



**REGULAR MEETING OF THE
CITY OF CONCORD
PLANNING COMMISSION**

**Wednesday, August 17, 2016
6:30 p.m. – Council Chamber
1950 Parkside Drive, Concord**

Planning Commission Members:

Carlyn Obringer, Chair

Jason Laub, Vice Chair

Dominic Aliano, Commissioner

LaMar Anderson, Commissioner

Ray Barbour, Commissioner

**REGULAR MEETING
6:30 p.m. – Council Chamber**

I. ROLL CALL

II. PLEDGE TO THE FLAG

III. PUBLIC COMMENT PERIOD

IV. ADDITIONS / CONTINUANCES / WITHDRAWALS

V. CONSENT CALENDAR

1. [8/03/16 Meeting Minutes](#)

VI. COMMISSION CONSIDERATIONS

- 1. [4050 Port Chicago Highway General Plan Consistency](#) – Review that a proposed sale of City-owned property is consistent with the adopted General Plan pursuant to Government Code Section 65402(a). **Project Contact: Brian Nunnally, Business Development Manager @ (925) 671-3018****

VII. PUBLIC HEARINGS

- 1. [Concord Village \(PL15438 – UP, MP, DR\)](#) – Application for a Use Permit and Design Review for a 230-unit apartment project with approximately 3,000 sq. ft. of amenity space and a Minor Use Permit for a density bonus to increase the density to 110 units per net acre on a 2.3 gross acre site at 2400 Salvio Street and 2401 and 2471 Willow Pass Road. The General Plan land use designation is Downtown Mixed Use; zoning classification is DMX (Downtown Mixed Use); APN's: 126-083-011, -012, -013. Pursuant to the provisions of the California Environmental Quality Act (CEQA) of 1970, as amended, and pursuant to Section 15332 "In-Fill Development Projects," the project is classified as a Class 32 Categorical Exemption, as the project is 1) consistent with the City's General Plan**

and zoning; 2) occurs within city limits on a project site no more than five acres substantially surrounded by urban uses; 3) the project has no value as habitat for endangered, rare or threatened species; 4) there will be no significant effects relating to traffic, noise, air quality or water quality; and 5) the site can be adequately served by all required utilities and public services. Therefore, no further environmental review is required. **Project Planner: G. Ryan Lenhardt @ (925) 671-3162**

VIII. STAFF REPORTS / ANNOUNCEMENTS

IX. COMMISSION REPORTS / ANNOUNCEMENTS

X. FUTURE PUBLIC HEARING ITEMS

XI. ADJOURNMENT

NOTICE TO PUBLIC

ADA ACCOMMODATION

In accordance with the Americans With Disabilities Act and California Law, it is the policy of the City of Concord to offer its public programs, services and meetings in a manner that is readily accessible to everyone, including those with disabilities. If you are disabled and require a copy of a public hearing notice, or an agenda and/or agenda packet in an appropriate alternative format; or if you require other accommodation, please contact the ADA Coordinator at (925) 671-3021, at least five (5) days in advance of the hearing. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility.

APPEALS

Decisions of the Planning Commission on use permits, variances, major subdivisions, appeals taken from decisions of the Zoning Administrator or staff interpretations of the Zoning Code may be appealed to the City Council. Appeals and the required filing fee must be filed with the City Clerk within ten (10) days of the decision.

If you challenge any of the foregoing described actions in court, an appeal first of said actions to the Zoning Administrator, Planning Commission, and/or City Council (as applicable) in the manner and within the time period established in Development Code Chapter 18.510 (Appeals and Calls for Review) is required, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Zoning Administrator and/or Planning Commission (as applicable) at, or prior to, said public hearing.

APPLICANT'S SUBMITTAL OF INFORMATION

Submittal of information by a project applicant subsequent to the distribution of the agenda packet but prior to the public hearing may result in a continuance of the subject agenda item to the next regularly scheduled Planning Commission meeting, if the Commission determines that such late submittal compromises its ability to fully consider and evaluate the project at the time of the public hearing.

CONSENT CALENDAR

Adoption of the Consent Calendar may be made by one motion of the Planning Commission, provided that any Commissioner, individual, or organization may request removal of an item from the Consent Calendar for separate consideration. If a request for removal of an item from the Consent Calendar has been received, the Chair may defer action on the particular item and place the same on the regular agenda for consideration in any order s/he deems appropriate.

CORRESPONDENCE

Correspondence and writings received within 72 hours of the scheduled Planning Commission meeting that constitute a public record under the Public Records Act concerning any matter on the agenda is available for inspection during normal business hours at the Permit Center located at 1950 Parkside Drive, Concord. For additional information contact the Planning Division at (925) 671-3152.

HEARINGS

Persons who wish to speak on hearings listed on the agenda will be heard when the hearing is opened, except on hearing items previously heard and closed to public comment. Each public speaker should limit their comments to three (3) minutes or less. The Chair may grant additional time. The project applicant normally shall be the first person to make a presentation when a hearing is opened for public comment. The project applicant's presentation should not exceed ten (10) minutes unless the Chair grants permission for a longer presentation. After the public has commented, the item is closed to further public comment and brought to the Planning Commission level for discussion and action. Further comment from the audience will not be received unless requested by the Commission. No public hearing or hearing shall commence after 11:00 p.m. unless this rule is waived by majority vote of the Commission.

MEETING RECORDS

Planning Commission meetings are available for viewing on the City's website, www.cityofconcord.org and at the Concord Public Library. Copies of DVDs of the Planning Commission Meeting are available for purchase. Contact the Planning Division at (925) 671-3152 for further information.

NOTICE TO THE HEARING IMPAIRED

The Council Chamber is equipped with Easy Listener Sound Amplifier units for use by the hearing impaired. The units operate in conjunction with the Chamber's sound system. You may request the Easy Listener Phonic Ear Personal Sound Amplifier from the staff for personal use during Commission meetings.

ROUTINE AGENDA ITEMS AND CONTINUED ITEMS

All routine and continued items will be considered by the Planning Commission at the beginning of the meeting. There will not be separate discussions of these items unless a request is made prior to the time the Planning Commission considers the motions.

SPEAKER'S CARD

Members of the audience who wish to address the Planning Commission should complete a speaker's card available in the lobby or at the front bench. Submit the completed card to staff before the item is called, preferably before the meeting begins.

TELEVISED MEETINGS

All Planning Commission meetings are broadcast live on Astound Broadband channel 29 and Comcast channel 28. The meeting is replayed on the Thursday following the meeting at 8:00 a.m., 2:00 p.m. and 8:00 p.m. Replays are also broadcast on Fridays and Saturdays. Please check the City website, <http://www.cityofconcord.org/about/citynews/tvlistings.pdf> or check the channels for broadcast times.

NEXT PLANNING COMMISSION MEETINGS:

September 7, 2016: 6:30 pm – Council Chamber

September 21, 2016: 6:30 pm – Council Chamber

REGULAR MEETING OF THE
CITY OF CONCORD PLANNING COMMISSION
COUNCIL CHAMBER, 1950 PARKSIDE DRIVE
CONCORD, CALIFORNIA

Wednesday, August 3, 2016

A regular meeting of the Planning Commission, City of Concord, was called to order by Chair Obringer at 6:30 P.M., August 3, 2016, in the City Council Chamber.

I. ROLL CALL

COMMISSIONERS PRESENT: Chair Carlyn Obringer
Vice Chair Jason Laub
Commissioner Dominic Aliano
Commissioner LaMar Anderson
Commissioner Ray Barbour

STAFF PRESENT: Laura Simpson, Planning Manager
Margaret Kotzebue, Senior Assistant City Attorney
Ray Kuzbari, Transportation Manager

II. PLEDGE TO THE FLAG

Commissioner Aliano led the pledge.

III. PUBLIC COMMENT PERIOD

No public comment was heard.

IV. ADDITIONS / CONTINUANCES / WITHDRAWALS

None were announced.

V. CONSENT CALENDAR

No public comment was heard.

