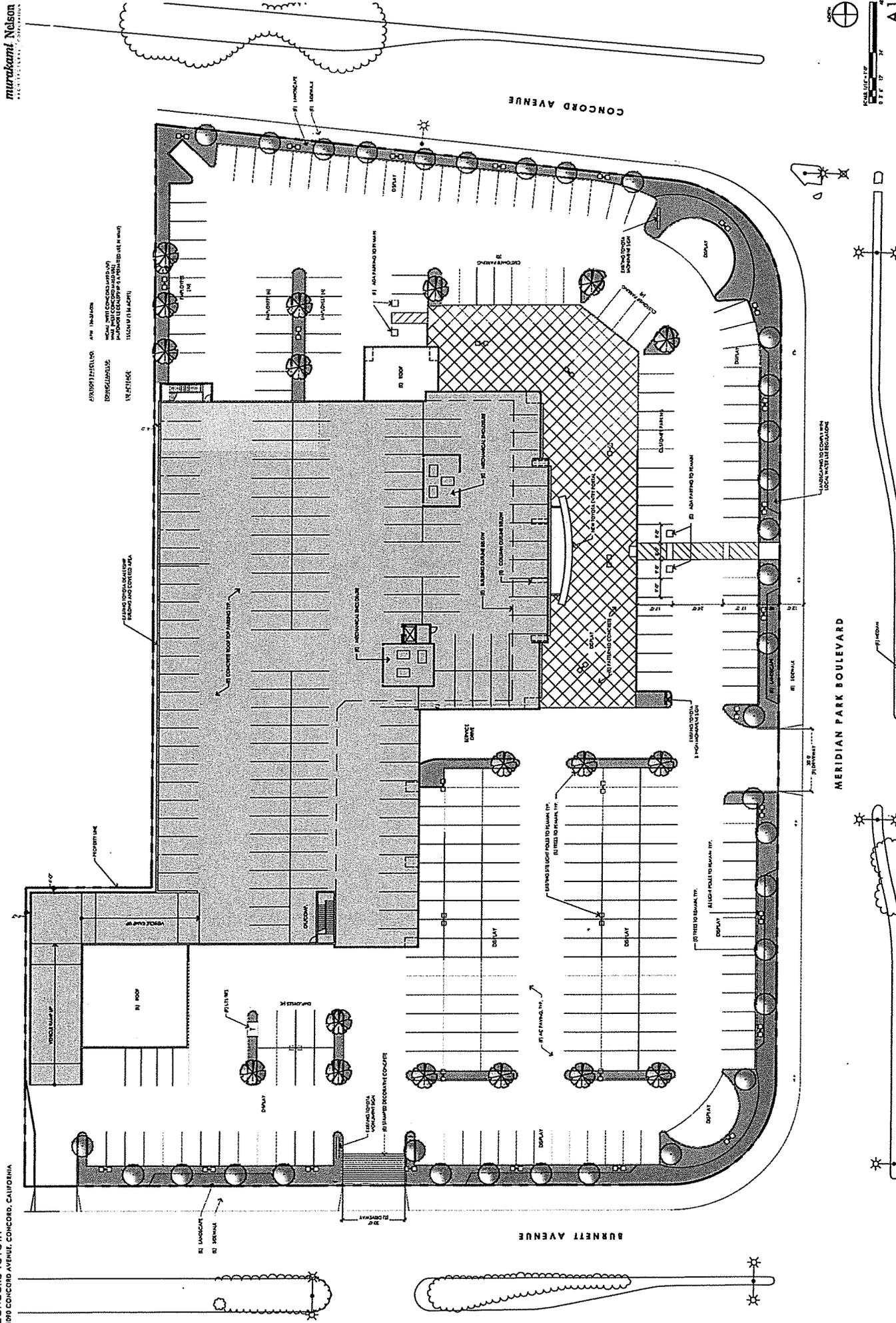
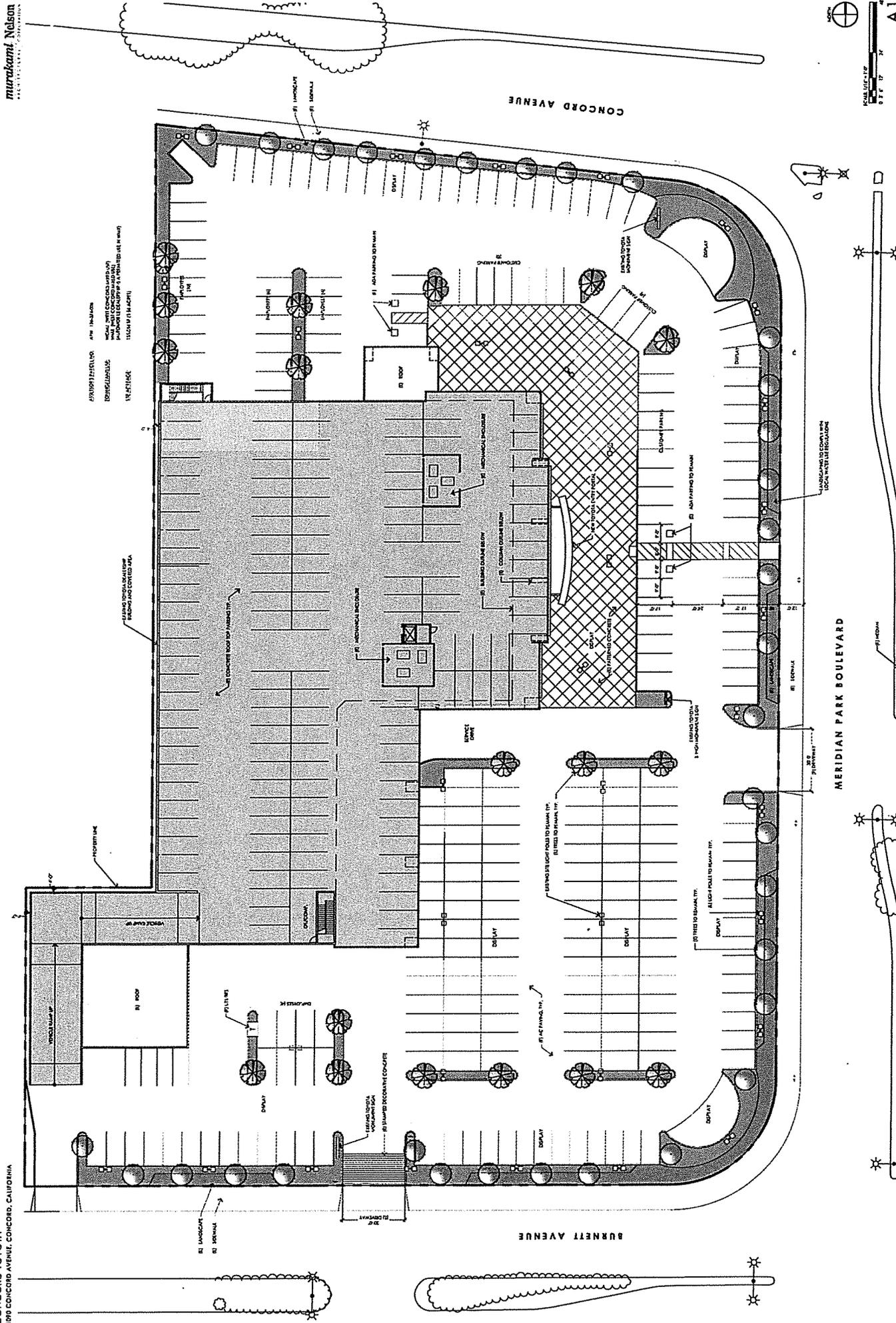
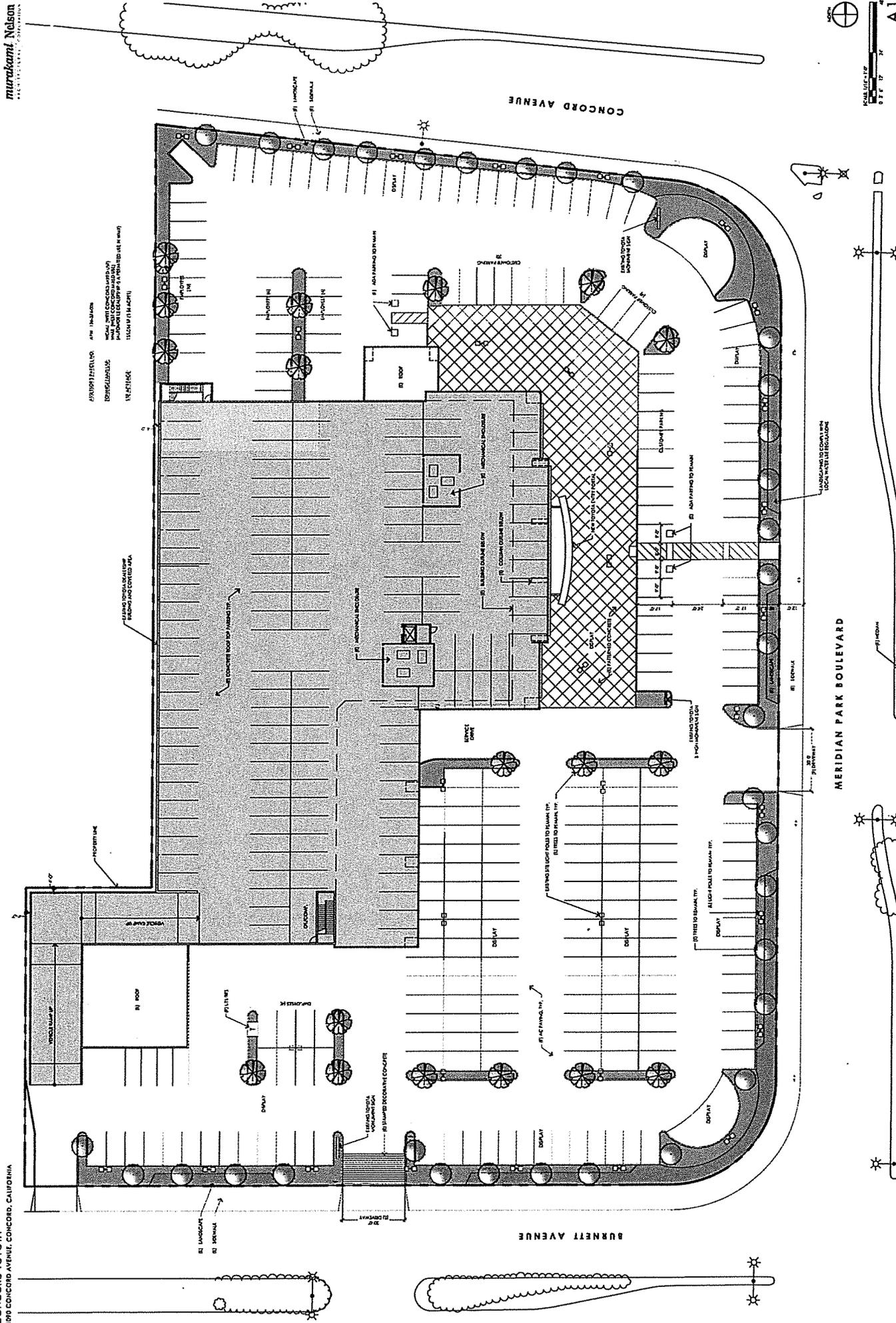
Drawg #: 045395-43/A