APPROVAL OF MINUTES

Motion was made by Commissioner Barbour, and seconded by Commissioner Anderson to approve the meeting minutes of July 20, 2016. The motion was passed by the following vote:

AYES: Barbour, Anderson, Aliano, Laub, Obringer
NOES: None
ABSTAIN: None
ABSENT: None

VI. PUBLIC HEARINGS

City of Concord Bicycle, Pedestrian, and Safe Routes to Transit Plan – City-initiated proposal to adopt the Bicycle, Pedestrian and Safe Routes to Transit Plan, which envisions Concord as a community where bicycling, walking and transit can serve the transportation needs of all users. The Plan outlines a strategy to develop a safer and more comfortable walking and bicycling network, through physical improvements and programs designed to educate and encourage safe use of the expanded transportation network. The Plan helps position the City for future funding for bicycle, pedestrian and transit access improvements by identifying community needs and addressing those needs with \$146 million of identified and prioritized capital improvement projects. The Plan also contains evaluation programs to encourage forward progress by documenting progress towards the Plan’s goals. Pursuant to the provisions of the California Environmental Quality Act (CEQA) of 1970, as amended, the project falls under Section 15262, “ (a) project involving only feasibility or planning studies for possible future actions which the agency, board, or commission has not approved, adopted, or funded does not require the preparation of an EIR or negative declaration but does require consideration of environmental factors. This section does not apply to the adoption of a plan that will have a legally binding effect on later activities.” The City of Concord’s Bicycle, Pedestrian & Safe Routes to Transit Plan (Plan) meets these criteria because the Plan is a planning study that would serve as the basis for future updating of the Concord General Plan related to the education, encouragement, enforcement, and evaluation of future walking and bicycling network improvements and has no legally binding effect on current activities (e.g. development project application review) or later activities (i.e., the General Plan Update).
Project Planner: Laura Simpson @ (925) 671-3369

Planning Manager, Laura Simpson, presented background information on the project.

Jeffrey Knowles, consultant from Alta Planning + Design, presented a PowerPoint presentation and answered questions from the Planning Commission.

Public Comment

The following individuals addressed the Planning Commission: Brian Cory, Kenji Yamada, Coire Reilly, David Pitman, Amy Ma, and Barbara Brunell.

Ray Kuzbari answered questions from the Planning Commission.

Motion was made by Commissioner Barbour and seconded by Commissioner Aliano to adopt Resolution No. 16-21 recommending City Council approval of the Bicycle, Pedestrian, and Safe Routes to Transit Plan with an amendment to the meeting date on the Planning Commission Resolution. The motion passed by the following vote:

- AYES: Barbour, Aliano, Anderson, Laub, Obringer
- NOES: None
- ABSTAIN: None
- ABSENT: None

VII. COMMISSION CONSIDERATIONS

There were none.

VIII. STAFF REPORTS / ANNOUNCEMENTS

Planning Manager Laura Simpson announced the Veranda project was approved by the City Council.

IX. COMMISSION REPORTS/ANNOUNCEMENTS

There were none.

X. FUTURE PUBLIC HEARING ITEMS

Planning Manager Laura Simpson announced there will be a large multi-family development, Concord Village, on August 17th and one other item.

XI. ADJOURNMENT

Commissioner Laub moved to adjourn at 8:30 P.M. Commissioner Aliano seconded the motion. Motion to adjourn was passed by unanimous vote of the Commissioners present.

APPROVED:

Laura Simpson, AICP
Planning Manager

Transcribed by Grant Spilman,
Administrative Coordinator

**REPORT TO PLANNING COMMISSION**

DATE: August 17, 2016

SUBJECT: PROPOSED SALE OF A PORTION OF CITY-OWNED PROPERTY AT 4050 PORT CHICAGO HIGHWAY (APN 100-370-013) TO PACIFIC RANCH INVESTMENTS – GENERAL PLAN CONFORMITY

Introduction

Pursuant to Government Code Section 65402(a), the City's Planning Agency must find that a proposed sale of City-owned property is consistent with the adopted General Plan.

Report in Brief

Pacific Ranch Investments proposes to purchase a portion of a vacant piece of property owned by the City of Concord located adjacent to 4050 Port Chicago Highway ("Property"). A map showing a representation of the Property is included as Attachment 1 to this report. There are no future plans for use of the Property by the City. The only likely buyer of the Property is Pacific Ranch Investments as this company owns the adjacent office development at 4080 Port Chicago Hwy (APN 370-100-012). The Property is intended to be developed for additional parking to serve the existing office development.

Government Code Section 65402(a) requires each city's Planning Commission to review proposed sales of City-owned property for their consistency with the adopted General Plan. Staff recommends that the Planning Commission report to the City Council that the proposed sale of a portion of this City-owned Property is consistent with the City's General Plan.

Background and Discussion

Late last year, Pacific Ranch Investments approached staff expressing an interest in acquiring a portion of the City's Property to develop an improved parking lot for the existing office development located adjacent to the Property. Under California Government Code Section 37350, a City may purchase, lease, receive, hold, and enjoy real and personal property, and control and dispose of it for the common benefit.

The Property proposed to be sold is a vacant, unimproved rectangular portion of land that is a part of the parcel that includes the Diablo Creek Golf Course. The Property is not part of the functioning operational area of the golf course and it is not anticipated that it will be necessary for future development of the golf course because its potential usage is limited due to existing easements for utilities and other infrastructure access, as well as its size and location; accordingly, Pacific Ranch Investments is the only logical potential buyer of the Property.

The Property zoning is "Parks and Recreation" and it has a General Plan land use designation of

“Parks.” Consistent with the General Plan land use regulations, the use of property can include a parking lot, playing fields, golf courses, trails or other recreational facilities, though the aforementioned site limitations of the property effectively reduce the viable options to a parking lot to serve the adjacent Pacific Ranch Investments-owned commercial development that is located in Office Business Park (OBP) zoning.

If the *Purchase and Sales Agreement* with Pacific Ranch Investments is approved by Council, the legal transfer mechanism would be a lot line adjustment pursuant to Subdivision Map Act Section 66412(d), merging the approximately 4,342-square foot site into the adjacent commercial parcel. If a lot merger occurred, then the property would be divided into two zoning districts: Parks and Recreation and Office Business Park. In that instance, Section 18.15.040(A) as described below would apply:

Section 18.15.040(A) of the City’s Development Code provides that, “Where a lot is divided by a zoning boundary, the regulations applicable to each district shall be applied to the area within each district, and no use, *other than parking serving a principal use on the site*, shall be located in a district in which it is not a permitted or conditionally permitted use.” (Emphasis added). Accordingly, the current zoning of the proposed land to be sold would permit it to be used as a parking lot to serve the existing commercial offices. Additionally, there is a community benefit to selling it for fair-market-value to the adjacent property owner. Pacific Ranch Investments intends to purchase this site and combine it with its commercial property located at 4080 Port Chicago Highway in order to increase its parking supply. Increasing the parking supply would be a benefit to potential tenants looking to occupy the commercial space and would facilitate the attraction of new businesses to Concord. The sale would support the City’s economic development efforts to facilitate business attraction and retention in Concord.

Prior to this report, City staff conducted a site visit with Joe Fernandez, Golf Director at Diablo Creek Golf Course, regarding the potential sale of the Property and location of the proposed property line. Mr. Fernandez was agreeable to and acknowledges the potential sale of the Property.

Environmental Review

The potential sale of the property, subject to a lot line adjustment and use as a parking lot, is classified under the California Environmental Quality Act as Categorically Exempt pursuant to Sections 15304, “Minor Alterations to Land” and 15305(a), Class 5, “Minor Alterations in Land Use Limitations.”

Public Contact

The meeting was noticed and the agenda posted in accordance with state law. Additionally, the operator of the City-owned golf course met with Staff prior to this report being written.

Recommendation for Action

Staff recommends that the Planning Commission report to the City Council that, for the purpose of Government Code Section 65402(a), the proposed sale of the property is consistent with the General Plan.

Motion

I (Comm. _____) hereby move that the Planning Commission report to the City Council that, for purposes of Government Code Section 65402(a), the proposed sale of property at 4050 Port Chicago Highway (APN 100-370-013) is consistent with the General Plan.

Prepared by: Brian Nunnally
Business Development Manager
brian.nunnally@cityofconcord.org

Reviewed by: Victoria Walker
Community & Economic Development
Director
victoria.walker@cityofconcord.org

Attachment 1: Map of Parcel Proposed for Sale
Attachment 2: Resolution 16-23PC

**BEFORE THE PLANNING COMMISSION
OF THE CITY OF CONCORD,
COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA**

**A RESOLUTION OF THE PLANNING
COMMISSION OF THE CITY OF CONCORD
FINDING THAT THE POTENTIAL SALE OF A
PORTION OF CITY-OWNED PROPERTY AT 4050
PORT CHICAGO HIGHWAY (APN 100-370-013)
SUPPORTS AND IS CONSISTENT WITH THE
GENERAL PLAN**

Resolution No. 16-23PC

WHEREAS, Pacific Ranch Investments ('Potential Buyer'), has requested a purchase of the property for development as a parking lot to serve the Potential Buyer's adjacent and existing office buildings at 4080 Port Chicago Highway, zoned "Office Business Park" (OBP); and

WHEREAS, the City of Concord ('City') owns the real property generally located on the east side of Port Chicago Highway that includes Diablo Creek Golf Course (APN 100-370-013), that is approximately 4,342 square feet in size and is zoned "Parks and Recreation" ("City Property"), which makes up a portion of the property proposed to be bought by Potential Buyer; and

WHEREAS, Potential Buyer desires to acquire the City Property from the City and seeks a lot line adjustment pursuant to Government Code Section 66412(d) to develop the Project; and

WHEREAS, once a lot line adjustment of the parcels has occurred, the subject Property would be divided into two zoning districts: Parks and Recreation and OBP; and

WHEREAS, pursuant to Concord Municipal Code Section 18.14.040(A), the City Property may thereafter be used to serve as a parking lot for the Potential Buyer's adjacent office buildings located at 4080 Port Chicago Highway; and

WHEREAS, the City Property is a vacant, unimproved rectangular portion of land that is part of the parcel that includes the City-owned Diablo Creek Golf Course. Due to its size, location and existing easements for utilities and infrastructure access, the City Property is not part of the functioning part of the Golf Course, nor is it anticipated that it will be necessary for future use or

1 development by the Golf Course.

2 **WHEREAS**, pursuant to Government Code Section 65402(a), prior to the disposition of City
3 Property, the Planning Commission must make a finding that the sale of property is consistent with
4 the General Plan; and

5 **WHEREAS**, on August 17, 2016, the Commission held a duly noticed public hearing on the
6 consistency of the potential sale of the property with the General Plan; and

7 **WHEREAS**, on August 17, 2016, the Commission considered the staff report, oral and
8 written, and testimony and materials presented by all those wishing to be heard on this Project; and

9 **WHEREAS**, the Commission has determined that sale of the City Property would further the
10 purposes of and appropriately implement the City of Concord General Plan.

11 **NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:**

12 Section 1. The Planning Commission finds that the above recitals are accurate and constitute
13 findings in this matter and, together with the August 17, 2016 Staff Report and the application
14 materials, and all other documents, reports, studies, memoranda, maps, oral and written testimony,
15 and materials in the City’s file for the applications and the Project, and all adopted City planning
16 documents relating to the Project and the property including the City’s General Plan, Municipal Code,
17 and other applicable City laws and regulations, and all associated approved and certified
18 environmental documents, have together served as an adequate and appropriate evidentiary basis for
19 the findings and actions set forth in this Resolution.

20 Section 2. The Planning Commission finds that the proposed sale of the City Property is
21 consistent with the City of Concord General Plan.

22 Section 3. This Resolution is effective upon its adoption.

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Passed and adopted this 17th day of August, 2016, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

LAURA SIMPSON, AICP
Secretary to the Planning Commission



**Portion of
100-370-013**

**Pacific Ranch--
Investing--
Existing Property**

**Mt. Diablo
Golf Course**

Legend
Parcels



REPORT TO PLANNING COMMISSION

DATE: August 17, 2016

SUBJECT: Concord Village (PL15438 - UP, MP, DR)

Recommendation: Adopt Resolution No. 16-22PC, approving the Concord Village Use Permit, Minor Use Permit, and Design Review (PL15438 - UP, MP, DR).

I. Introduction

A. Application Request

Application for a Use Permit, Minor Use Permit, and Design Review for a 230-unit apartment project with approximately 3,000 sq. ft. of amenity space on a 2.3-gross acre site.

B. Location

The project site is located at 2400 Salvio Street and 2401 and 2471 Willow Pass Road; APN's 126-083-011, -012, -013.



C. Applicant/Owner

Nicholson Development Properties
Attn: Brent Nicholson
720 North 10th St., A-128
Renton WA 98057
(206) 979-9681

II. Background

On April 29, 2015, Washington-based developer Nicholson Development Properties submitted a Preliminary Application and conceptual design review for a 231-unit apartment project with approximately 3,000 sq. ft. of amenity space at the “Green House” property, the block bounded by Salvio Street, Willow Pass Road, East Street, and Port Chicago Highway. On May 28, 2015, the Design Review Board (DRB) conducted conceptual design review of the project. The DRB provided specific direction to the applicant to be incorporated into the formal application submittal.

On May 26, 2015, a neighborhood meeting was conducted. The property owner and two tenants from the Parker Professional Plaza adjacent to the site attended the meeting, were supportive of the project, and had questions about the site design, building architecture, parking, and the price of the apartment units.

On July 1, 2015, the Planning Commission conducted a study session on the project and provided direction to staff and the applicant to address the inconsistencies between the proposal and the Development Code requirements. The Planning Commission made recommendations regarding setbacks, parking, building design, and the introduction of a commercial tenant(s) on the ground floor.

On September 1, 2015, Mayor Grayson established an Ad Hoc Committee consisting of the Design Review Board Vice Chair, Kirk Shelby, Council member Ron Leone, and himself to review new buildings in the Downtown Specific Plan area to determine whether they reflect early California architecture. The process did not supplant the Design Review Board but it allowed the Committee to review and provide input on building architecture.

On September 14, 2015, the Committee reviewed the project. The applicant presented the original building elevations and two elevation studies for the Committee to consider. The studies proposed arched elements on the ground floor elevations at East Street and Willow Pass Road and introduced two different color schemes. The Committee liked elements of each color scheme and the arches and use of scored plaster of one of the studies.

On October 15, 2015, the applicant submitted a formal development application including a Use Permit, Minor Use Permit, and Design Review. The application was reviewed by the Development Advisory Committee (DAC) on November 10, 2015 and deemed incomplete by staff on November 13, 2015.

On November 18, 2015, a second neighborhood meeting was conducted and attended by local business owners, each of which was supportive of the project and had questions about the entitlement

process and timing for construction. On November 19, 2015, the Design Review Board conducted preliminary design review and provided the applicant with comments about the building architecture. The Board primarily focused on the design of the arched elements and ways to incorporate materials to make them “special elements” that relate to and improve the pedestrian experience.

The applicant submitted revised plans on April 26, 2016. The Board conducted final design review on May 12, 2016 and approved the building architecture and directed the applicant to return with a complete landscape plan including a detailed plant list with quantities and typical spacing of materials, information on special paving, and elevations of the proposed decorative fencing.

On June 14, 2016, the applicant submitted additional details in response to the Board’s request for information and the Board granted final design review approval on June 23, 2016 with conditions.

On June 28, 2016, the DAC reviewed the revised submittal and staff deemed the application complete on July 21, 2016.

III. General Information

A. General Plan

The General Plan designation is Downtown Mixed Use.

B. Zoning

The site is zoned DMX (Downtown Mixed Use).

C. CEQA Status

Pursuant to the provisions of the California Environmental Quality Act (CEQA) of 1970, as amended, and pursuant to Section 15332 “In-Fill Development Projects,” the project is classified as a Class 32 Categorical Exemption, as the project is 1) consistent with the City’s General Plan and zoning; 2) occurs within city limits on a project site no more than five acres substantially surrounded by urban uses; 3) the project has no value as habitat for endangered, rare or threatened species; 4) there will be no significant effects relating to traffic, noise, air quality or water quality; and 5) the site can be adequately served by all required utilities and public services. Therefore, no further environmental review is required.

D. Site Description

The 2.3-gross acre site is comprised of three contiguous parcels (that will be merged), each with street frontage, bordered by Salvio Street, Willow Pass Road, East Street, and Port Chicago Highway. The site is flat and steps downhill slightly at the north end of the property gradually sloping toward to the northwest corner of the property. A number of structures were demolished due to their substandard condition including a former residence, multi-tenant commercial building, and an office for used car sales. A vacant bank building remains at the

southwest corner of the site and will be demolished prior to development of the site. Vegetation is limited to street trees and some onsite landscaping, much of which has been removed to discourage encampments.

Lot Size and Dimensions	101,075 sq. ft. (approx.)	311 ft. x 325 ft. (approx.)
Existing Improvements	A vacant bank building is located at the southwest corner of the property, the site is partially paved, and there is leftover site lighting from previous uses.	
Topography	The parcel sits slightly above its street frontages, is flat, and slopes gently downhill toward the northwest corner of the site.	
Existing Vegetation	Street trees and shrubs are located along the south and east frontages and street trees are located along the north frontage. Remnant trees and small shrubs are located onsite as part of the previous development.	

E. Surrounding Land Use

The site encompasses the entire block from Salvio Street on the north to Willow Pass Road on the south and from East Street on the west to Port Chicago Highway on the east. The site is located in the Downtown within ¼ mile of BART and two blocks from Todos Santos Plaza. The site and surrounding areas are zoned Downtown Mixed Use and Planned District. A mix of professional offices, commercial businesses, and residential uses surround the site.