7.75x12 BAYS - VERTICAL PLANE 20'-0" FROM PORT

4.1	4.6	5.1	5.5	5.7	5.8	5.9	6.0	6.1	6.2	6.3	6.4	6.5	6.6	6.7	6.8	6.9	7.0	7.1	7.2	7.3	7.4	7.5	7.6	7.7	7.8	7.9	8.0	8.1	8.2	8.3	8.4	8.5	8.6	8.7	8.8	8.9	9.0	9.1	9.2	9.3	9.4	9.5	9.6	9.7	9.8	9.9	10.0																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
4.5	5.0	5.4	5.7	6.0	6.4	6.8	7.2	7.6	8.0	8.4	8.8	9.2	9.6	10.0	10.4	10.8	11.2	11.6	12.0	12.4	12.8	13.2	13.6	14.0	14.4	14.8	15.2	15.6	16.0	16.4	16.8	17.2	17.6	18.0	18.4	18.8	19.2	19.6	20.0	20.4	20.8	21.2	21.6	22.0	22.4	22.8	23.2	23.6	24.0																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
4.9	5.4	5.8	6.2	6.6	7.0	7.4	7.8	8.2	8.6	9.0	9.4	9.8	10.2	10.6	11.0	11.4	11.8	12.2	12.6	13.0	13.4	13.8	14.2	14.6	15.0	15.4	15.8	16.2	16.6	17.0	17.4	17.8	18.2	18.6	19.0	19.4	19.8	20.2	20.6	21.0	21.4	21.8	22.2	22.6	23.0	23.4	23.8	24.2	24.6	25.0																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				
5.2	5.7	6.2	6.6	7.0	7.4	7.8	8.2	8.6	9.0	9.4	9.8	10.2	10.6	11.0	11.4	11.8	12.2	12.6	13.0	13.4	13.8	14.2	14.6	15.0	15.4	15.8	16.2	16.6	17.0	17.4	17.8	18.2	18.6	19.0	19.4	19.8	20.2	20.6	21.0	21.4	21.8	22.2	22.6	23.0	23.4	23.8	24.2	24.6	25.0																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
5.5	6.0	6.4	6.8	7.2	7.6	8.0	8.4	8.8	9.2	9.6	10.0	10.4	10.8	11.2	11.6	12.0	12.4	12.8	13.2	13.6	14.0	14.4	14.8	15.2	15.6	16.0	16.4	16.8	17.2	17.6	18.0	18.4	18.8	19.2	19.6	20.0	20.4	20.8	21.2	21.6	22.0	22.4	22.8	23.2	23.6	24.0	24.4	24.8	25.2	25.6	26.0																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
5.8	6.3	6.7	7.1	7.5	7.9	8.3	8.7	9.1	9.5	9.9	10.3	10.7	11.1	11.5	11.9	12.3	12.7	13.1	13.5	13.9	14.3	14.7	15.1	15.5	15.9	16.3	16.7	17.1	17.5	17.9	18.3	18.7	19.1	19.5	19.9	20.3	20.7	21.1	21.5	21.9	22.3	22.7	23.1	23.5	23.9	24.3	24.7	25.1	25.5	25.9	26.3	26.7	27.1	27.5	27.9	28.3	28.7	29.1	29.5	29.9	30.3	30.7	31.1	31.5	31.9	32.3	32.7	33.1	33.5	33.9	34.3	34.7	35.1	35.5	35.9	36.3	36.7	37.1	37.5	37.9	38.3	38.7	39.1	39.5	39.9	40.3	40.7	41.1	41.5	41.9	42.3	42.7	43.1	43.5	43.9	44.3	44.7	45.1	45.5	45.9	46.3	46.7	47.1	47.5	47.9	48.3	48.7	49.1	49.5	49.9	50.3	50.7	51.1	51.5	51.9	52.3	52.7	53.1	53.5	53.9	54.3	54.7	55.1	55.5	55.9	56.3	56.7	57.1	57.5	57.9	58.3	58.7	59.1	59.5	59.9	60.3	60.7	61.1	61.5	61.9	62.3	62.7	63.1	63.5	63.9	64.3	64.7	65.1	65.5	65.9	66.3	66.7	67.1	67.5	67.9	68.3	68.7	69.1	69.5	69.9	70.3	70.7	71.1	71.5	71.9	72.3	72.7	73.1	73.5	73.9	74.3	74.7	75.1	75.5	75.9	76.3	76.7	77.1	77.5	77.9	78.3	78.7	79.1	79.5	79.9	80.3	80.7	81.1	81.5	81.9	82.3	82.7	83.1	83.5	83.9	84.3	84.7	85.1	85.5	85.9	86.3	86.7	87.1	87.5	87.9	88.3	88.7	89.1	89.5	89.9	90.3	90.7	91.1	91.5	91.9	92.3	92.7	93.1	93.5	93.9	94.3	94.7	95.1	95.5	95.9	96.3	96.7	97.1	97.5	97.9	98.3	98.7	99.1	99.5	99.9	100.3	100.7	101.1	101.5	101.9	102.3	102.7	103.1	103.5	103.9	104.3	104.7	105.1	105.5	105.9	106.3	106.7	107.1	107.5	107.9	108.3	108.7	109.1	109.5	109.9	110.3	110.7	111.1	111.5	111.9	112.3	112.7	113.1	113.5	113.9	114.3	114.7	115.1	115.5	115.9	116.3	116.7	117.1	117.5	117.9	118.3	118.7	119.1	119.5	119.9	120.3	120.7	121.1	121.5	121.9	122.3	122.7	123.1	123.5	123.9	124.3	124.7	125.1	125.5	125.9	126.3	126.7	127.1	127.5	127.9	128.3	128.7	129.1	129.5	129.9	130.3	130.7	131.1	131.5	131.9	132.3	132.7	133.1	133.5	133.9	134.3	134.7	135.1	135.5	135.9	136.3	136.7	137.1	137.5	137.9	138.3	138.7	139.1	139.5	139.9	140.3	140.7	141.1	141.5	141.9	142.3	142.7	143.1	143.5	143.9	144.3	144.7	145.1	145.5	145.9	146.3	146.7	147.1	147.5	147.9	148.3	148.7	149.1	149.5	149.9	150.3	150.7	151.1	151.5	151.9	152.3	152.7	153.1	153.5	153.9	154.3	154.7	155.1	155.5	155.9	156.3	156.7	157.1	157.5	157.9	158.3	158.7	159.1	159.5	159.9	160.3	160.7	161.1	161.5	161.9	162.3	162.7	163.1	163.5	163.9	164.3	164.7	165.1	165.5	165.9	166.3	166.7	167.1	167.5	167.9	168.3	168.7	169.1	169.5	169.9	170.3	170.7	171.1	171.5	171.9	172.3	172.7	173.1	173.5	173.9	174.3	174.7	175.1	175.5	175.9	176.3	176.7	177.1	177.5	177.9	178.3	178.7	179.1	179.5	179.9	180.3	180.7	181.1	181.5	181.9	182.3	182.7	183.1	183.5	183.9	184.3	184.7	185.1	185.5	185.9	186.3	186.7	187.1	187.5	187.9	188.3	188.7	189.1	189.5	189.9	190.3	190.7	191.1	191.5	191.9	192.3	192.7	193.1	193.5	193.9	194.3	194.7	195.1	195.5	195.9	196.3	196.7	197.1	197.5	197.9	198.3	198.7	199.1	199.5	199.9	200.3	200.7	201.1	201.5	201.9	202.3	202.7	203.1	203.5	203.9	204.3	204.7	205.1	205.5	205.9	206.3	206.7	207.1	207.5	207.9	208.3	208.7	209.1	209.5	209.9	210.3	210.7	211.1	211.5	211.9	212.3	212.7	213.1	213.5	213.9	214.3	214.7	215.1	215.5	215.9	216.3	216.7	217.1	217.5	217.9	218.3	218.7	219.1	219.5	219.9	220.3	220.7	221.1	221.5	221.9	222.3	222.7	223.1	223.5	223.9	224.3	224.7	225.1	225.5	225.9	226.3	226.7	227.1	227.5	227.9	228.3	228.7	229.1	229.5	229.9	230.3	230.7	231.1	231.5	231.9	232.3	232.7	233.1	233.5	233.9	234.3	234.7	235.1	235.5	235.9	236.3	236.7	237.1	237.5	237.9	238.3	238.7	239.1	239.5	239.9	240.3	240.7	241.1	241.5	241.9	242.3	242.7	243.1	243.5	243.9	244.3	244.7	245.1	245.5	245.9	246.3	246.7	247.1	247.5	247.9	248.3	248.7	249.1	249.5	249.9	250.3	250.7	251.1	251.5	251.9	252.3	252.7	253.1	253.5	253.9	254.3	254.7	255.1	255.5	255.9	256.3	256.7	257.1	257.5	257.9	258.3	258.7	259.1	259.5	259.9	260.3	260.7	261.1	261.5	261.9	262.3	262.7	263.1	263.5	263.9	264.3	264.7	265.1	265.5	265.9	266.3	266.7	267.1	267.5	267.9	268.3	268.7	269.1	269.5	269.9	270.3	270.7	271.1	271.5	271.9	272.3	272.7	273.1	273.5	273.9	274.3	274.7	275.1	275.5	275.9	276.3	276.7	277.1	277.5	277.9	278.3	278.7	279.1	279.5	279.9	280.3	280.7	281.1	281.5	281.9	282.3	282.7	283.1	283.5	283.9	284.3	284.7	285.1	285.5	285.9	286.3	286.7	287.1	287.5	287.9	288.3	288.7	289.1	289.5	289.9	290.3	290.7	291.1	291.5	291.9	292.3	292.7	293.1	293.5	293.9	294.3	294.7	295.1	295.5	295.9	296.3	296.7	297.1	297.5	297.9	298.3	298.7	299.1	299.5	299.9	300.3	300.7	301.1	301.5	301.9	302.3	302.7	303.1	303.5	303.9	304.3	304.7	305.1	305.5	305.9	306.3	306.7	307.1	307.5	307.9	308.3	308.7	309.1	309.5	309.9	310.3	310.7	311.1	311.5	311.9	312.3	312.7	313.1	313.5	313.9	314.3	314.7	315.1	315.5	315.9	316.3	316.7	317.1	317.5	317.9	318.3	318.7	319.1	319.5	319.9	320.3	320.7	321.1	321.5	321.9	322.3	322.7	323.1	323.5	323.9	324.3	324.7	325.1	325.5	325.9	326.3	326.7	327.1	327.5	327.9	328.3	328.7	329.1	329.5	329.9	330.3	330.7	331.1	331.5	331.9	332.3	332.7	333.1	333.5	333.9	334.3	334.7	335.1	335.5	335.9	336.3	336.7	337.1	337.5	337.9	338.3	338.7	339.1	339.5	339.9	340.3	340.7	341.1	341.5	341.9	342.3	342.7	343.1	343.5	343.9	344.3	344.7	345.1	345.5	345.9	346.3	346.7	347.1	347.5	347.9	348.3	348.7	349.1	349.5	349.9	350.3	350.7	351.1	351.5	351.9	352.3	352.7	353.1	353.5	353.9	354.3	354.7	355.1	355.5	355.9	356.3	356.7	357.1	357.5	357.9	358.3	358.7	359.1	359.5	359.9	360.3	360.7	361.1	361.5	361.9	362.3	362.7	363.1	363.5	363.9	364.3	364.7	365.1	365.5	365.9	366.3	366.7	367.1	367.5	367.9	368.3	368.7	369.1	369.5	369.9	370.3	370.7	371.1	371.5	371.9	372.3	372.7	373.1	373.5	373.9	374.3	374.7	375.1	375.5	375.9	376.3	376.7	377.1	377.5	377.9	378.3	378.7	379.1	379.5	379.9	380.3	380.7	381.1	381.5	381.9	382.3	382.7	383.1	383.5	383.9	384.3	384.7	385.1	385.5	385.9	386.3	386.7	387.1	387.5	387.9	388.3	388.7	389.1	389.5	389.9	390.3	390.7	391.1	391.5	391.9	392.3	392.7	393.1	393.5	393.9	394.3	394.7	395.1	395.5	395.9	396.3	396.7	397.1	397.5	397.9	398.3	398.7	399.1	399.5	399.9	400.3	400.7	401.1	401.5	401.9	402.3	402.7	403.1	403.5	403.9	404.3	404.7	405.

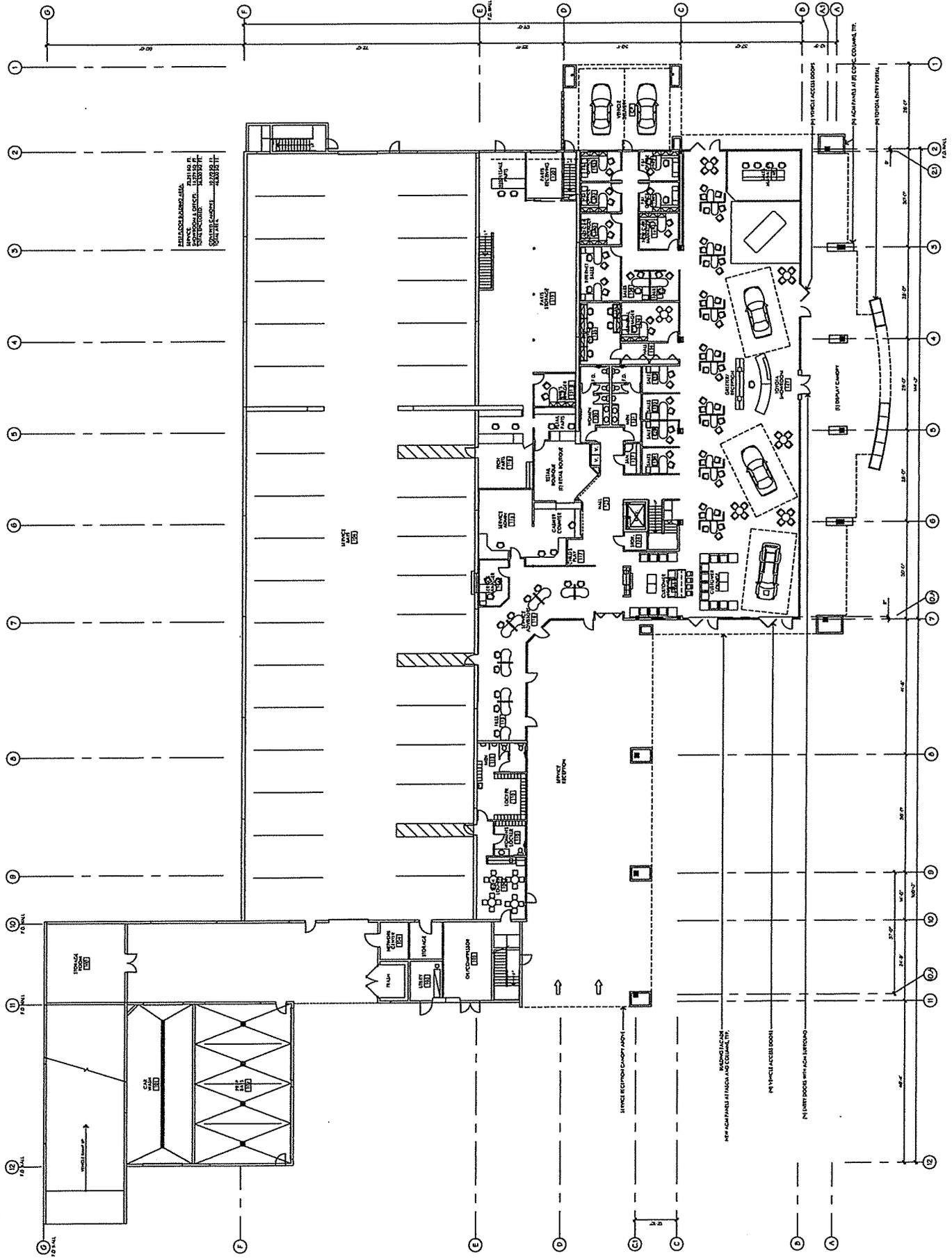


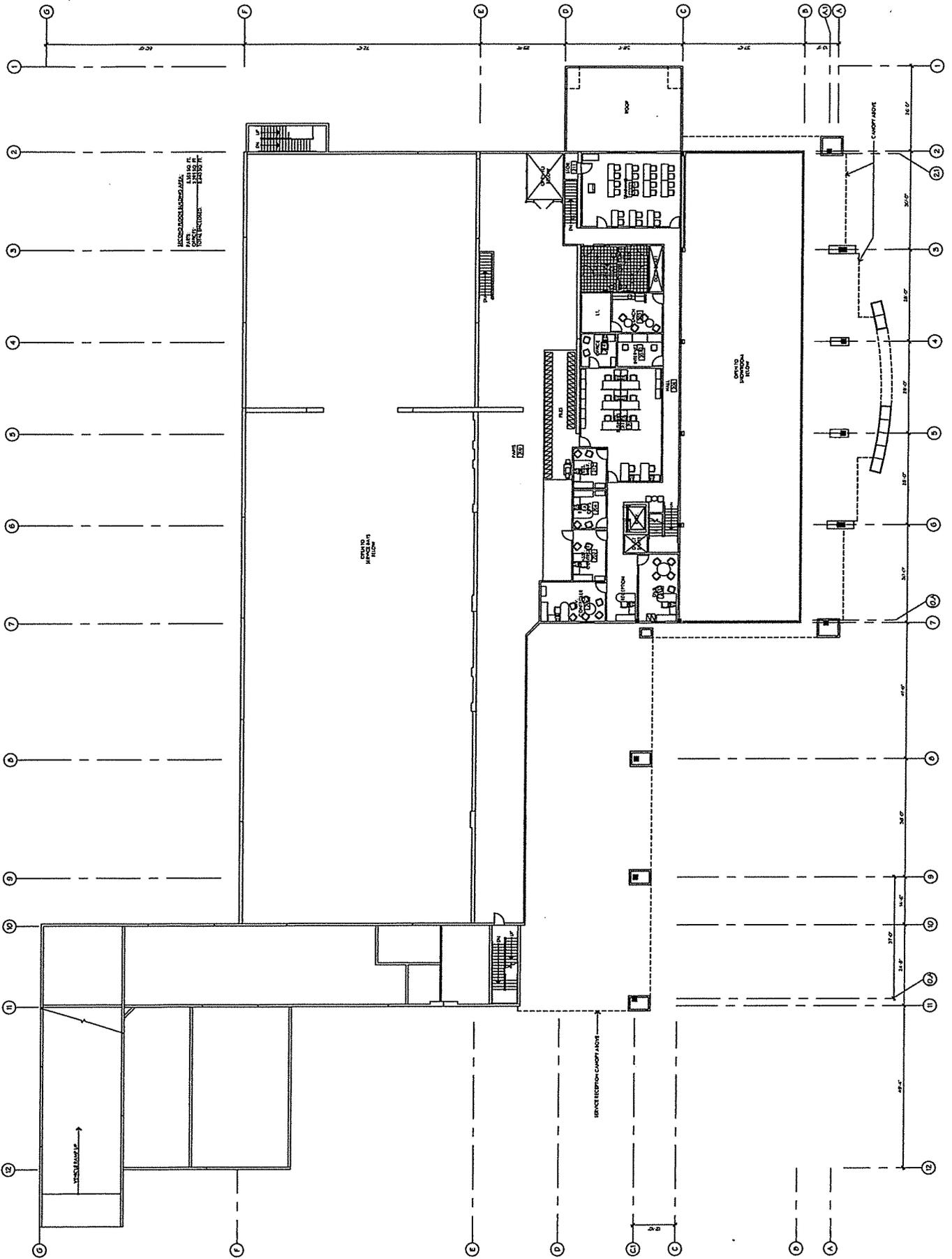
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 DATE: 06/08/2016
 DRAWING TITLE: SITE PLAN WITH ROOF PLAN
 DRAWN BY: [REDACTED]
 CHECKED BY: [REDACTED]