	Land Use	General Plan Designation	Zoning
North	Office, Auto dealership, Vet hospital	Downtown Mixed Use	DMX
South	Vacant commercial building	Downtown Mixed Use	DMX
East	Wisteria Residential Subdivision, Offices	Medium Density Residential	PD
West	Vacant commercial building, medical offices	Downtown Mixed Use	DMX

F. Site Plan/Circulation/Parking

The five-story residential building is proposed to occupy the entire site while maintaining moderate setbacks on all four sides of the building for access, landscaping, and bioretention areas for stormwater filtration. The building “wraps” around a six-story parking garage, one floor of which is subterranean. The building is oriented toward the intersection of Willow Pass Road and East Street, where there is a leasing office and primary pedestrian access. Vehicle access is proposed along East Street and Port Chicago Highway.

Dedicated pedestrian entries for residents are located along the East Street and Port Chicago Highway sides of the building with additional gated entries to shared courtyards along Salvio

Street and Willow Pass Road. Once onsite, an internal U-shaped walkway with corridors provides access to each of the units and outdoor spaces. Access throughout the building is controlled by secure doors and gates at various locations throughout the building. Two elevators provide access above the ground floor leasing center, a mail center, bike shop, and fitness/lounge area. Other site improvements include landscaped courtyards, community lounges, and rooftop sun terraces.

All vehicular access points are unsignalized, with the primary driveway off East Street restricted to right-in/right-out traffic and the secondary driveway on Port Chicago to left-in/left-out traffic. A paved service area is located along Port Chicago Highway that provides access for emergency vehicles, trash pick-up, electrical service, and resident loading and unloading. Both entries are designed for two-way circulation via a 24 ft. driveway. Guest parking and secure bicycle parking is located on parking levels 0-1 with gated access to resident parking on parking levels 2-6. The garage will be gated at night and accessible by residents via a garage door opener. Guests will have to be “buzzed in” by residents at all locations.

A total of 425 parking spaces are proposed comprised of 348 resident parking spaces and 77 guest parking spaces. The applicant proposes 307 standard sized stalls with 9' x 19' dimensions, 107 compact sized stalls with 8' x 16', and 11 ADA compliant stalls. A total of 134 bicycle parking stalls are proposed on each floor in secure corrals and 12 motorcycle stalls are proposed on parking levels 0-2 and 6.

G. Architecture

The five-story building proposes contemporary architecture and materials and “wraps” the residential units around six floors of parking. The building is oriented toward the intersection of Willow Pass Road and East Street with vehicle entries on East Street and Port Chicago Highway. A mix of studios, one-bedroom, and two-bedroom units are proposed with approximately 3,000 sq. ft. of amenity space including a mail center, bike shop, and fitness studio for tenants.

The apartment units range in size from approximately 400 to 1,060 sq. ft. in six different plan types. Each of the units has a small deck with the exception of the smallest units that have a “Juliette-style balcony” with each of the units facing outward toward the street or inward toward an outdoor courtyard. The modern architecture incorporates regular and scored plaster, metal screens, contemporary signage, and urban lighting. Floor plan details are provided in the following table.

<i>Plan Number</i>	<i>Sq. Ft.</i>	<i>Total Units</i>
1 (Creative Studio)	403	12
2 (Studio)	603	46
3 (1Br / 1 Ba)	689	39
4 (1Br / 1 Ba)	697	80
5 (2Br / 2 Ba)	963.5	10
6 (2Br / 2 Ba)	1068.5	43
Total	170,785.5	230

H. Landscaping

Public Open Space

The streetscape is designed to engage the public and residents. Willow Pass Road features an urban plaza tailed by a double tree lined sidewalk (with benches) that wraps around the corner to East Street. The plaza is designated for the public as well as employees and residents. The spaces closer to the leasing office and fitness center feature tables, chairs and shade umbrellas that would be maintained by the owner. Willow Pass Road also features an “art screen” that doubles as a transparent enclosure of the south courtyard, but will primarily serve as an architectural element. Salvio Street will feature a soft landscape (mostly stormwater treatment) edge with simple seating areas on the inside edge of the sidewalk; two transparent screens will also line the sidewalk. All sidewalks will be widened to a minimum of eight feet with some exceptions along Port Chicago Highway. All public furnishings in the public right of way will have back rests as well as arm rests between seats and all seat walls in the right of way will have skate deterrents.

Transparent Private Open Spaces

The south courtyard on the opposite side of the art screen on Willow Pass Road is designed as a pocket plaza with shade trees and large seat lined planters. The plaza is intended to be visible from the street, and flexible with moveable furnishings to serve every day rest or medium-sized gatherings. The north courtyards are sited along Salvio Street, and are designed to be quiet gardens for multiple small dining and lounging gatherings. The courtyards have been designed in conjunction with the adjacent interior spaces, which serve similar recreational uses. The indoor/outdoor integration is intended to feel seamless.

Inner Private Open Spaces

The inner spaces feature a bocce court, bar area, and a drought tolerant “lawn,” as well as two adjacent roof terraces that have views to Downtown Concord. They are designed as a series of outdoor amenity spaces that provide a variety of activities and are intended to be used in the afternoon and evening by residents.

The ground level inner “decks” are located along the primary circulation of the building to encourage frequent use. The bocce and bar area are adjacent to each other and in close proximity to the interior lounges and north courtyards. Both roof terraces are located adjacent to a stairwell, one featuring a grilling/dining space and the other featuring a fire/lounge space.

I. Development Regulations

The project meets standards for lot area, lot coverage, setbacks, and building area of DMX zoning (unless otherwise noted), and all applicable requirements under the Development Code, Article IV, Development Standards.

Standards	Required/Allowed	Proposed
Density (du/net acre) minimum/maximum	33 – 100 du/net acre	110 ¹
Floor Area Ratio (FAR) minimum	1.00	1.09
Floor Area Ratio (FAR) maximum	6.0	1.09
Lot Area (square feet) minimum	10,000	91,672
Lot Width (feet) minimum		
Interior Lot	100	-
Corner Lot	110	311
Lot Depth (feet) minimum	100	277
Building Height (feet)		
Minimum	30	>30
Maximum	200	69
Building Height – First floor minimum (feet, floor to floor height)	15	10 ²
Setbacks (feet) required minimum ²		
Front	10	9-22*
Interior Side	0	-
Corner Side	10	-
Rear	0	4-23
Open Space/Unit (square feet) minimum	175	152 ³
Parking Spaces		
Vehicle	411	425
Motorcycle	8	12
Bicycle		
Short Term	21	34
Long Term	58	100

**Measured from inside edge of storm drain easement*

¹ See discussion titled “Density Bonus”

² See discussion titled “Development Regulations”

³ See discussion titled “Private and Open Space”

IV. Discussion

A. **General Plan Consistency**

The site's General Plan land use designation of Downtown Mixed Use is intended for a high density and intensity mix of residential, commercial and office development in Central Concord. It allows for a mix of uses that balances jobs and housing opportunities, including offices, commercial development, hotels, public/quasi-public, and residential uses. The project provides residential uses and is thus consistent with the intent of the Downtown Mixed Use designation to establish housing opportunities in the Downtown. The project is in substantial compliance with the goals, objectives, and policies of the Concord General Plan, including "supporting higher density and mixed use development in Downtown and near transit centers and corridors" as outlined in General Plan Principle LU-1.3.3.

Additionally, as conditioned the project is consistent with General Plan policies that encourage pedestrian-oriented urban design by incorporating building elements such as ground floor patios, human-scale landscaping at the street level, and outdoor seating and building entries at the street level (Policy LU-4.2.3).

B. **Density Bonus**

A density of between 33 and 100 units per net acre is permitted in the DMX district. The proposed density is 110 units per net acre. The increased density is the result of excluding square footage for public and private easements and the relationship of the number of units divided by the net lot area, as opposed to an increase in the total number of units.

This project is located within one-half mile of the perimeter of a BART station and is located in a Transit Station Overlay District; accordingly, the maximum density may be increased up to a maximum of 25 percent for residential projects in the Transit Station Overlay District (See Development Code Section 18.105.040). The increase in density shall only be granted as a Minor Use Permit if the project includes a minimum of at least three of the elements listed in the Transit Station Overlay District. The applicant has incorporated the following three elements into the project design.

- a) *Continuity of building facades along the street with no interruptions in the progression of building and uses except for pedestrian access.*

The building encompasses an entire block with a continuous façade along all four elevations. Pedestrian entries are incorporated into the façade of the building and in outdoor spaces at multiple locations and vehicle entries are located on two sides of the building. These elements do not "interrupt" the building façade and the project reads as one building.

- b) *Pedestrian friendly street level building design amenities such as highly articulated facades with a variety of high quality materials and architectural detailing, visibility into buildings, awnings, paseos, or arcades, and signage oriented and scaled to the pedestrian, located directly behind the sidewalk.*

The contemporary architecture incorporates modern materials on all four sides of the building. The building is oriented toward the intersection of Willow Pass Road and East Street where there is the most exposure to vehicle and pedestrian traffic. The ground floor units, courtyards, and amenity space are outward facing and interact with pedestrians. The aboveground units each has a small deck with the exception of the smallest units that have a “Juliette-style balcony” facing outward toward the street or inward toward an outdoor courtyard with exposure to the surrounding streets.