CONCORD TOYOTA
199 CONCORD AVENUE, CONCORD, CALIFORNIA

murakami Nelson
ARCHITECTS



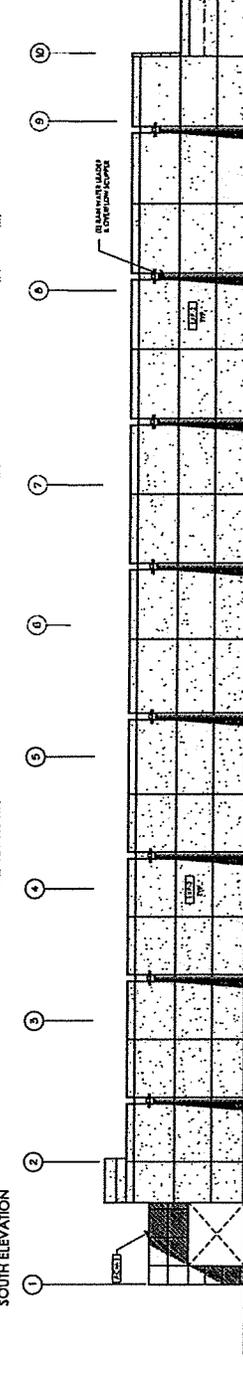
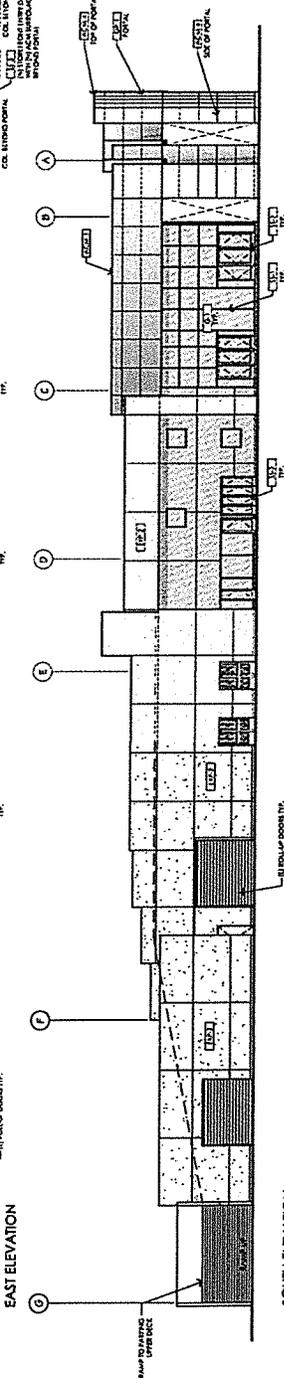
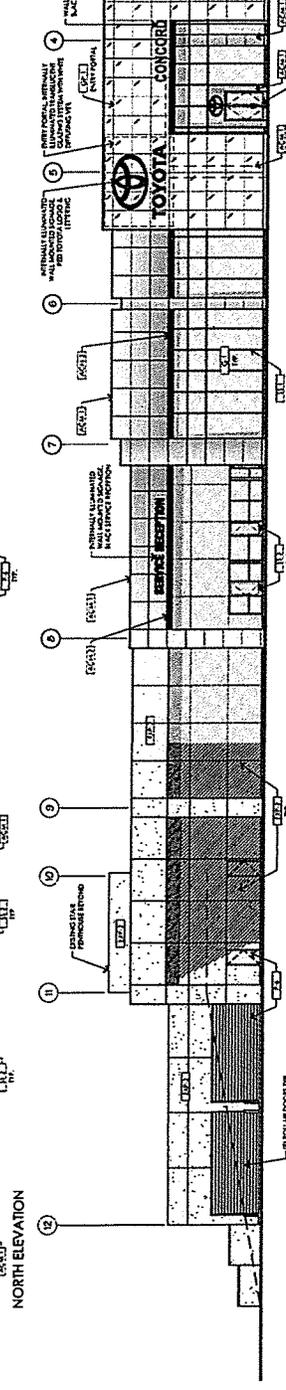
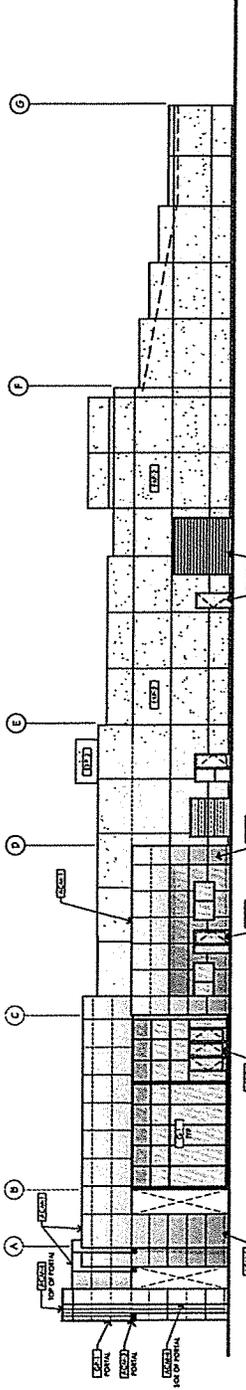


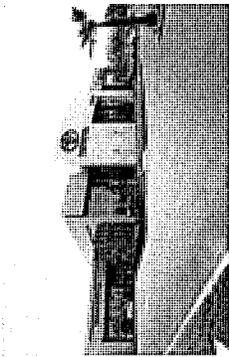
EXTERIOR MATERIAL SCHEDULE

- 0101 ALUMINUM COMPOSITE PANEL
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- 0102 ALUMINUM COMPOSITE PANEL
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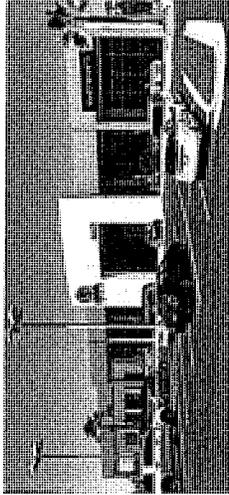
BUILDING ELEVATION NOTES

1. UNLESS NOTED OTHERWISE, ALL MATERIALS SHALL BE TO THE FINISH.
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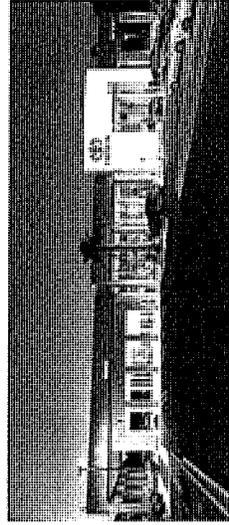




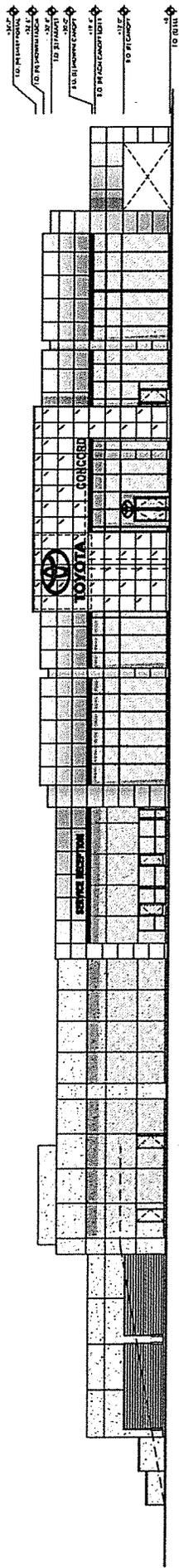
DAY TIME VIEW OF ENTRY PORTAL & SERVICE RECEPTION
MADE FOR REFERENCE ONLY



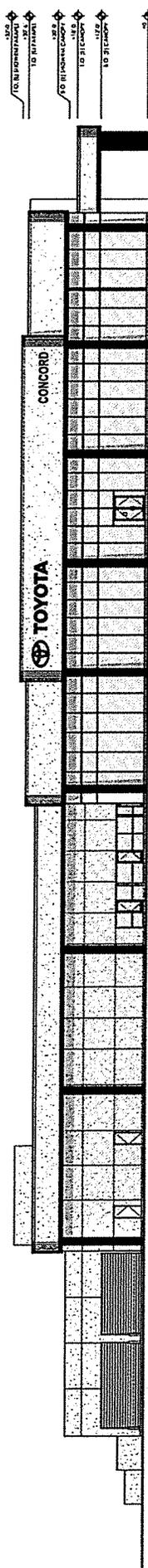
DAY TIME VIEW OF ENTRY PORTAL
MADE FOR REFERENCE ONLY



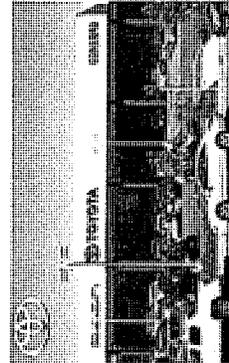
EVENING VIEW OF ENTRY PORTAL & SERVICE RECEPTION
MADE FOR REFERENCE ONLY



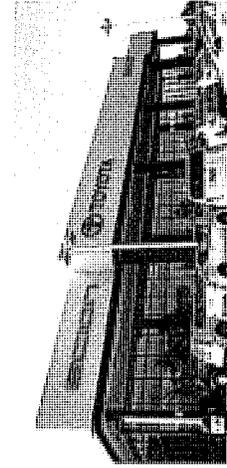
PROPOSED EAST ELEVATION



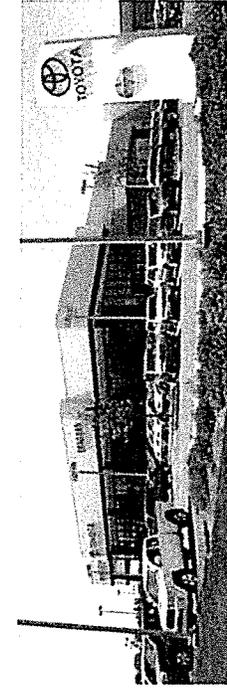
EXISTING EAST ELEVATION



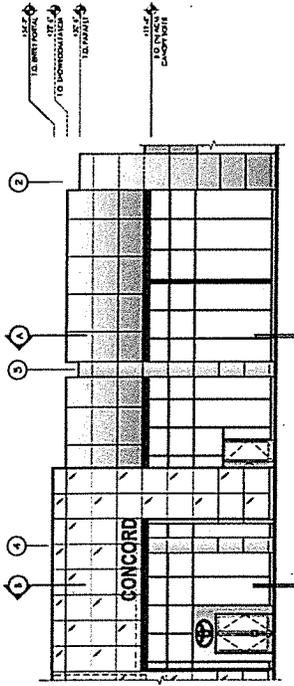
ENTRY VIEW FROM MERIDIAN PARK BLVD. LOOKING SOUTH WEST
MADE FOR REFERENCE ONLY



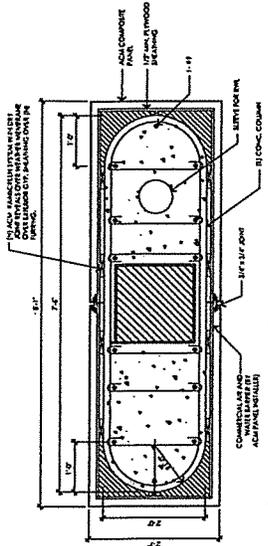
VIEW FROM MERIDIAN PARK BLVD. LOOKING NORTH WEST
MADE FOR REFERENCE ONLY



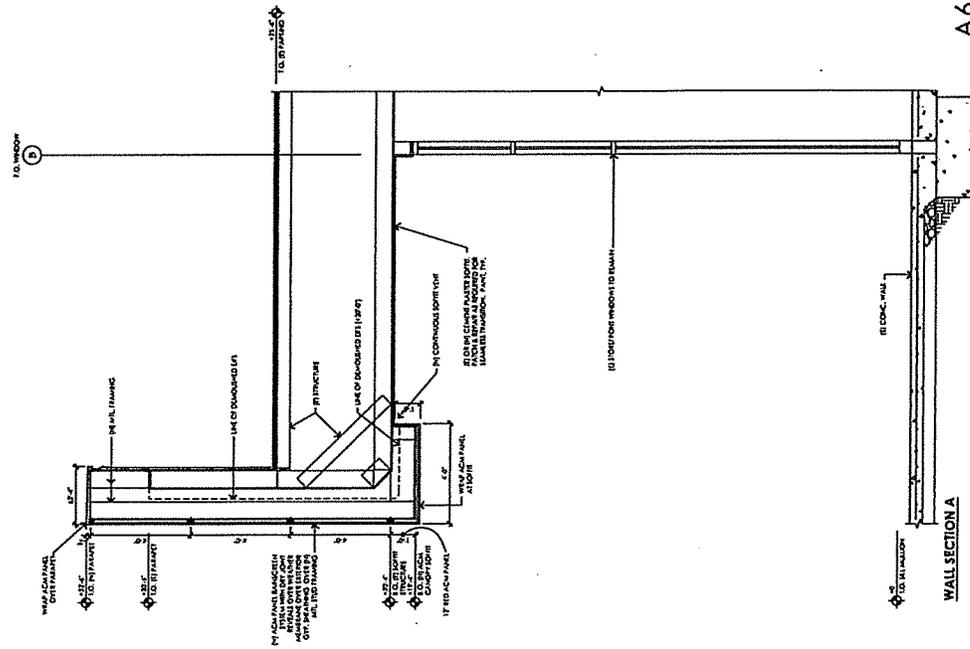
VIEW FROM CONCORD AVENUE WITH EXISTING MONUMENT SIGN TO REMAIN
MADE FOR REFERENCE ONLY



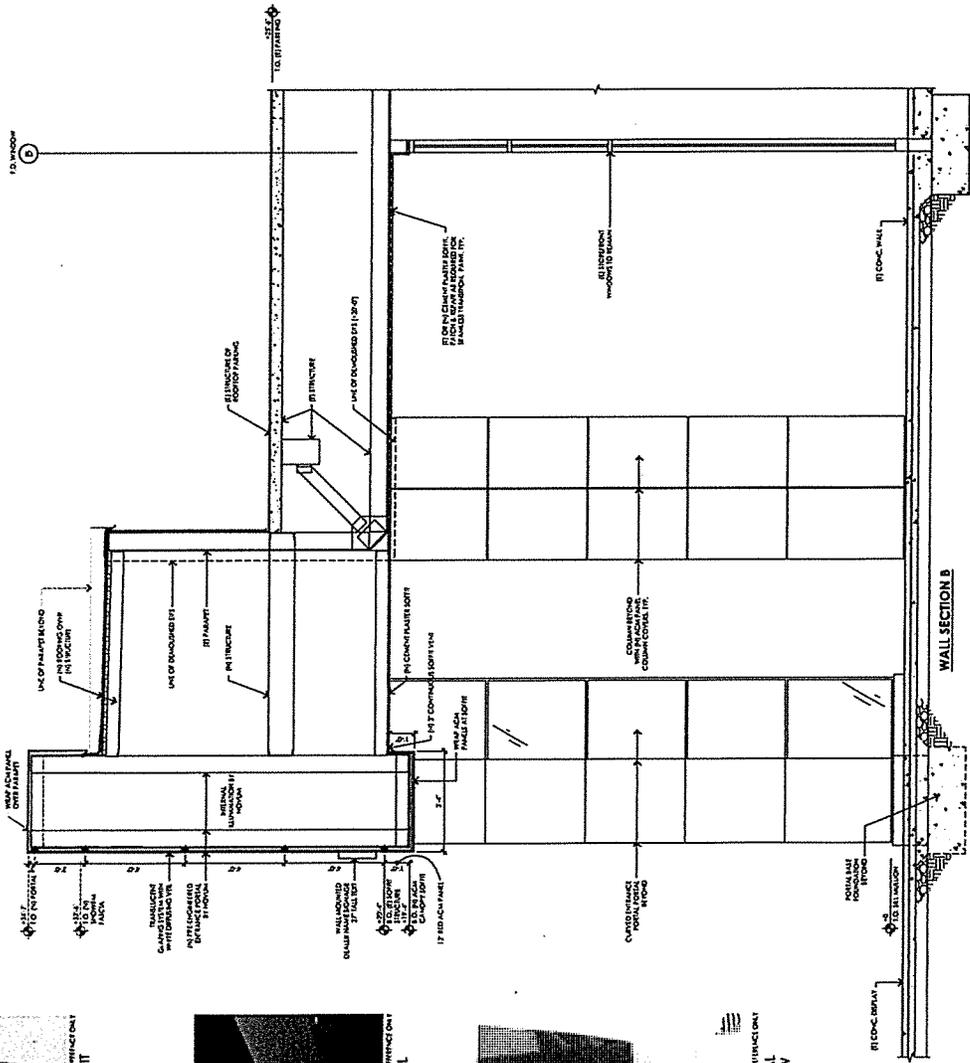
ACM PANELS AT ENTRANCE CANOPY



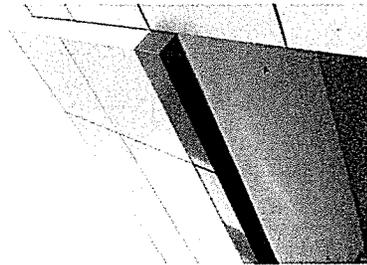
(E) CONCRETE OVAL COLUMN WITH
(N) ACM PANELS COLUMN COVERS



WALL SECTION A



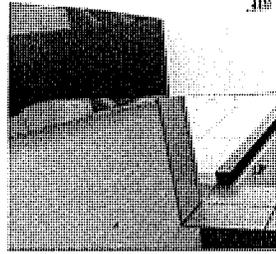
WALL SECTION B



RED ACM AT PARAPET SOFFIT
& COLUMN



RED ACM AT ENTRY PORTAL
FRONT VIEW



RED ACM AT ENTRY PORTAL
UNDERSIDE OF SOFFIT VIEW



REPORT TO DESIGN REVIEW BOARD

DATE: June 23, 2016

I. GENERAL INFORMATION

Project Name: Ridge Park Subdivision (PL16155 - DR)

Review Status: Design Review

Location: 9999 Ridge Park Court

Parcel Numbers: 130-090-031, -032, -033, and -034

General Plan: Low Density Residential

Zoning: RS-10 (Residential Single-Family, 10,000 sq. ft. min. lot size)

Applicant: D. R. Horton
Attn: Jed Bennett
5050 Hopyard Rd., Suite 180
Pleasant Hill, CA 94588
(925) 225-7426

Vicinity Map:



II. PROJECT BACKGROUND

On April 13, 2016, D. R. Horton submitted their application for design review for four homes on a vacant site on Ridge Park Court. The project was reviewed by the Development Advisory Committee on May 3, 2016, and the application was deemed incomplete. The project underwent Preliminary Design Review on May 26, 2016 and the Board provided feedback on the project such the need to provide some improvements to side and rear elevations and provide additional details on the landscaping plan.

On June 3, 2016, the applicant re-submitted plans, followed by colored elevations on June 14, 2016. The application is currently undergoing review for completeness. Once the application is deemed complete, and upon Design Review approval, staff would prepare an approval letter with the City's standard conditions of approval.

This application is for Final Design Review. The Board's comments will be incorporated into conditions of approval for the project. No other entitlement is required for the project, as the minor subdivision map was recorded in 2005.

III. DISCUSSION

The Board's May 26th comments are summarized below in italics followed by an explanation of the applicant's response, and staff's recommendations. The applicant's revised plans include minor changes to the front elevations, such as addition of shutters, minor modifications to side and rear elevations, and a revised landscape plan to respond to the Board's comments.

1) Board requested submittal of revised elevations showing improved side and rear elevations.

Revised elevations are provided for Plan 1AR (Parcel D) with the addition of shutters at one set of upper windows on the rear elevation and for Plan 1DR (Parcel B) with the addition of shutters at one set of upper rear windows.

- Applicant has responded appropriately to the Board's comments.

2) Submit revised elevations to provide additional shutters as appropriate, with appropriate sizing and adding exterior lighting where appropriate

Revised elevations are provided for Plan 1XB (Parcel A) with the addition of shutters at one set of upper windows on the front elevation, while reducing the size of that window combination from two side by side single hung windows to just one window (at Bathroom 2). The applicant also provided light specifications for the side and rear elevations that are consistent with the lighting shown previously for the front elevation (within Exhibit A).

- Applicant has responded appropriately to the Board's comments.

3) Board requested re-examination of gable over Plan 1D entry.

Revised elevations are provided for Plan 1DR (Parcel B) and the wood siding under the eaves of the gable on the front elevation above the entry door has been eliminated for Plan 1DR (Parcel B).

- Applicant has responded appropriately to the Board's comments.

4) Board requested re-submittal of revised landscape plan to reflect: a) 7-foot tall fence with top lattice panel; b) note trees required to be saved and tree protection fencing on plans, consistent with conditions of approval, and c) 24-inch box trees.

Revised landscape plans are provided including a property line fence detail indicating a 7-foot tall wood fence including a 1-foot tall lattice panel. Trees for protection have been included on the plans and tree preservation guidelines have been included on Sheet L-2. In addition, all trees shown are specified as 24-inch box.

- Applicant has responded appropriately.

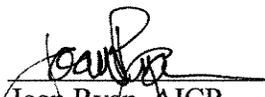
IV. RECOMMENDATION AND MOTION

Staff finds the revised plans respond to the Board's comments and recommends design review approval.

Staff has prepared the following motion for the Board's consideration for the project.

I (Board Member _____) hereby move that the Design Review Board recommend approval of Ridge Park Subdivision Design Review (PL16155 - DR), subject to all applicable standard conditions of approval and any additional recommendations of the Board.

Prepared by:



Joan Ryan, AICP
Senior Planner
(925) 671-3370
joan.ryan@cityofconcord.org

Exhibits:

- A - Project plans, including colored elevations, date-stamped June 14, 2016

Ridge Park



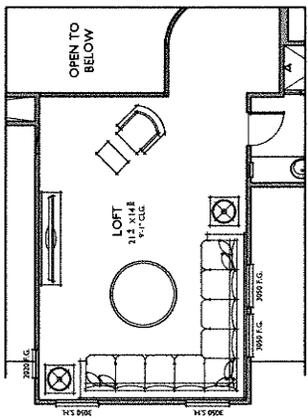
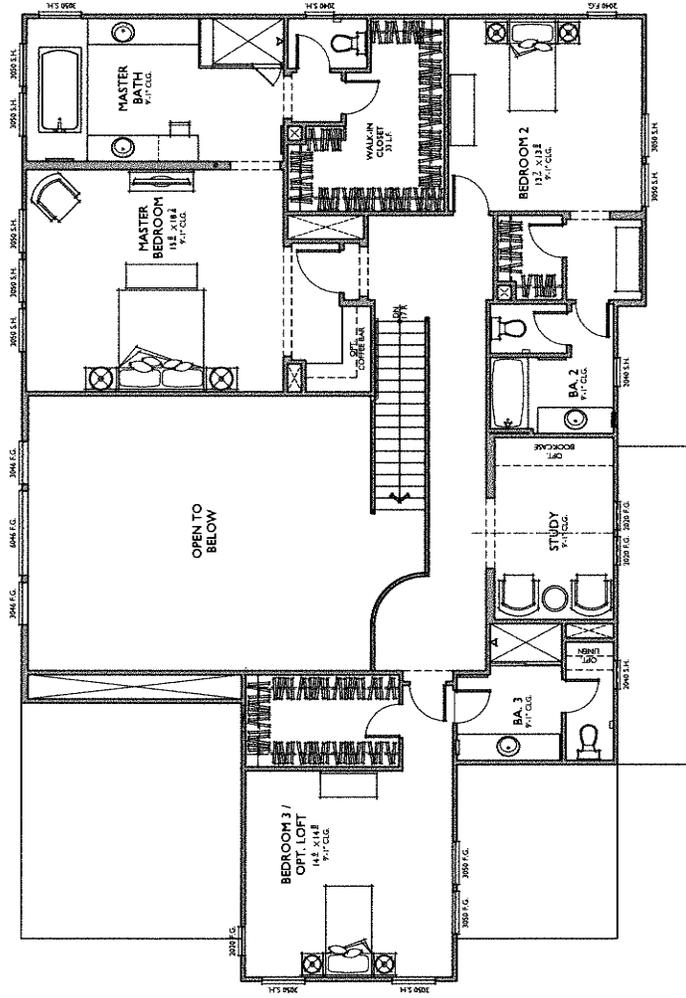
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Thomas Baak & Associates, LLP
Landscape Architects
1620 North Main Street, Suite 4
Walnut Creek, CA 94596
Ph: 925.933.2583

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NYSE
America's Builder



OPTIONAL LOFT
IN LIEU OF BEDROOM 3

PLAN IXB (PARCEL 'A')
Reflects Italian Elevation
RIDGE PARK

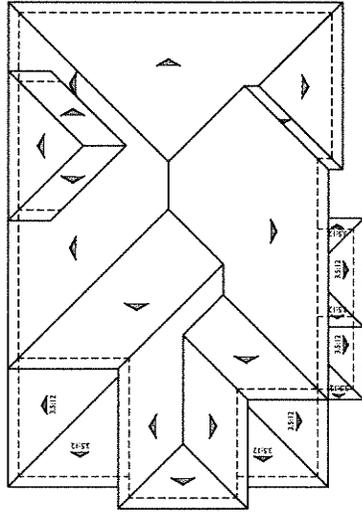
Concord, California



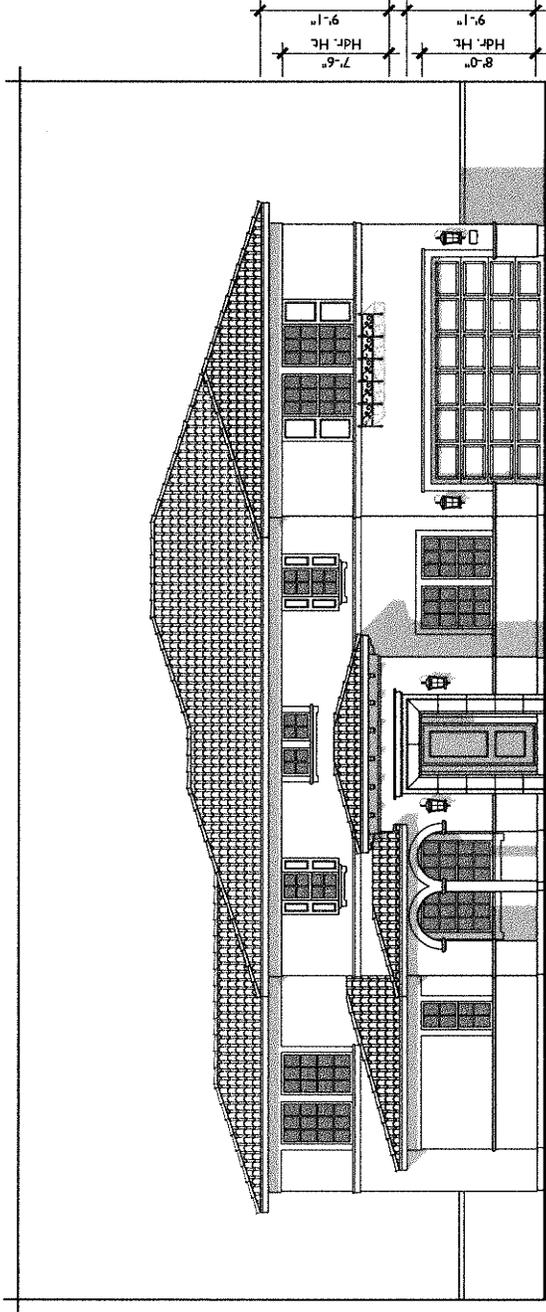
257.16069

06.02.16





ROOF PLAN
 1/8" = 1'-0" UNCL.
 BASE: 1/8"
 SCALE: 1/8"



FRONT

B - ITALIAN
1/8" = 1'-0"

MATERIALS LEGEND

- FULL 1" CONCRETE ROOF TILE - EAGLE ROOFING / SCC 8830
- STUCCO SOFFIT AT EAVES - SHERWIN WILLIAMS PAINT / SW7683 BUFF
- 2x6 FASCIA - SHERWIN WILLIAMS PAINT / SW6089 GROUNDED
- SAND FINISH STUCCO - SHERWIN WILLIAMS PAINT / SW6128 BLONDE
- STUCCO CORBELS AT TOWER AND ENTRY EAVES - SHERWIN WILLIAMS PAINT / SW6089 GROUNDED
- STUCCO TRIM - SHERWIN WILLIAMS PAINT / SW7683 BUFF
- SMOOTH FINISH STUCCO ENTRY SURROUND - SHERWIN WILLIAMS PAINT / SW7683 BUFF
- DECORATIVE SHUTTERS - SHERWIN WILLIAMS PAINT / SW6187 ROSEMARY
- WROUGHT IRON POTSHelf - SHERWIN WILLIAMS PAINT / SW6990 CAVIAR
- METAL ROLL-UP GARAGE DOOR - SHERWIN WILLIAMS PAINT / SW6089 GROUNDED

PLAN IXB (PARCEL 'A')
 Italian Elevation
RIDGE PARK

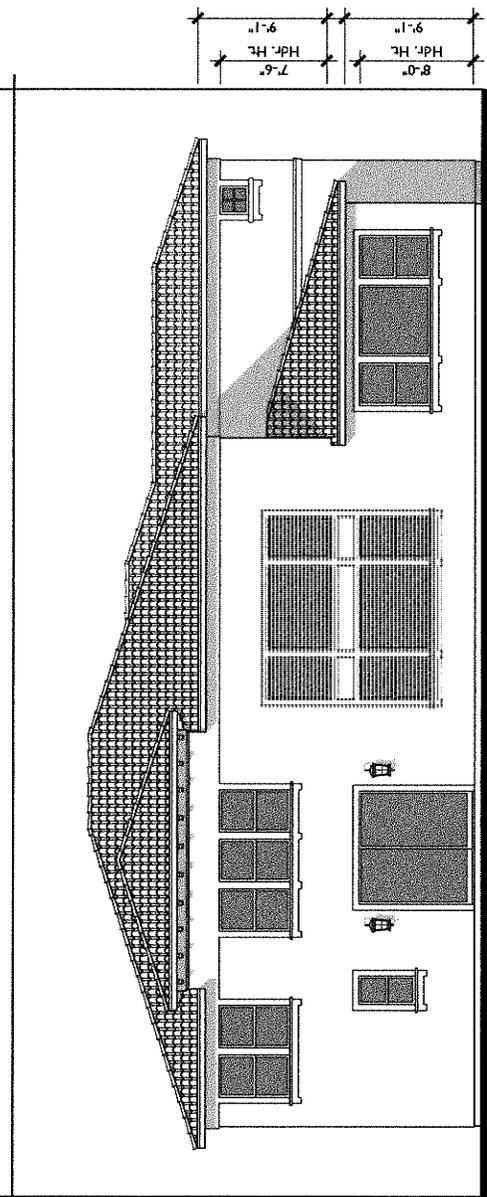
Concord, California

257.16069

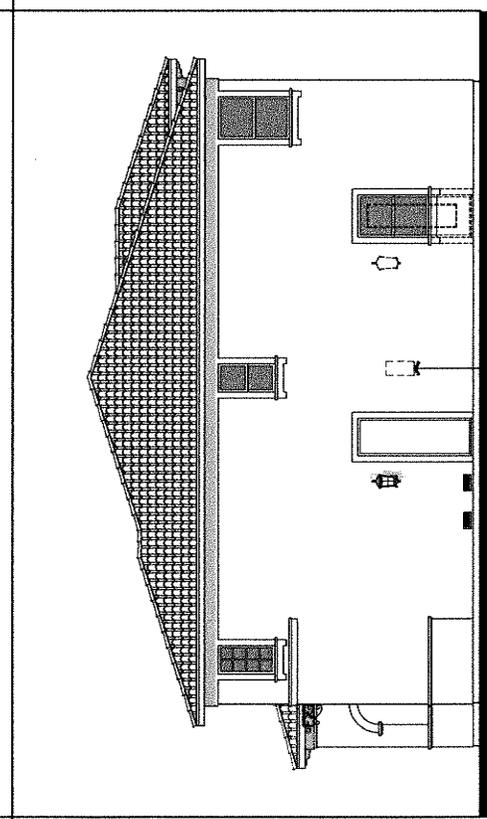
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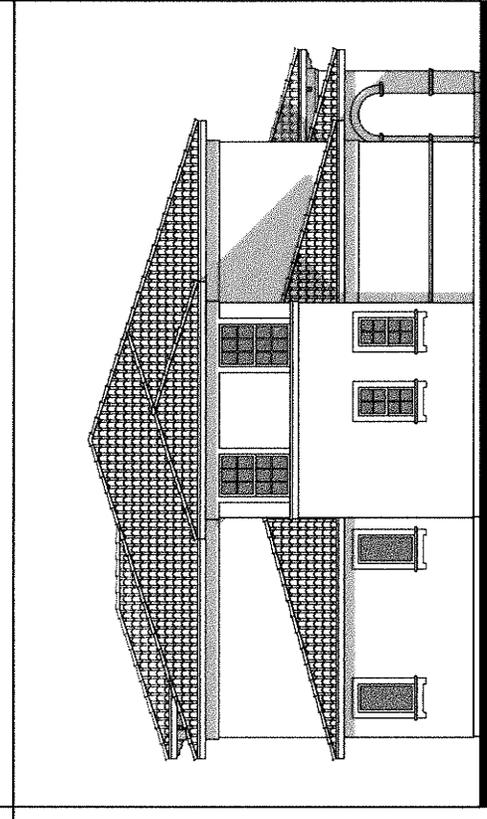
D-R-HOBSON
America's Builder