- c) *Contribution to transit-supportive facilities, such as a combination of shelters; benches; or direct connections to transit station or safe and secure bicycle storage and facilities that exceed the requirements of CDC 18.160.120 (Bicycle parking).*

Secure bicycle storage areas for short term and long term parking are proposed on all floors of the parking garage. The project exceeds the required number of bicycle parking stalls by providing an additional 55 spaces (for a total of 134 bicycle stall spaces) to encourage alternative transportation.

Bus shelters/benches are not proposed with the project given the traffic volumes and direction of traffic on two of the project frontages and the location of transit facilities in close proximity to the site. Sitting benches are however located adjacent to the leasing center at the intersection of Willow Pass Road and East Street and there is a direct pedestrian connection to BART via East Street and Park Street.

For the reasons stated above, the project includes a minimum of at least three of the elements listed in the Transit Station Overlay District and therefore qualifies for a density bonus of 110 units per net acre.

C. Downtown Specific Plan

The City adopted its Downtown Specific Plan (Plan) on June 24, 2014. The Specific Plan provides a vision for how the Downtown will integrate housing, jobs, retail, and transportation linkages including pedestrian, disability access, and vehicular traffic with transit hubs. The purpose of the Specific Plan is to set forth policies focused on what is achievable to implement in the Downtown over the next 20 to 30 years and set forth actions to be undertaken by the City.

One of the objectives of the plan is to reflect early California architecture in the design of new buildings. On September 14, 2015, an Ad Hoc Committee reviewed the project and recommended approval of the building design with recommendations to incorporate arched elements and detailing at the ground floor and use building colors indicative of early

architecture. The DRB subsequently conducted their review of the project considering the Committee's recommendations and agreed the building design reflect early architectural themes and elements consistent with the objectives outlined in the Plan.

The project is consistent with policies that encourage a variety of living opportunities through a range of housing types and prices. The project as proposed includes six unit types at different rental rates. The project proposes high density development within a 10-minute walk of transit and BART that is consistent with the strategy to increase the amount of residential units in Downtown. For these reasons and others, the project is consistent with the Downtown Specific Plan.

D. Zoning Consistency

As conditioned, the proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of the development code and the Concord Municipal Code (CMC). The proposed use is classified as Multi-family, which is a conditionally permitted use in the DMX (Downtown Mixed Use) Zoning District. The project meets the standards for lot area, floor area ratio, setbacks, and building height of DMX zoning, satisfies applicable requirements under Development Code, Division IV, General Development Standards, and complies with all other applicable provisions of the Development Code and Concord Municipal Code as described below.

E. Development Regulations

Setbacks

The Development Code requires minimum setbacks for individual interior and corner lots in the DMX district. The Development Code does not however address "full block developments" where all four sides of a site are surrounded by roadways and could be considered a corner lot, which is the case with this project. Additionally, the lot shape is trapezoidal, which also lends to its unique character in terms of measuring the appropriate setback allowances.

Development Code Section 18.150.140(C)(7), titled "Determination of Setbacks on Irregular-Shaped Lots," states, "The planning division shall determine setbacks for irregular-shaped lots...on a case-by-case basis." In general, the project meets the setbacks specified in the DMX district with one exception being the front yard setback along East Street. The City is requiring the applicant to provide a public access easement for a storm drain line that runs the width of the property. The code requires setbacks to be measured from the edge of an easement, thus in one location the setback is less than 10 feet however they vary along the frontage and are as deep as 22 feet.

Although the Downtown Specific Plan provides less clarity regarding setback requirements and refers to the "required setbacks in the City Zoning Codes, the Plan seems to encourage smaller setback allowances by promoting "all new developments on primary streets should build to a zero front lot line." The Plan also provides guidelines that "encourage porches,

patios and stoops in the building setback zone” and that “building setbacks should be landscaped to ensure privacy in case of residential ground floor use.”

Given the unique character of the lot, which is surrounded on all sides by roadways and by its unique trapezoidal shape, staff believes the proposed setbacks are appropriate as proposed. Staff feels the proposed front yard setback meets the intent of the design goals of the Downtown Specific Plan by providing an attractive landscaped buffer between the street and the building façade. The perceived setback from the face of curb will be a minimum of 21 feet within which are a landscaped strip, sidewalk, and private landscaping adjacent to the building. In most cases the setback will measure at least 10 feet or more in depth.

Building height

The DMX development standards require a minimum first floor height of 15 feet. The intent of the regulation is to account for ground floor retail uses. Tall ceiling heights at the ground floor are a critical part of what makes a retail space function properly and feel inviting for pedestrians walking next to the building. Low ceilings make uninviting spaces that rent for less, feel cramped, are less visible from the street, and do not allow commercial uses to flourish. Staff notes the prominent corner of the building includes a leasing office and amenity space that is designed as a two-story volume even though ground floor retail is not required nor is it proposed at this time. The building design at this location would however provide the flexibility to incorporate a retail use in the future.

F. Private and Open Space

Developments with three or more dwelling units shall provide at least 175 square feet of private and/or open space per dwelling unit. This requirement may be met by providing a combination of private and common open space as long as each unit has a minimum private open space of 60 square feet.

The open space or recreational facility requirements may be modified by the decision-making body based on findings that the site is physically constrained, or that the quality of life accommodated by the project will not be compromised, or that the residents will benefit from other amenities that are located in close proximity to the project site (See Development Code Section 18.150.100 (I)).

The applicant has maximized the use of private and open space throughout the project. A combination of private patios, balconies, common open space areas, and rooftop terraces are proposed. The project is located within ¼ mile of Todos Santos Plaza and Baldwin Park and within ¾ mile of Ellis Lake Park and Willow Pass Park. Because the project closely meets the private and open space requirements for the zoning district and there are multiple parks within reasonable walking distance, staff feels the project qualifies for an exception from these requirements.

G. Design Review

Pursuant to Development Code Chapter 18.415, findings are required for approval of the Design Review application. Staff analysis on how the project meets those findings is provided below with a comprehensive list included in the draft resolution attached as Exhibit A to this report.

1) The project is consistent with the General Plan.

The project is consistent with the General Plan as explained in Section IV-A above.

2) The project meets the following criteria in Section 18.415.080.

(a) The building design and landscaping supports public safety and security by allowing for surveillance of the street by people inside buildings and elsewhere on the site.

The apartment units will face outward toward the public realm as will the shared open space thus allowing for surveillance of the street within the apartment units and shared open spaces. Pedestrian entries for residents will be secured and accessed with a key fob. Guests will be “buzzed” in by residents. The parking garage will be secured after hours and guests will not have access to resident parking.

(b) The design is compatible with the historical or visual character of any area recognized by the City as having such character.

Central Concord is the historic, economic, and cultural heart of the City. It encompasses rich history visible in a number of historic sites in the area such as Todos Santos Plaza. Accordingly, the land use objectives of the Downtown Specific Plan encourage reflecting early California architecture in the design of new buildings.

On September 14, 2015, an Ad Hoc Committee reviewed the project and recommended approval of the proposed building design that incorporates multiple earth-tone colors and arches that are reminiscent of local examples of early California architecture.

(c) The project design preserves major view and vistas along major streets and open spaces and trails and enhances them by providing project amenities.

The site and surrounding area is flat and has no topographically significant features, such as valleys, hillsides, and ridgelines that provide scenic views or vistas. The site is not near any open space or trail.

(d) The proposed lighting and fixtures are designed to complement on-site buildings, are of an appropriate scale for the development, and provide adequate light for safety and security while minimizing glare.

Exterior lighting will be residential in type and character to minimize glare and improve nighttime visibility and safety for pedestrians and vehicles.

- (e) All mechanical, electrical, and utility equipment is located, screened, or incorporated into the design of the buildings so as not to be visible from off-site, and screening devices are consistent with the exterior colors and materials of the buildings.*

The project conditions require final details of mechanical, electrical, and utility equipment to be shown on building permit plans to ensure they are located behind fencing or screened so as not to be visible from off-site.

- (f) The overall design of the project, including its scale, massing, site plan, exterior design, and landscaping, enhances the appearance and features of the project site and surrounding natural and built environment.*

Design changes have been made to ensure the project is appropriate for the surrounding built environment, including its scale, massing, site plan, and exterior design. These changes, which were recommended for approval by an Ad Hoc Committee and the DRB, include the incorporation of arches along the ground floor elevations, the use of “rich” building materials, and four-sided design to reduce mass and create visual interest.

The DRB recommended approval of the project on June 23, 2016 following revisions to the project’s design to address architectural detailing and clarifying the location of proposed landscaping. As part of the DRB’s recommendation, the final architectural details, final landscaping, and final materials and finishes are to return to the Board for further review prior to building permit issuance. Staff has included the Board’s specific recommendations as conditions of approval.

H. Site Contamination and Remediation

Soil, groundwater, and soil vapor investigations have been conducted at the site by Environmental Associates, Inc. (EAI), Treadwell & Rollo (T&R), and CPI Geologic (CPI) in the last 10 years.

In July 2005, EAI conducted a Phase I Environmental Site Assessment (ESA) that identified three potential environmental concerns at the site: 1) A dry cleaning facility on the north side of the Site at 2482-2488 Salvio Street, in operation since the 1960s; 2) An auto repair shop on the west side of the Site at 1940 East Street, in operation since the 1940s; and 3) A gas station on the west side of the Site at the corner of East Street and Salvio Street, in business in 1926.

Contaminants of concern (COCs) identified in soil and groundwater included petroleum hydrocarbons and chlorinated solvents. The primary potential environmental receptors relative to the planned residential development are: 1) Potential direct exposure to

hydrocarbon-impacted soils during construction related activities; and 2) Potential residential indoor air PCE exposure for apartment building occupants.

On October 7, 2015, Gribi Associates prepared a Site Mitigation Plan (SMP) for the project. The SMP included a detailed evaluation of the environmental site conditions and provided a mitigation plan to address potential environmental concerns relative to developing a new multi-tenant residential development.

On June 6, 2016, Gribi Associates submitted a Remedial Action Plan (RAP) on behalf of the applicant. In order to provide sufficient mitigation for the planned multi-tenant residential development, the RAP proposes: 1) Soil: a Risk Management Plan (RMP) will be implemented to protect potential human receptors during construction-related development activities; 2) Vapor: engineering controls will be installed during site development, to include installation of sub-slab passive venting and installation of a vapor barrier; and 3) Groundwater: a deed notification will be recorded with the property which precludes groundwater use on the property and requires implementation of the Risk Management Plan in perpetuity.

The report concluded the soil and groundwater hydrocarbon and HVOC detections are sufficiently low and that active remediation is not warranted. Further, given the diffuse nature of groundwater PCE impacts, groundwater remediation would be “expensive for very little return on investment.” Lastly, soil vapor impacts are sufficiently low that the planned mitigation measures (vapor barrier and SSDS) will be more than adequate to halt potential vapor intrusion into the planned site building.

The San Francisco Bay Regional Water Quality Control Board provided staff with a regulatory status update on the project. Regional Water Board staff reviewed the updated RAP, dated July 15, 2016 prepared by Gribi Associates and found it an acceptable approach to address residual pollution at the site in preparation for the project. Prior to the Water Board’s final approval of the RAP, a 30-day public comment period will be conducted. During that time period, a fact sheet describing the plan and soliciting public comment will be distributed to nearby property owners and interested parties. Once the public comment closes, comments will be responded to and a response to comments document prepared.

The Water District’s conditional approval of the applicant’s remediation plan is attached as Exhibit C. Staff in consultation with the Water Board is proposing a condition of approval that states the applicant must secure all requisite approvals from the Board prior to the issuance of the first permit. The applicant has agreed to this condition.

I. BART

The project is adjacent to a portion of BART’s elevated tracks. Staff solicited input from BART regarding the project design from the inception of the project. BART has confirmed they will require the applicant to apply for a construction permit due to the proximity of the project to the tracks. The applicant has been meeting with BART representatives and their review of the project is ongoing.

BART has expressed an interest to be involved in the development of construction documents once the applicant hires a structural engineer. All structural, civil, landscape, mechanical, plumbing and electrical designs are required to meet BART's guidelines and must be approved prior to construction. The applicant has agreed to keep BART representatives informed of all implications that may affect the design of the project during the development of the working drawings.

A condition of approval is proposed requiring the applicant to secure the requisite approvals from BART and provide written evidence to city staff prior to the issuance of the first permit.

J. Signage

A full signage package will be submitted during the construction documentation phase of the project. Currently, no signage is anticipated to be located within less than 20" from the Bart Operational Envelope (required clearance is 10"), nor to be projected over the property line. The DRB is required to review the sign program prior to the issuance of permits and installation of any signage.

V. Fiscal Impact

The proposed would have a negligible fiscal impact on the City.

VI. Public Contact

Notification was mailed to all owners and occupants of property within three-hundred (300) feet of the subject parcel, and has been published in the Contra Costa Times, as required by the Concord Municipal Code. This item has also been posted at the Civic Center and at the subject site at least 10 days prior to the public hearing.

VII. Summary and Recommendations

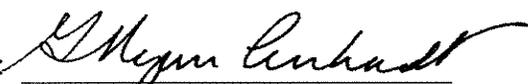
Staff is pleased with the proposed project. With input from staff, the Ad Hoc Committee, the DRB, and responsible agencies, the site plan and project design respond to the adjacent land uses and development pattern and minimize potential negative impacts. The building design results in an aesthetically pleasing facility in terms of architecture and streetscape presence. No significant impacts are anticipated with the development of the project.

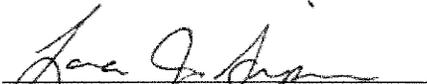
Staff recommends the Planning Commission consider staff's report, allow the applicant to make a presentation and answer any questions from the Planning Commission, take public testimony, and close the public hearing upon completion of public testimony. Following the public testimony, staff recommends that the Planning Commission deliberate regarding the identified policy and/or project issues.

VIII. Motion

Project Approvals

I (Comm. _____) hereby move that the Planning Commission adopt Resolution No. 16-22PC approving Concord Village Use Permit (PL15438 - UP, MP, DR), subject to the Conditions of Approval set forth in Attachment A to Resolution 16-22PC. (Seconded by Comm. _____.)

Prepared by: 
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Reviewed by: 
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Exhibits:

- A - Resolution No. 16-22PC, approving the Concord Village Use Permit and Design Review (PL15438 - UP, MP, DR)
- B - Written statement date stamp received June 14, 2016
- C - Project plans date stamp received June 14, 2016
- D - Letter from San Francisco Bay Regional Water Quality Control Board dated July 27, 2016

BEFORE THE PLANNING COMMISSION
OF THE CITY OF CONCORD,
COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA

A RESOLUTION APPROVING CONCORD
VILLAGE USE PERMIT, MINOR USE PERMIT,
AND DESIGN REVIEW (PL15438 - UP, MP, DR)

Resolution No. 16-22PC

WHEREAS, on October 15, 2015, Andrew Schwisow, on behalf of the Applicant, Nicholson Development Properties, submitted an application for a Use Permit, Minor Use Permit, and Design Review for a 230-unit apartment project with approximately 3,000 sq. ft. of amenity space on a 2.3-gross acre site at 2400 Salvio Street and 2401 and 2471 Willow Pass Road (APN's 126-083-011, -012, -013); and

WHEREAS, on July 21, 2016 the application was deemed complete for processing; and

WHEREAS, pursuant to the provisions of the California Environmental Quality Act (CEQA) of 1970, as amended; the project is classified as Categorical Exempt pursuant to Section 15332 "In-Fill Development Projects," and therefore no further environmental review is required; and

WHEREAS, the Planning Commission, after giving all public notices required by State law and the Concord Municipal Code, held a duly noticed public hearing on August 17, 2016, on the subject proposal; and

WHEREAS, the Planning Commission considered testimony and information received at the public hearing and the oral and written reports from City staff dated August 17, 2016, as well as other documents contained in the record of proceedings relating to the proposed project, which are maintained at the offices of the City of Concord Planning Division "Project Information"; and

WHEREAS, on August 17, 2016, the Planning Commission, after consideration of all pertinent plans, documents and testimony, declared their intent to approve the subject proposal subject to the Conditions of Approval contained herein as Attachment A.

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS: that the Planning Commission does hereby approve the Concord Village (PL15438 - UP, MP, DR) Use Permit, Minor Use Permit, and Design Review subject to the Conditions of Approval (Attachment A) and further makes the

1 following findings:

2 RECITALS

3 1. The recitals above are true and correct and incorporated herein by reference. The
4 recitals constitute findings in this matter, and together with the Project Information, serve as an
5 adequate and appropriate evidentiary basis for the findings and actions set forth in this Resolution.

6 CEQA

7 2. Pursuant to the provisions of the California Environmental Quality Act (CEQA) of
8 1970 (and as amended); the project is classified as Categorical Exempt pursuant to Section 15332
9 “In-Fill Development Projects,” because 1) the project is consistent with the General Plan, Specific
10 Plan and applicable zoning designation and regulations (as set forth below); 2) the proposed
11 development occurs within city limits on a project site of no more than five acres substantially
12 surrounded by urban uses; 3) the project has no value as habitat for endangered, rare or threatened
13 species; 4) approval of the project would not result in any significant effects related to traffic, noise,
14 air quality or water quality; and, 5) the site can be adequately served by all required utilities and
15 public services.