REAR



RIGHT



LEFT

PLAN IXB (PARCEL 'A')
 Italian Elevation
 RIDGE PARK

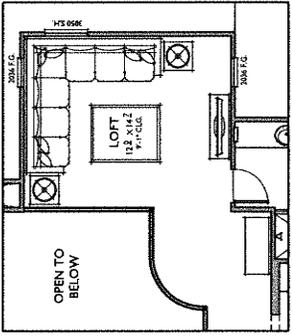
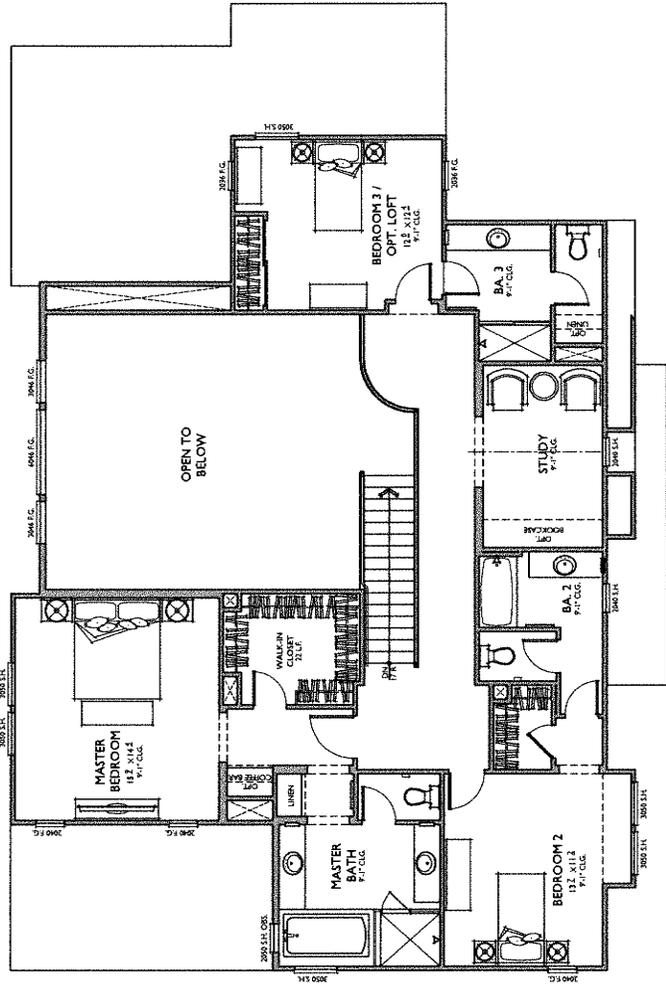
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257.16069

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OPTIONAL LOFT
IN LIEU OF BEDROOM 3

PLAN 1DR (PARCEL 'B')
Reflects French Country Elevation
RIDGE PARK

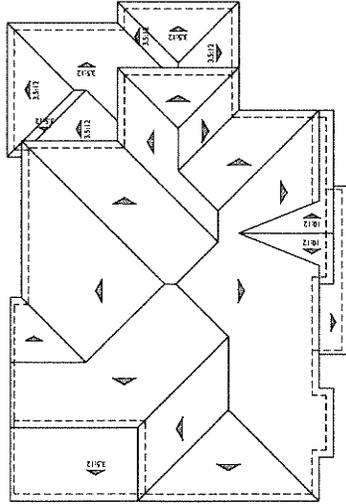
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257.16069

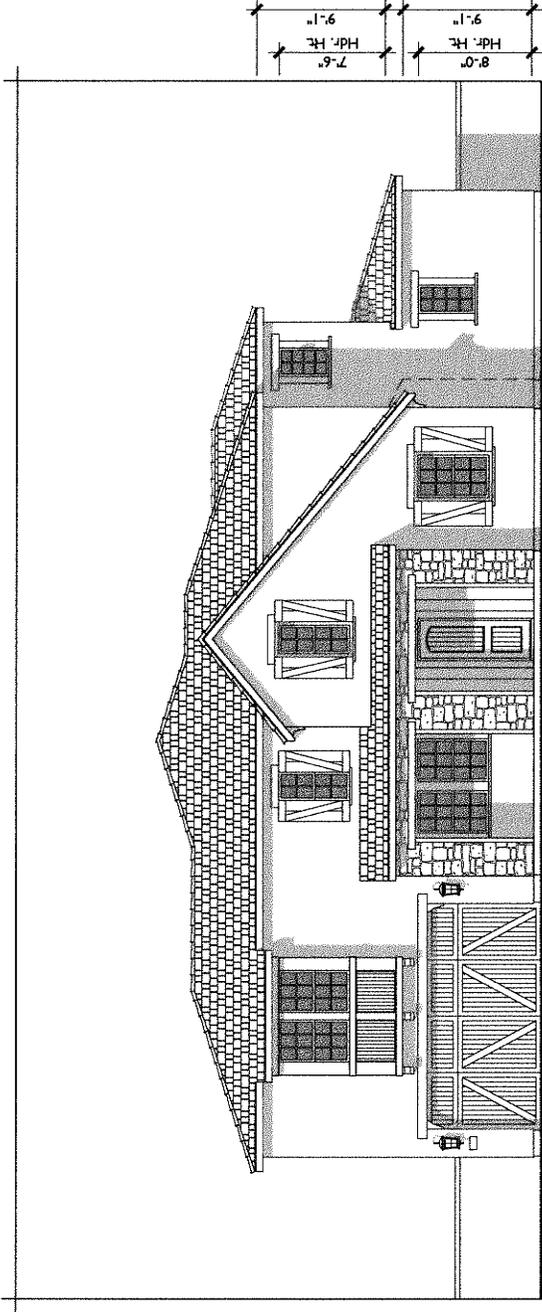
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ROOF PLAN
 PITCH-4:12 UNO.
 RAKE 6"
 GAVE 12"



FRONT
 D - FRENCH COUNTRY

MATERIALS LEGEND

- FLAT SLATE ROOF - EAGLE ROOFING / 4671
- SAND FINISH STUCCO - SHERWIN WILLIAMS PAINT / SW6143 BASKET BEIGE
- 2x6 FASCIA AND RAKE - SHERWIN WILLIAMS PAINT / SW7571 CASA BLANCA
- WOOD OR CEMENTITIOUS TRIM AT WINDOWS - SHERWIN WILLIAMS PAINT / SW7571 CASA BLANCA
- WOOD OR CEMENTITIOUS TRIM AT GABLE END - SHERWIN WILLIAMS PAINT / SW7571 CASA BLANCA
- WOOD OUTLOOKERS - SHERWIN WILLIAMS PAINT / SW7571 CASA BLANCA
- DECORATIVE SHUTTERS - SHERWIN WILLIAMS PAINT / SW6068 BREVITY BROWN
- STONE VENEER - EL DORADO STONE VENEER / WHEATHIELD ROUGH CUT
- METAL ROLL-UP GARAGE DOOR - SHERWIN WILLIAMS PAINT / SW7571 CASA BLANCA

PLAN 1 DR (PARCEL 'B')

French Country Elevation
RIDGE PARK

Concord, California

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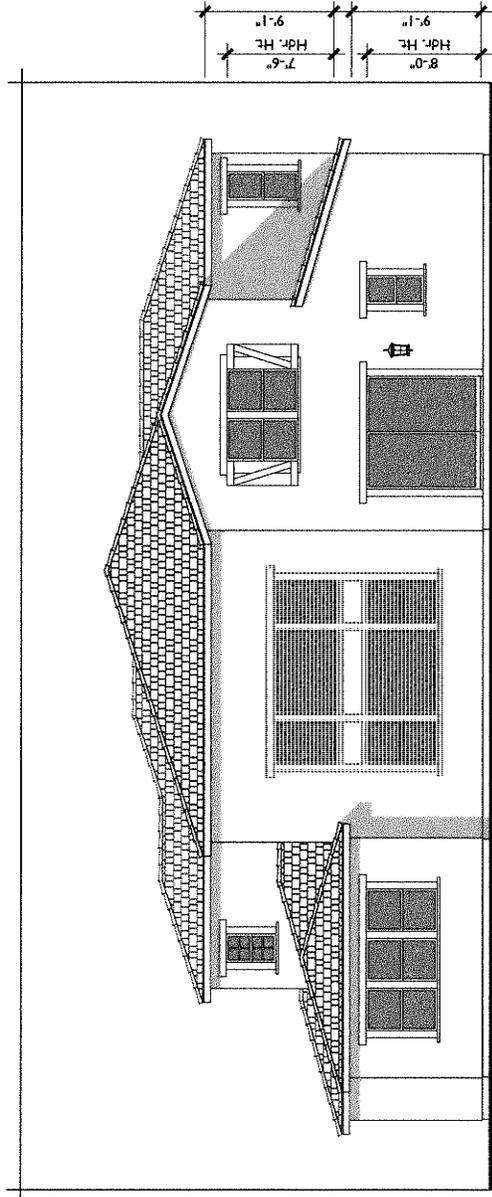
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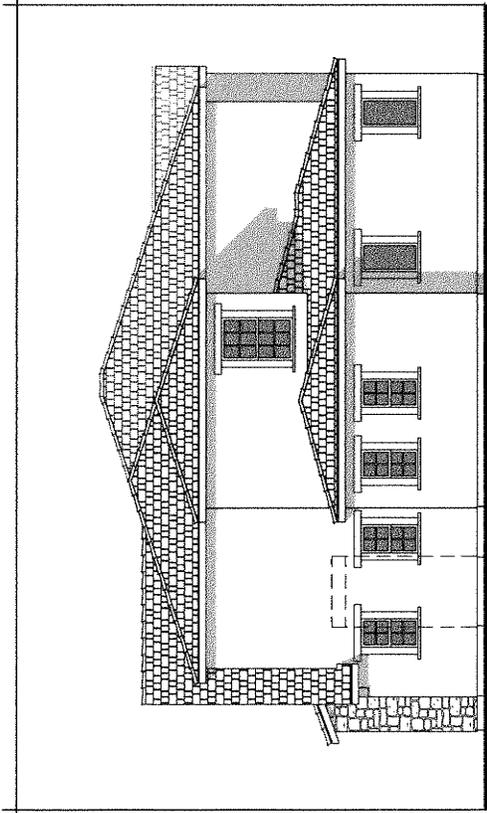
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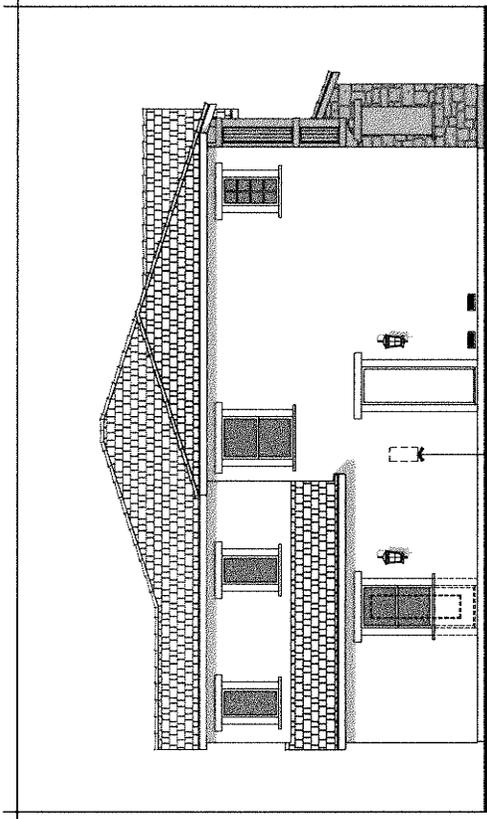
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America's Builder



REAR



RIGHT



LEFT

PLAN IDR (PARCEL 'B')
 French Country Elevation
 RIDGE PARK

Concord, California

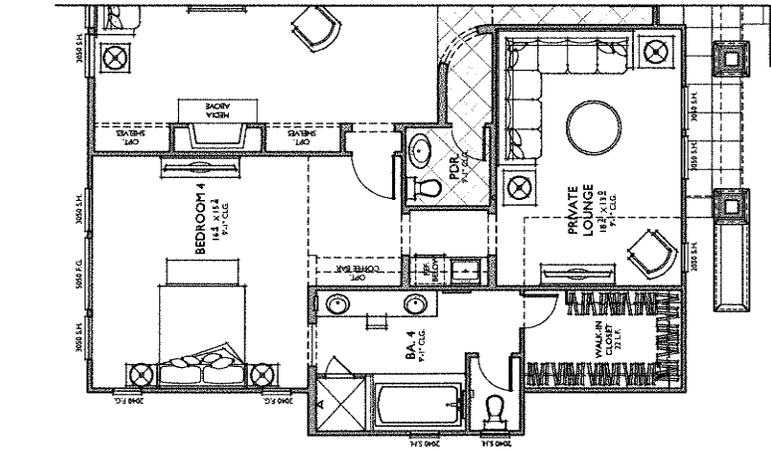
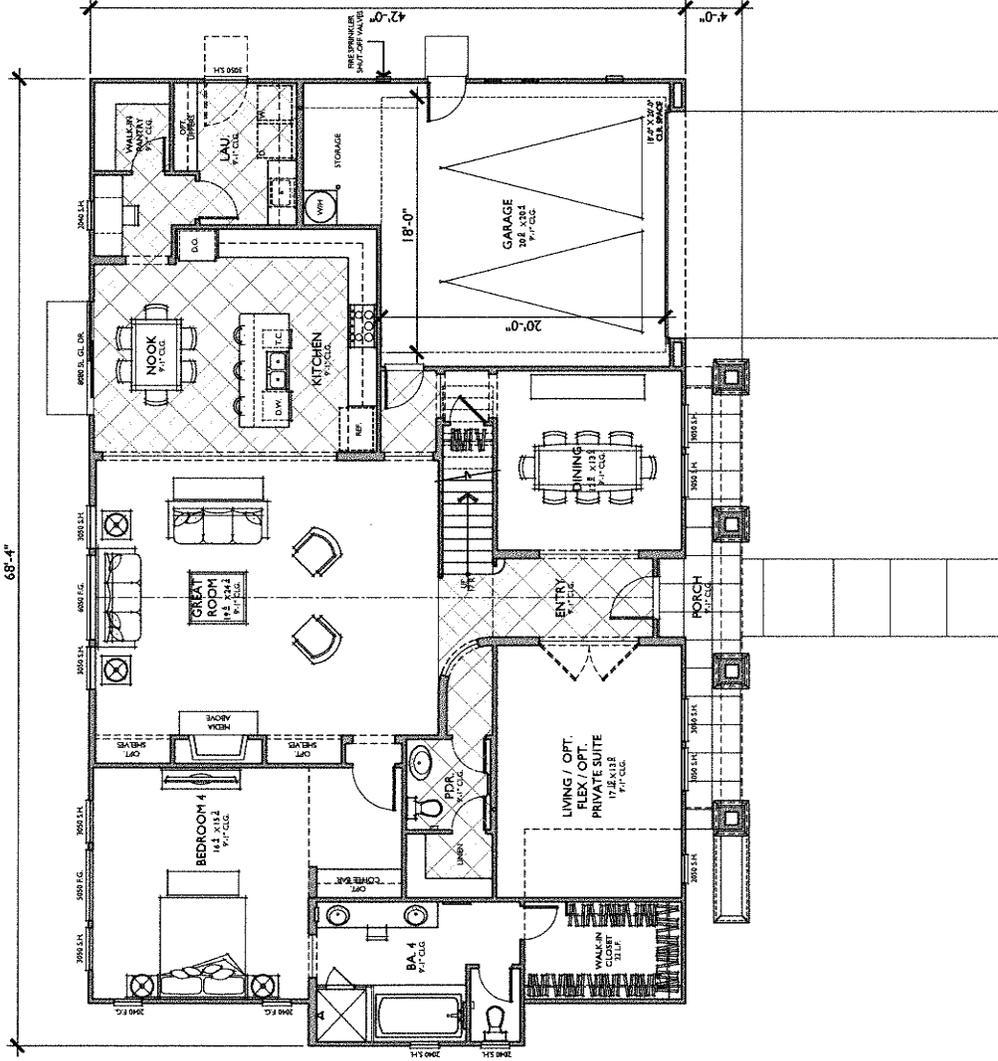
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OPTIONAL PRIVATE SUITE
IN LIEU OF LIVING ROOM

PLAN IXC
 4,094 SQ. FT.
 4 BEDROOMS / 4.5 BATHS
 2 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	2,286 SQ. FT.
2ND FLOOR	1,808 SQ. FT.
TOTAL	4,094 SQ. FT.
2 - CAR GARAGE	475 SQ. FT.
PORCH	142 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

LOT COVERAGE

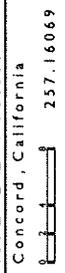
BUILDING FOOTPRINT	2,903 SQ. FT.
PARCEL 'C' AREA	10,027 SQ. FT.
(2,903/10,027) x 100	
LOT COVERAGE	29%

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

PLAN IXC (PARCEL 'C')
 Reflects Craftsman Elevation

RIDGE PARK
 Concord, California

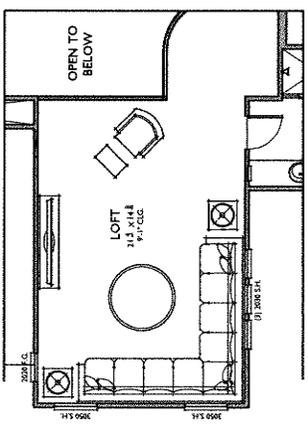
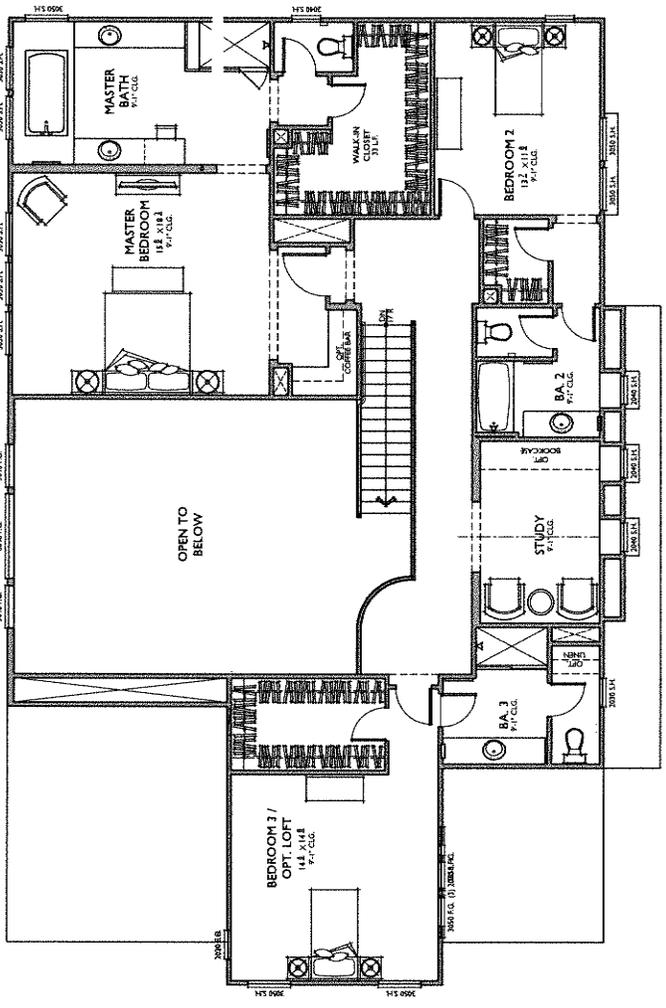
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OPTIONAL LOFT
IN LIEU OF BEDROOM 3

PLAN IX C (PARCEL 'C')
Reflects Craftsman Elevation

RIDGE PARK

Concord, California

257.16069

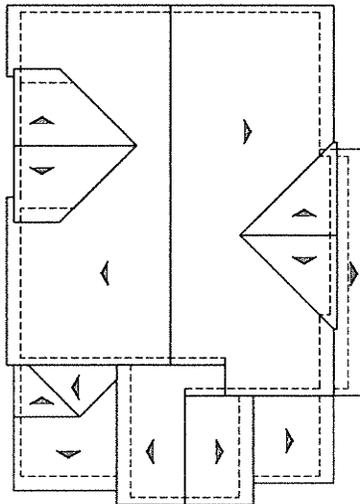
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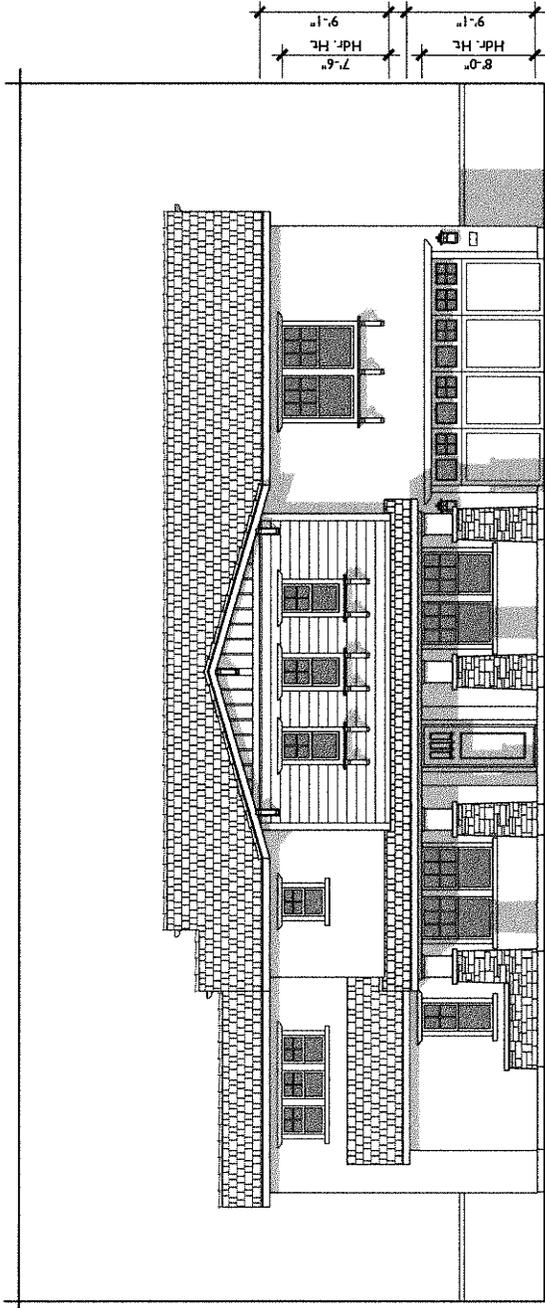


06.02.16

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ROOF PLAN
 SHEET 3.512
 PAGE 17
 DATE 3/1



C - CRAFTSMAN
 1/4"=1'-0"

FRONT

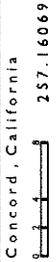
MATERIALS LEGEND

- FLAT SHAKE ROOF - EAGLE ROOFING / SCP 8804
- SAND FINISH STUCCO - SHERWIN WILLIAMS PAINT / SW7543 AVENUE TAN
- 8" LAP SIDING - SHERWIN WILLIAMS PAINT / SW7737 MEADOW TRAIL
- 2x6 FASCIA AND RAKE - SHERWIN WILLIAMS PAINT / SW6160 BEST BRONZE
- WOOD OR CEMENTITIOUS TRIM AT WINDOWS - SHERWIN WILLIAMS PAINT / SW6160 BEST BRONZE
- WOOD OR CEMENTITIOUS TRIM AT GABLE END - SHERWIN WILLIAMS PAINT / SW6160 BEST BRONZE
- WOOD OUTLOOKERS - SHERWIN WILLIAMS PAINT / SW6160 BEST BRONZE
- WOOD RAIL AND POTSHELF - SHERWIN WILLIAMS PAINT / SW6160 BEST BRONZE
- STONE VENEER - EL DORADO STONE VENEER / SADDLEBACK RUSTIC LEDGE (DRY STACK)
- METAL ROLL-UP GARAGE DOOR - SHERWIN WILLIAMS PAINT / SW6160 BEST BRONZE

PLAN IX C (PARCEL 'C')

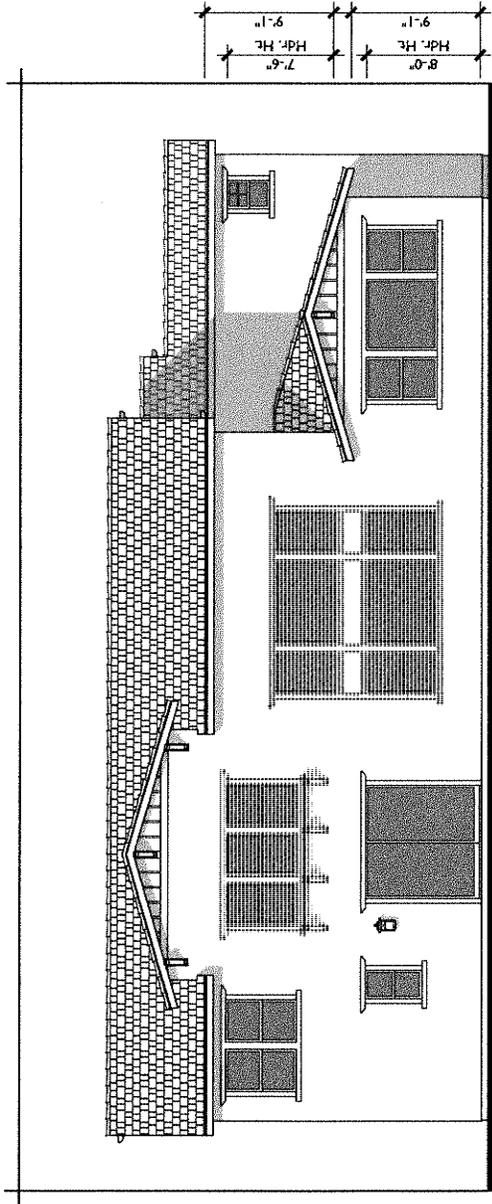
Craftsman Elevation
 RIDGE PARK
 Concord, California

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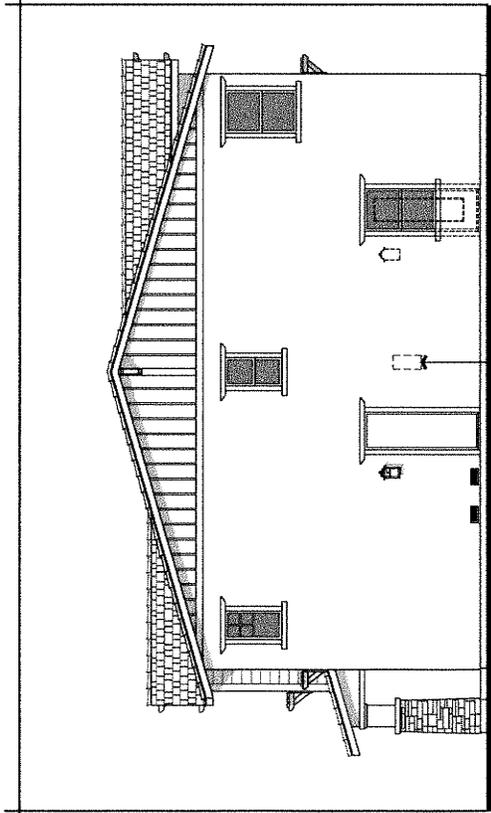


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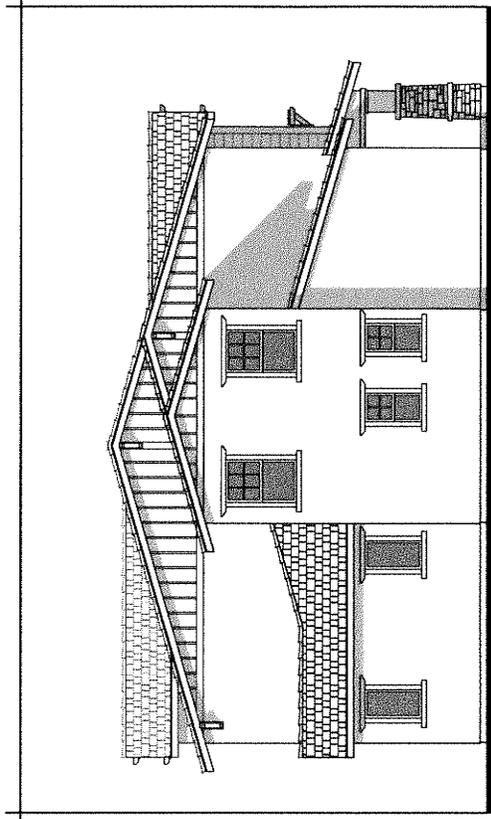
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REAR



RIGHT



LEFT

PLAN 1XC (PARCEL 'C')

Craftsman Elevation
RIDGE PARK

Concord, California

257.16069

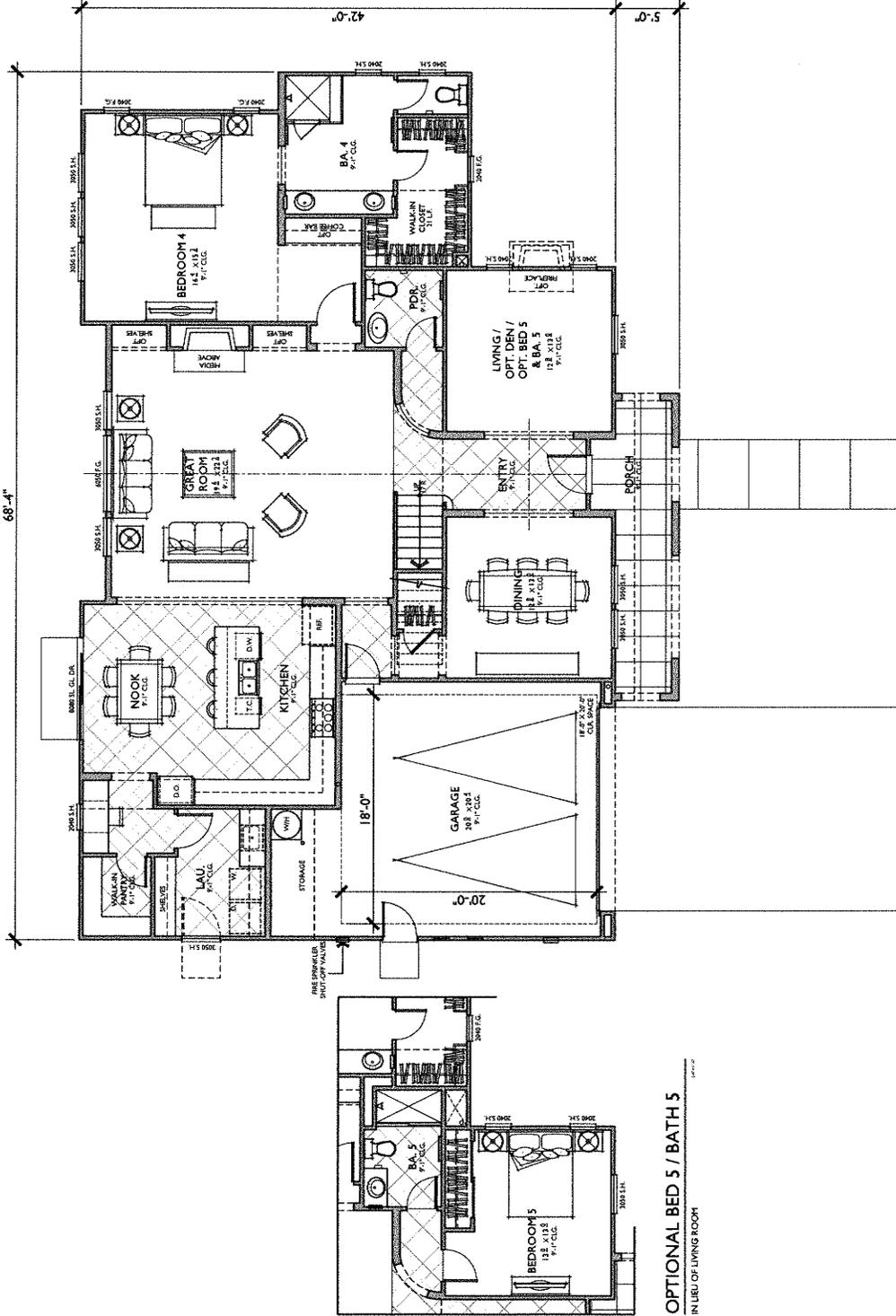
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PLAN 1AR
 3,579 SQ. FT.
 4 BEDROOMS / 4.5 BATHS
 2 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	2,103 SQ. FT.
2ND FLOOR	1,476 SQ. FT.
TOTAL	3,579 SQ. FT.
2 - CAR GARAGE	475 SQ. FT.
PORCH	132 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