16 General Plan

17 3. *Downtown Mixed Use.* The project’s density of 110 dwelling units per net acre
18 exceeds the density of 33 - 100 dwelling units per net acre allowed in the Downtown Mixed Use
19 district.

20 4. *Density Bonus.* The maximum density may be increased up to a maximum of 25
21 percent for residential projects because the project includes a minimum of at least three of the
22 elements listed in the Transit Station Overlay District as follows:

23 (a) The project provides continuity of building facades along the street with no
24 interruptions in the progression of the building and uses except for pedestrian access because the
25 building encompasses an entire block with a continuous façade along all four elevations, and
26 pedestrian entries are incorporated into the façade of the building and in outdoor spaces.

1 (b) The project provides pedestrian friendly street level building design amenities
2 including: contemporary architecture and modern materials on all four sides of the building,
3 orientation toward a visible intersection, outward facing ground floor units, courtyards, and amenity
4 space that interact with pedestrians, and private open space facing outward toward the street or inward
5 toward an outdoor courtyard with exposure to the surrounding streets.

6 (c) The project contributes to transit-supportive facilities by providing secure
7 bicycle storage areas in excess of the code requirements for short term and long term parking on all
8 floors of the parking garage and the project is located within close proximity to a BART station with a
9 direct pedestrian connection via East Street and Park Street.

10 5. The project provides residential uses and is thus consistent with the intent of the
11 Downtown Mixed Use designation to establish housing opportunities in the Downtown.

12 6. The project is in substantial compliance with the goals, objectives, and policies of the
13 Concord General Plan to encourage infill residential development, including supporting higher density
14 and mixed use development in Downtown and near transit centers and corridors as outlined in General
15 Plan Principle LU-1.3.3.

16 7. The project as conditioned is consistent with General Plan policies that encourage
17 pedestrian-oriented urban design by incorporating building elements such as ground floor patios,
18 human-scale landscaping at the street level, and outdoor seating and building entries at the street level
19 as outlined in General Plan Policy LU-4.2.3.

20 8. The project reinforces and capitalizes on neighborhood strengths and benefits the
21 neighborhood identity and scale by proposing building designs and materials that are consistent with
22 the neighborhood and architecture that mitigates the mass of the building with setbacks, building relief
23 and careful use of landscaping to blend with the surrounding neighborhood as outlined in General
24 Plan Policy LU-1.1.1.

25 Downtown Specific Plan

26 9. The project is consistent with the objectives of the Downtown Specific Plan to reflect
27

1 early California architecture in the design of new buildings by its incorporation of arched elements
2 and detailing at the ground floor and use of building colors that are indicative of early architecture as
3 confirmed by the Ad Hoc Committee and Design Review Board.

4 10. The project is consistent with policies that encourage a variety of living opportunities
5 through a range of housing types and prices in that there are six unit types at different rental rates.

6 Development Code

7 11. The project meets standards for lot area, lot coverage, setbacks, and building height of
8 DMX zoning, and all applicable requirements under Development Code, Article IV, Development
9 Standards.

10 Use Permit and Minor Use Permit

11 12. The proposed use is allowed within the applicable zoning district and complies with all
12 other applicable provisions of the development code and the Concord Municipal Code.

13 13. The proposed use is consistent with the general plan and any applicable specific plan.

14 14. The design, location, size, and operating characteristics of the proposed activity are
15 compatible with the existing and future land uses in the vicinity.

16 15. The site is physically suitable for the type, density, and intensity of the proposed use,
17 including access, utilities, and the absence of physical constraints.

18 16. Granting the permit would not be detrimental to the public health, safety, or welfare of
19 the persons residing or working in the subject neighborhood or materially detrimental or injurious to
20 property or improvements in the vicinity and zoning district where the property is located.

21 Private and Open Space

22 17. Private and open space is maximized throughout the project with private patios,
23 balconies, common open space areas, and rooftop terraces.

24 18. The project is located within ¼ mile of Todos Santos Plaza and Baldwin Park and
25 within ¾ mile of Ellis Lake Park and Willow Pass Park.

26 19. The project closely meets the private and open space requirements for the zoning
27

1 district and there are multiple parks within reasonable walking distance of the project.

2 20. The residents will benefit from other amenities that are located in close proximity to
3 the project site and in this case, the open space or recreational facility requirements may be modified.

4 Design and Site Development Review

5 21. The project is consistent with the General Plan and Downtown Specific Plan as
6 addressed in the findings above.

7 22. The project meets the following criteria in Section 18.415.080 (Design Criteria):

8 (a) *The building design and landscaping supports public safety and security by*
9 *allowing for surveillance of the street by people inside buildings and elsewhere on the site.* The
10 apartment units will face outward toward the public realm as will the shared open space thus allowing
11 for surveillance of the street within the apartment units and shared open spaces.

12 (b) *The design is compatible with the historical or visual character of any area*
13 *recognized by the City as having such character.* On September 14, 2015, an Ad Hoc Committee
14 reviewed the project and recommended approval of the proposed building design that incorporates
15 multiple earth-tone colors and arches that are reminiscent of local examples of early California
16 architecture.

17 (c) *The project design preserves major view and vistas along major streets and*
18 *open spaces and trails and enhances them by providing project amenities.* The site and surrounding
19 area is flat and has no topographically significant features, such as valleys, hillsides, and ridgelines
20 that provide scenic views or vistas. The site is not near any open space or trail.

21 (d) *The proposed lighting and fixtures are designed to complement on-site*
22 *buildings, are of an appropriate scale for the development, and provide adequate light for safety and*
23 *security while minimizing glare.* Exterior lighting will be residential in type and character to minimize
24 glare and improve nighttime visibility and safety for pedestrians and vehicles.

25 (e) *All mechanical, electrical, and utility equipment is located, screened, or*
26 *incorporated into the design of the buildings so as not to be visible from off-site, and screening*
27

1 *devices are consistent with the exterior colors and materials of the buildings.* The project conditions
2 require final details of mechanical, electrical, and utility equipment to be shown on building permit
3 plans to ensure they are located behind fencing or screened so as not to be visible from off-site.

4 (f) *The overall design of the project, including its scale, massing, site plan,*
5 *exterior design, and landscaping, enhances the appearance and features of the project site and*
6 *surrounding natural and built environment.* Design changes have been made to ensure the project is
7 appropriate for the surrounding built environment, including its scale, massing, site plan, and exterior
8 design. These changes, which were recommended for approval by an Ad Hoc Committee and the
9 DRB, include the incorporation of arches along the ground floor elevations, the use of “rich” building
10 materials, and four-sided design to reduce mass and create visual interest.

11 (g) *The project design is appropriate to the function of the project and will provide*
12 *an attractive and comfortable environment for occupants, visitors, and the general community.* The
13 project includes, among other things, the following design features to enhance the functionality of the
14 apartment units and the attractiveness and comfort of the general community: off-street parking in
15 excess of what is required by Code; landscaping that provides screening and shade; sidewalks on all
16 four sides of the project, stormwater facilities to reduce and treat runoff; and site improvements that
17 improve circulation, parking, drainage, and lighting for the area.

18 (h) *The architectural details, colors, materials, and landscaping are internally*
19 *consistent, fully integrated with one another, and used in a manner that is visually consistent with the*
20 *proposed architectural design.* The project meets the criteria because building materials and colors
21 will be used that are similar to properties in the Downtown, and a unifying landscape palette will be
22 used for the entire project.

23 (i) *The project is compatible with neighboring development in a similar Zoning*
24 *District by avoiding large differences in building scale and character and provides a harmonious*
25 *transition between the proposed project and surrounding development.* The project meets the criteria
26 and is similar in scale to other multi-family projects in the Downtown, the building is pulled back
27

1 from the courtyards to create relief along the building facades, a landscape buffer is provided along
2 the perimeter of the project, and setbacks are provided similar to other development in the
3 neighborhood.

4 (j) *The project creates an attractive and visually interesting built environment with*
5 *a variety of building styles and designs, well-articulated structures that present varied building*
6 *facades, rooflines, and building heights within a unifying context.* The project meets the criteria and
7 creates an attractive and visually interesting built environment featuring different architectural styles
8 with various design elements including varied roof forms; decorative elements such as porches at the
9 street level, rooftop terraces, and “Juliette-style” balconies; and a mix of building materials that create
10 interesting textures and a quality look to the buildings. Similarities in the design elements, materials,
11 and colors between the units create a unifying context for the project.