LOT COVERAGE

BUILDING FOOTPRINT	2,710 SQ. FT.
PARCEL 'D' AREA	10,052 SQ. FT.
LOT COVERAGE	(2,710/10,052) x 100 = 27%

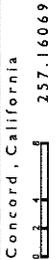
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

OPTIONAL BED 5 / BATH 5
 IN LIEU OF LIVING ROOM

PLAN 1AR (PARCEL 'D')
 Reflects Spanish Elevation
RIDGE PARK
 Concord, California

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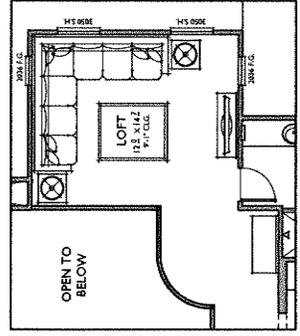
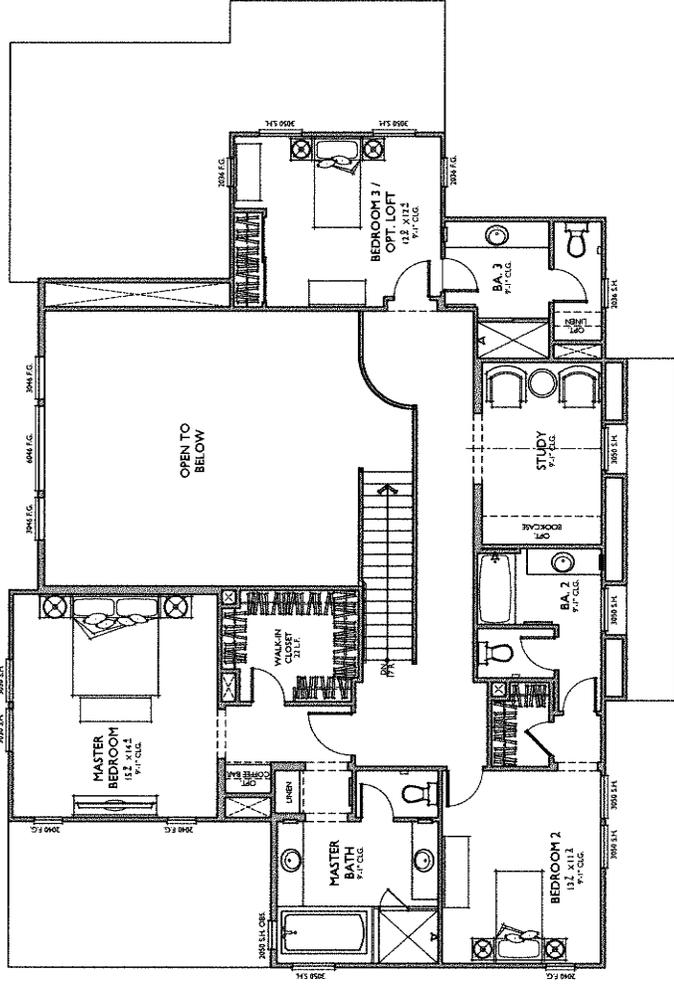
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PLAN IAR (PARCEL 'D')
 Reflects Spanish Elevation
RIDGE PARK

Concord, California

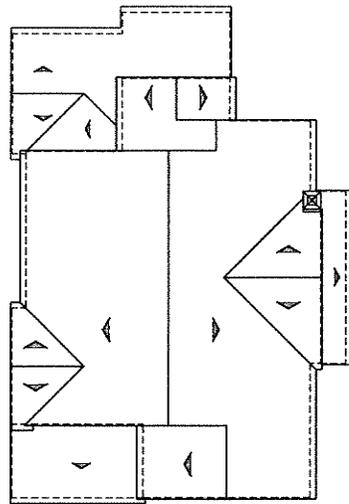


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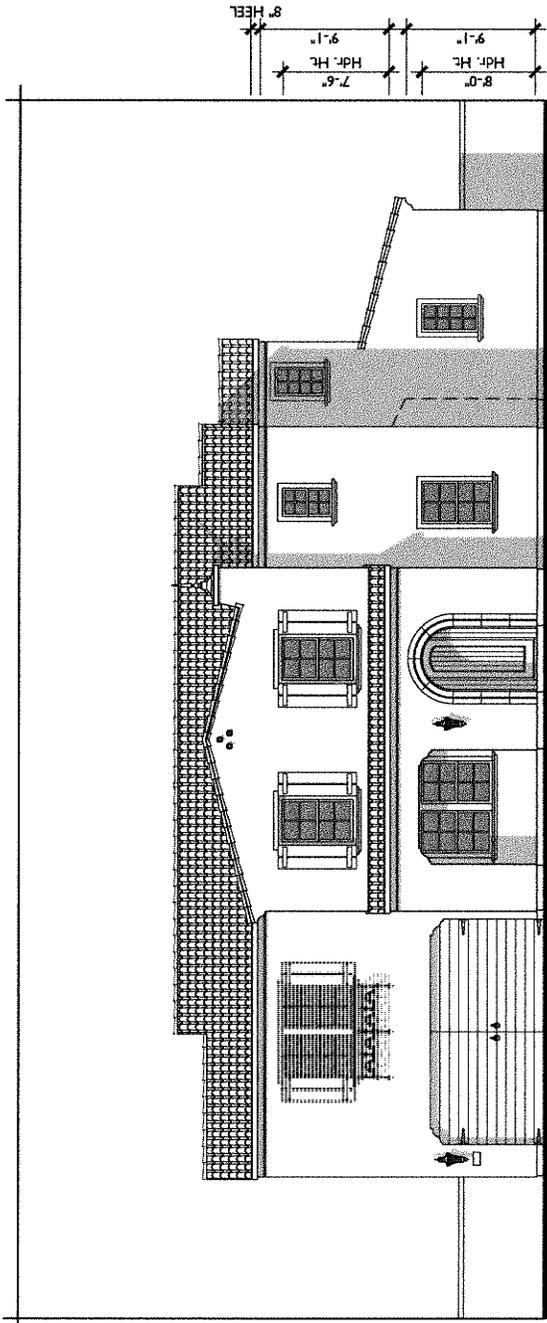
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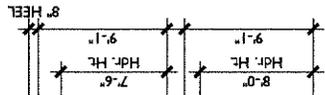
ROOF PLAN
 SHEET 312
 PAGE 2
 DATE 12/



FRONT

MATERIALS LEGEND

- FULL "5" CONCRETE ROOF TILE - EAGLE ROORING / 3814
- SHAPED FOAM STUCCO EAVE - SHERWIN WILLIAMS PAINT / SW6119 ANTIQUE WHITE
- SAND FINISH STUCCO - SHERWIN WILLIAMS PAINT / SW6119 ANTIQUE WHITE
- DECORATIVE SHUTTERS - SHERWIN WILLIAMS PAINT / SW6222 RIVERWAY
- PREFABRICATED FINIAL - SHERWIN WILLIAMS PAINT / SW7553 KHAKI SHADE
- STUCCO TRIM - SHERWIN WILLIAMS PAINT / SW7553 KHAKI SHADE
- SMOOTH FINISH STUCCO ENTRY SURROUND - SHERWIN WILLIAMS PAINT / SW7553 KHAKI SHADE
- WROUGHT IRON POTSHELF - SHERWIN WILLIAMS PAINT / SW6990 CAVIAR
- DECORATIVE CABLE END VENT PIPES - SHERWIN WILLIAMS PAINT / SW7705 WHEAT PENNY
- METAL ROLL-UP GARAGE DOOR - SHERWIN WILLIAMS PAINT / SW7520 PLANTATION BROWN

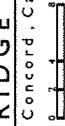


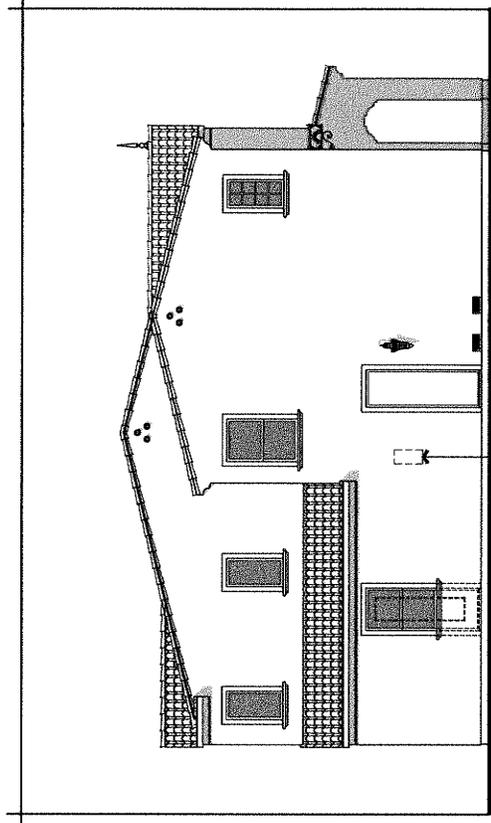
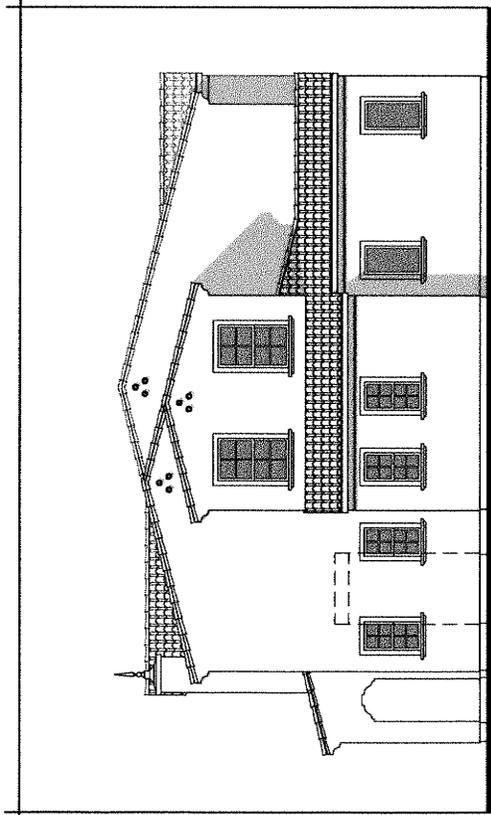
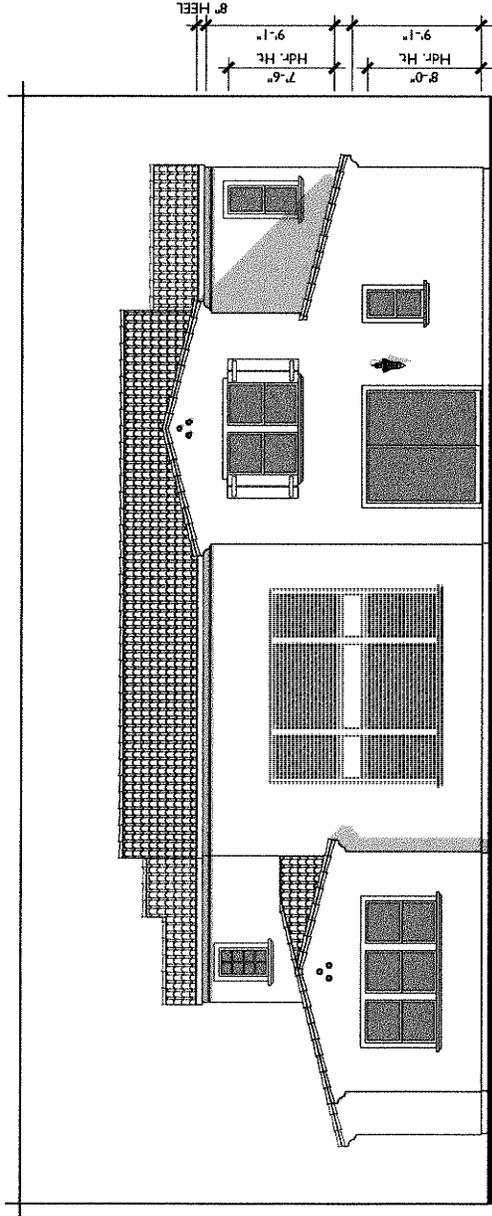
PLAN IAR (PARCEL 'D')

Spanish Elevation
 RIDGE PARK

Concord, California

257.16069





PLAN IAR (PARCEL 'D')

Spanish Elevation

RIDGE PARK

Concord, California

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Ridge Park Light Specs

Front & Garage Lighting



Elev. A/B: Exterior Front & Garage Light, Maxim Lighting, Odessa Collection, Espresso Finish, Model #86014LTES
- Or approved equal



Elev. C: Exterior Front & Garage Light, Maxim Lighting, Balboa Collection, Copper Oxide Finish, Model #85165GFCC - Or approved equal



Elev. D: Exterior Front & Garage Light, Maxim Lighting, Westlake Collection, Black Finish, Model #85104BK - Or approved equal

Rear & Side Lighting



Elev. A/B: Exterior Rear & Side Light, Maxim Lighting, Dover Collection, Bronze Finish, Model #55024CDBZ - Or approved equal

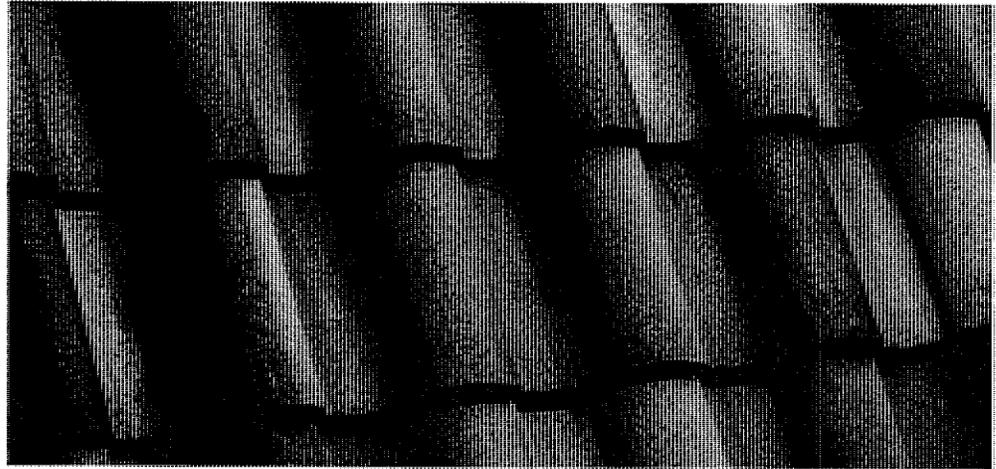


Elev. C: Exterior Rear & Side Light, Maxim Lighting, Callistoga Collection, Adobe Finish, Model #88536SWAE - Or approved equal

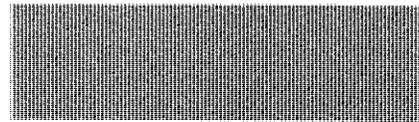


Elev. D: Exterior Rear & Side Light, Maxim Lighting, Knoxville Collection, Bronze Finish, Model #51127FSBZ - Or approved equal

SCHEME 1 - PLAN 1A - SPANISH ELEVATION



'S' ROOF TILE



TRIM & HEADER



SHUTTERS & FRONT ENTRY DOOR



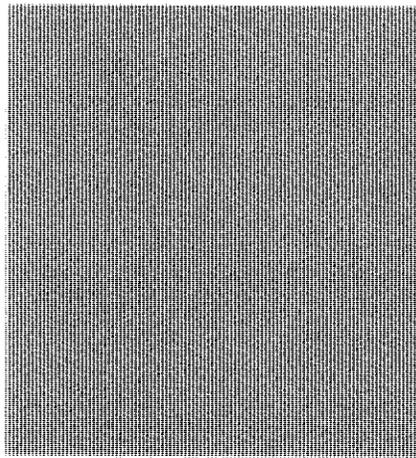
GARAGE DOOR

BASE STUCCO & BUILTUP EAVES

SCHEME 2 - PLAN 1XB - ITALIAN ELEVATION



'S' ROOF TILE



BASE STUCCO



FASCIA, EAVES & KICKERS

TRIM AND HEADINGS

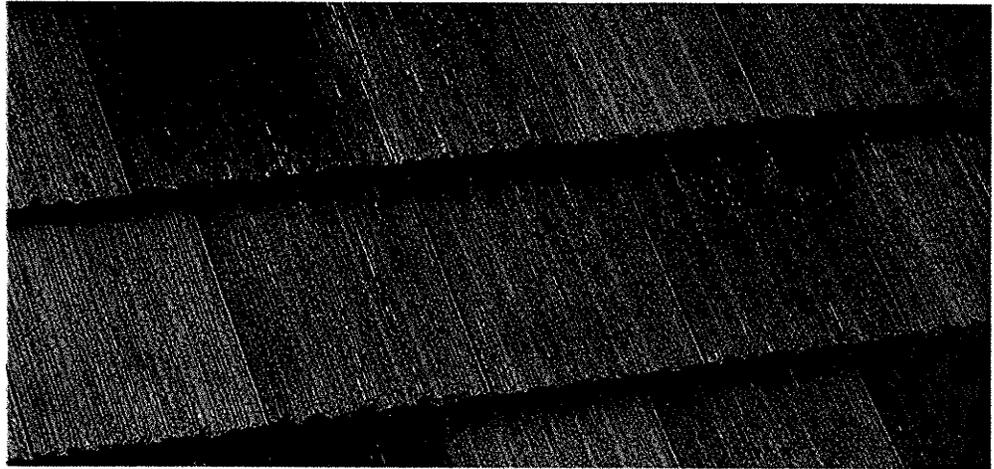


SHUTTERS & FRONT ENTRY DOOR

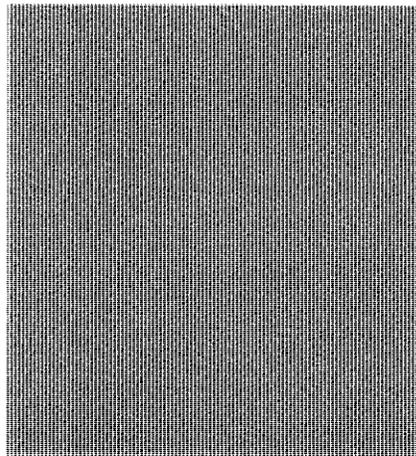


GARAGE DOOR

SCHEME 3 - PLAN 1XC - CRAFTSMAN ELEVATION



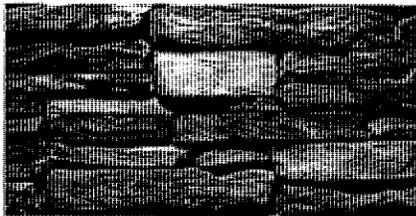
FLAT ROOF TILE



BASE STUCCO



SIDING



STONE



FASCIA, EAVES, GABLE SIDING, POSTS, BEAMS & KICKERS



TRIM & HEADERS

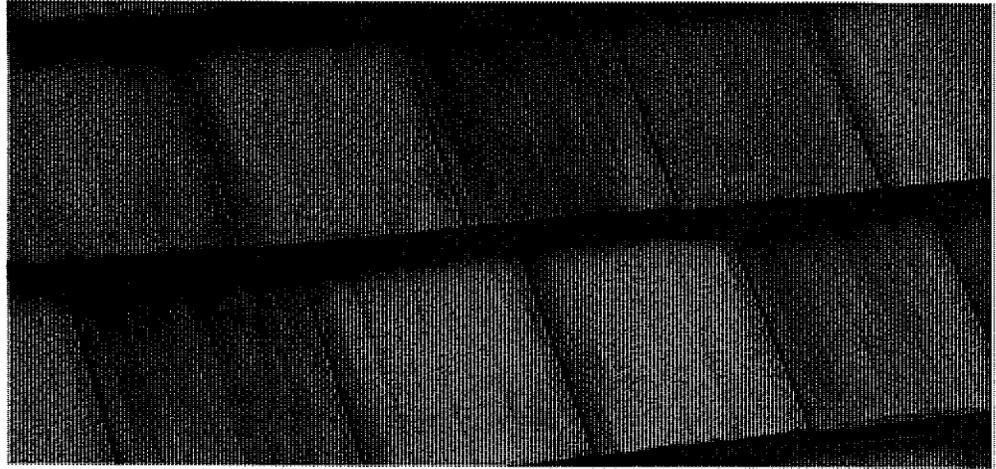


SHUTTERS & FRONT ENTRY DOOR

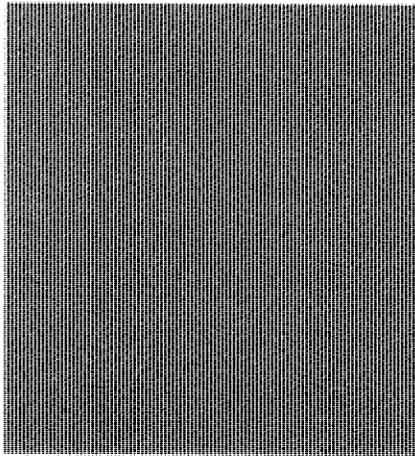


GARAGE DOOR

SCHEME 4-PLAN 1D-FRENCH COUNTRY ELEVATION



FLAT ROOF TILE



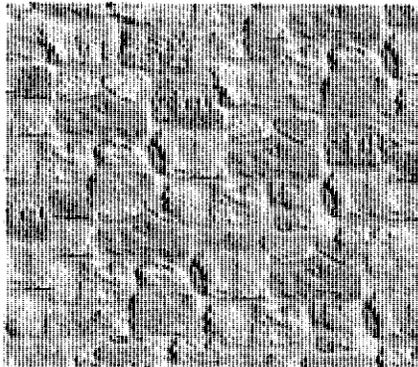
BASE STUCCO

FASCIA, EAVES, & GABLE SIDING

TRIM & HEADER

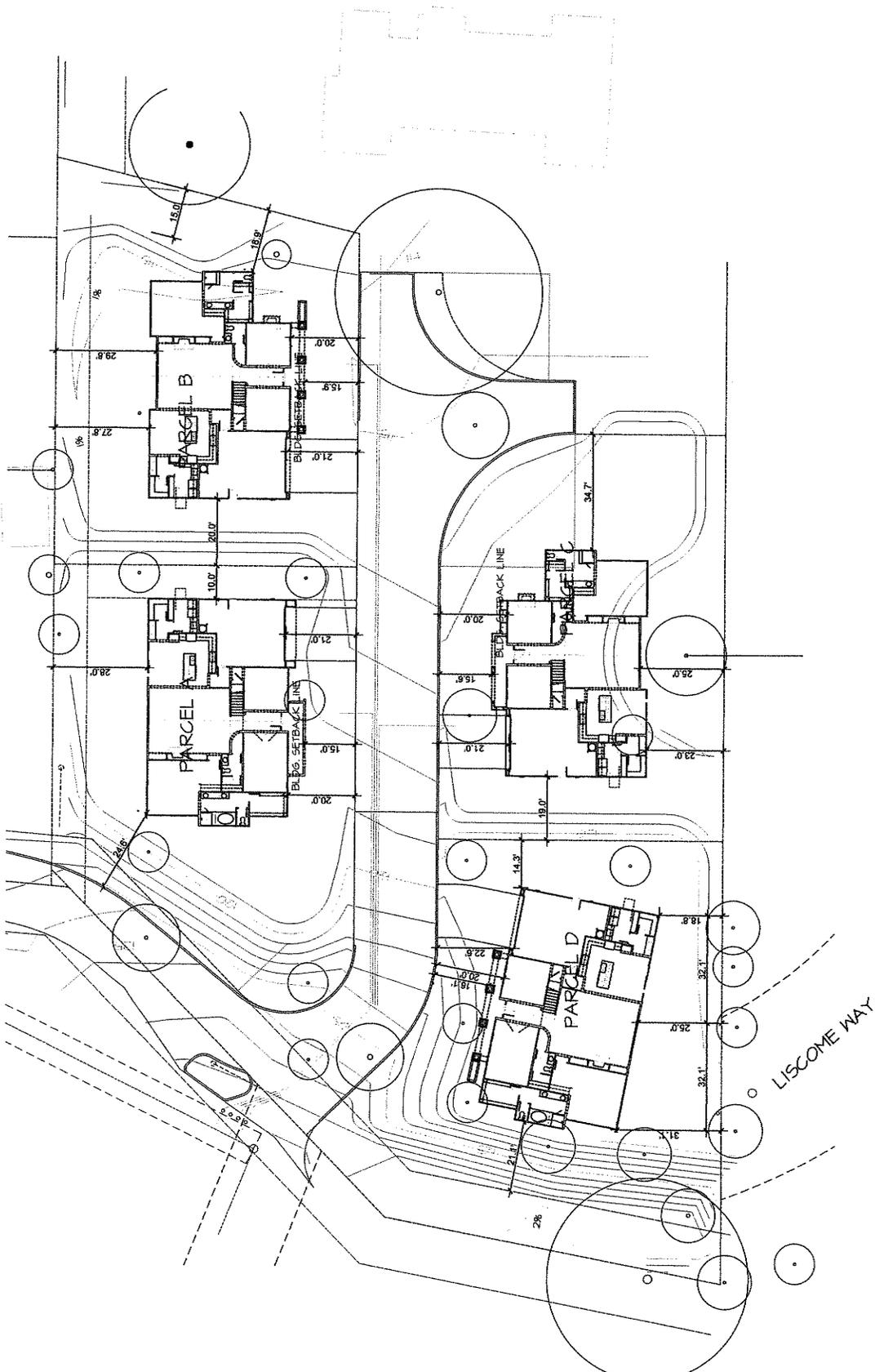


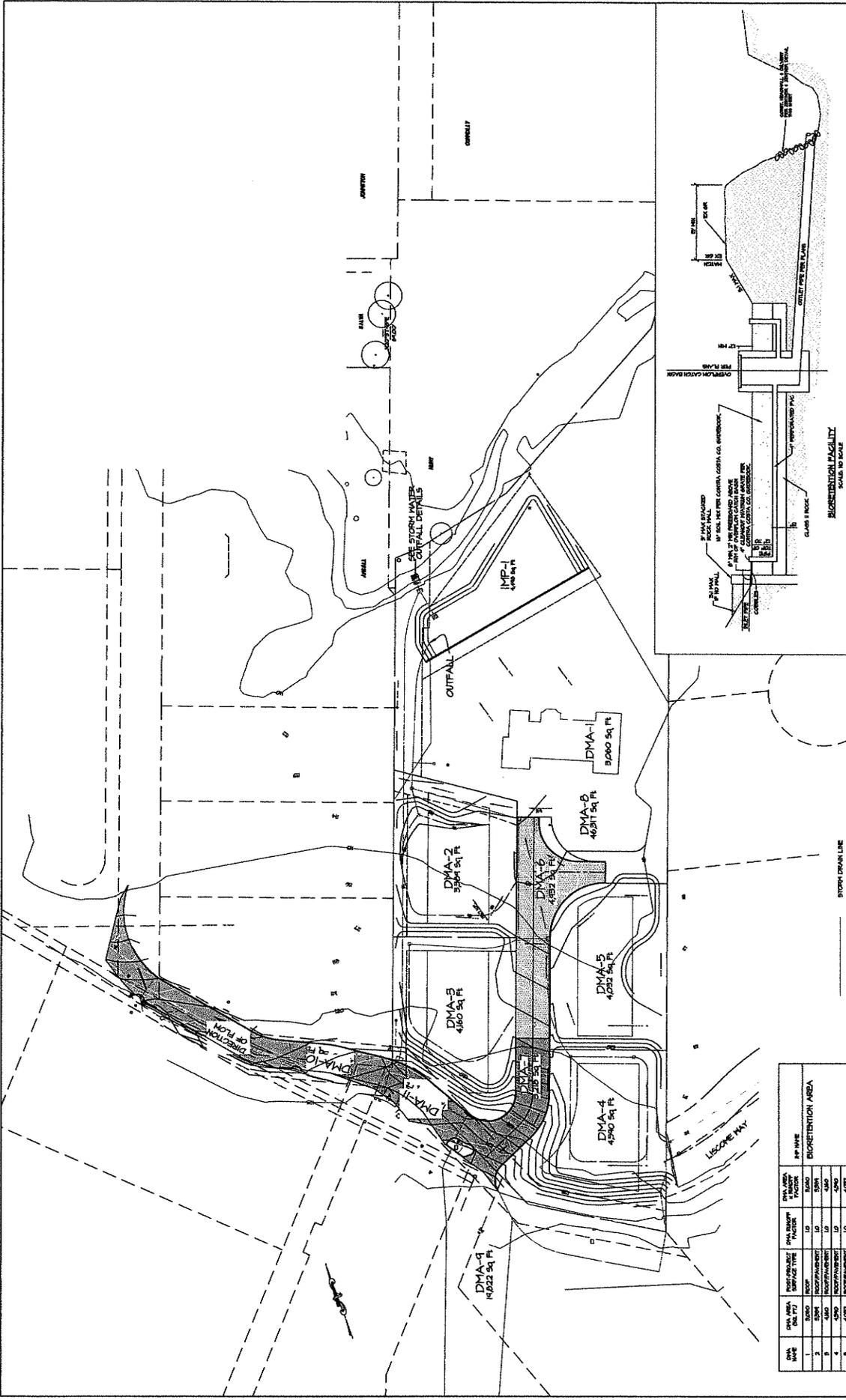
SHUTTERS & FRONT ENTRY DOOR



STONE

GARAGE DOOR





NO.	DATE	DESCRIPTION



GAF GILBERT A. FITCH & ASSOCIATES, INC.
 SUBDIVISION HS 401-02
 CON RIDGE PARK C11,
 CONCORD, CALIFORNIA
 SCALE: 1"=30'
 DATE: 8/14/2015
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: 48421
 SHEET NO. 12 OF 12

DMA NAME	DMA AREA (SQ FT)	POST/PAVEMENT SURFACE TYPE	DMA RUNOFF FACTOR	RFP NAME	DRAINAGE AREA (SQ FT)
1	2000	ASPH	0.85		
2	400	ASPH	0.85		
3	400	ASPH	0.85		
4	400	ASPH	0.85		
5	400	ASPH	0.85		
6	400	ASPH	0.85		
7	400	ASPH	0.85		
8	400	ASPH	0.85		
9	400	ASPH	0.85		
10	400	ASPH	0.85		
TOTAL					

DETENTION FACILITY
 10' HIGH
 10' WIDE
 10' DEEP
 10' LONG
 10' WIDE
 10' DEEP
 10' LONG