12 (k) *The landscaping is compatible with and enhances the architectural character of*
13 *the buildings and site features, and blends with the surrounding landscape. Landscape elements*
14 *complement the buildings and rooflines through color, texture, density, and form. Landscaping is in*
15 *scale with on-site and off-site buildings, and plantings have been selected and located to avoid*
16 *conflicts with views, lighting, infrastructure, utilities, and signage.* The DRB has reviewed the
17 landscape plan and determined that it is compatible with the building architecture. The landscape plan
18 will return to the DRB for final approval with revisions to ensure the landscaping complements the
19 apartment units.

20 (l) *Stormwater treatment areas have been integrated into the landscape design.*
21 The project includes bio-retention and self-treating areas integrated into the landscape design adjacent
22 to the canal.

23 (m) *New construction does not need to match existing surrounding development or*
24 *buildings; however, the design shall complement or enhance existing development.* The project does
25 not match surrounding homes but meets the criteria because it will improve and enhance an
26 underutilized site with new apartments designed in a modern, early California architectural style that
27

1 complements the neighborhood's design vernacular.

2 23. *The project is consistent with all applicable Design Guidelines adopted by the City*
3 *Council that are in effect at the time of approval.* The project is consistent with the Concord
4 Community Design Guidelines because:

5 (a) The exterior building colors and materials consist of earth tone colors, wood,
6 scored plaster, and other materials that are compatible with the neighborhood;

7 (b) Apartment units are sited and designed with a functional relationship to the site
8 and street, and in compliance with setbacks to provide accessible and usable open spaces;

9 (c) The project provides emergency access as required by Contra Costa County
10 Fire Protection District;

11 (d) Building lighting design is compatible with the architecture and will be
12 operated at levels consistent with lighting in the area;

13 (e) Street lighting will comply with City photometric standards to ensure lighting
14 levels are kept to the minimum necessary for public safety;

15 (f) Perimeter fencing will be constructed of durable high quality wood material;

16 (g) Exterior yards are landscaped to provide a continuity of the landscape palette
17 and concept along all four sides of the project; and

18 (h) Required off-street parking is provided for each apartment unit.

19 24. *The interrelationship between the orientation, location, and elevations of buildings and*
20 *structures and site improvements are mutually compatible and aesthetically harmonious.* The
21 apartment units provide a consistent pattern oriented towards the street and are thus aesthetically
22 harmonious with each other and the streetscape. The apartments will be accessed by two driveways
23 leading to a parking garage with adequate parking for residents and guest. As discussed above, the
24 apartment units will be designed with similar design elements, materials, and colors to create a
25 unifying/harmonious context.

26 25. *The orientation, location, and elevation of the building and site improvements are*
27

1 *compatible with and are aesthetically harmonious with adjacent development or the character of the*
2 *neighborhood.* The project will be harmonious with the pattern of similar multi-family buildings in
3 the Downtown and will use architectural styles that the Design Review Board finds to be aesthetically
4 compatible with homes in the neighborhood.

5 26. *Landscaping, irrigation systems, walls and fences, or features to conceal outdoor*
6 *activities, utility enclosures, and trash facilities meet current requirements or provide a significant*
7 *upgrade and improvement to the site and the appearance of the neighborhood.* New landscaping and
8 fencing designed to meet current requirements will result in a significant improvement to existing site
9 conditions and a visual upgrade to the neighborhood in general.

10 27. *Parking, pedestrian access, and traffic circulation are adequate or improved for all*
11 *modes of circulation.* The project meets this finding because it will construct improvements that
12 enhance parking, pedestrian safety, bicycle parking, and improved access to the Downtown for the
13 neighborhood.

14 This resolution shall become effective immediately upon its passage and adoption.

15 **PASSED AND ADOPTED** this 17th day of August, 2016, by the following vote:

16 **AYES:**

17 **NOES:**

18 **ABSTAIN:**

19 **ABSENT:**

20
21 _____
22 Laura Simpson, AICP
23 Secretary to the Planning Commission

24 Attachment:
25 A – Draft Conditions of Approval

ATTACHMENT A

DRAFT

CONDITIONS OF APPROVAL

**CONCORD VILLAGE
PL15438 - UP, MP, DR
2400 Salvio Street and 2401 and 2471 Willow Pass Road
APN's 126-083-011, -012, -013**

PERMIT DESCRIPTION

- These Conditions of Approval apply to and constitute the approval of **Concord Village Use Permit (PL15438 - UP) for 230 apartment units on a 2.3-gross acre site** with the following development standards:

Standards	Required/Allowed	Proposed
Density (du/net acre) minimum/maximum	33 – 100 du/net acre	110
Floor Area Ratio (FAR) minimum	1.00	1.09
Floor Area Ratio (FAR) maximum	6.0	1.09
Lot Area (square feet) minimum	10,000	91,672
Lot Width (feet) minimum		
Interior Lot	100	-
Corner Lot	110	311
Lot Depth (feet) minimum	100	277
Building Height (feet)		
Minimum	30	>30
Maximum	200	69
Building Height – First floor minimum (feet, floor to floor height)	15	10
Setbacks (feet) required minimum		
Front	10	9-22
Interior Side	0	-
Corner Side	10	-
Rear	0	4-23
Open Space/Unit (square feet) minimum	175	152
Parking Spaces		
Vehicle	411	425
Motorcycle	8	12
Bicycle		
Short Term	21	34
Long Term	58	100

2. These Conditions apply to and constitute approval of a **Minor Use Permit (PL15438 - MP)** to **increase the density up to a maximum of 25 percent for residential projects in the Transit Station Overlay District.**

3. These Conditions apply to and constitute approval of **Design Review (PL15438 - DR)** for building elevations and landscape plans for **230 apartment units.** Final colors and materials shall be consistent with the color and materials exhibit dated **April 26, 2016**, prepared by **SVA Architects** and approved by the Design Review Board.

Exterior building materials and colors shall be in substantial conformance with the approved plans as follows:

<u>Materials</u>	<u>Manufacturer</u>	<u>Color Name</u>	<u>Number</u>
Plaster Paint	Behr	Coco	N270-3
Plaster Paint	Behr	Amber Autumn	S290-5
Plaster Paint	Behr	Colorful Leaves	M190-7
Plaster Paint	Behr	Shiitake	N220-4
Plaster Paint	Behr	Swiss Coffee	1812
Metal Roof	PPG Coating	Cocoa Bean	UC 105735
Metal Handrails	Hansen	Black Matte	UC 105735
Vinyl Windows	Millgard	Ivory	N/A

4. The following Exhibits, date stamped received by the City of Concord, on **June 14, 2016** are approved and shall be incorporated as Conditions of Approval.

<u>Plan</u>	<u>Date Prepared</u>	<u>Prepared by</u>	<u>Sheet</u>
Cover Sheet Project Data	6/14/16	SVA Architects	A-0
Regional Contextual Map	6/14/16	SVA Architects	A-1
Conceptual Building Plan Level 1	6/14/16	SVA Architects	A-2
Conceptual Building Plan Level 2	6/14/16	SVA Architects	A-3
Conceptual Building Plan Levels 3-5	6/14/16	SVA Architects	A-4
Conceptual Building Plan Level 6	6/14/16	SVA Architects	A-5
Conceptual Building Roof Plan	6/14/16	SVA Architects	A-6
Conceptual Garage Plans Levels 0-6	6/14/16	SVA Architects	A-7
Conceptual Unit Plans Studio and One-Bedroom Units	6/14/16	SVA Architects	A-8
Conceptual Unit Plans 2-Bedroom Units	6/14/16	SVA Architects	A-9
Conceptual Building Sections	6/14/16	SVA Architects	A-10
Conceptual Exterior Elevations East Street	6/14/16	SVA Architects	A-11
Conceptual Exterior Elevations Willow Pass Road	6/14/16	SVA Architects	A-12
Conceptual Exterior Elevations Port Chicago Highway	6/14/16	SVA Architects	A-13

Conceptual Exterior Elevations Salvio Street	6/14/16	SVA Architects	A-14
Conceptual Design Imagery	6/14/16	SVA Architects	A-15
Conceptual Signage Design	6/14/16	SVA Architects	A-16
Building Typical Profile Sections 2D	6/14/16	SVA Architects	A-17
Building Typical Profile Sections 3D	6/14/16	SVA Architects	A-18
Existing Conditions	6/14/16	Fuscoe Engineering	C1
Conceptual Grading	6/14/16	Fuscoe Engineering	C2
Conceptual Utilities/Dimensions	6/14/16	Fuscoe Engineering	C3
Details	6/14/16	Fuscoe Engineering	C4
Site Plan Dimensions and Easements	6/14/16	Fuscoe Engineering	C5
1:1 Sections N-S and W-E	6/14/16	Fuscoe Engineering	C6
Exaggerated Section N-S	6/14/16	Fuscoe Engineering	C7
Exaggerated Section W-E	6/14/16	Fuscoe Engineering	C8
Tree Removal & Preservation Plan	6/14/16	PGAdesign	L-0.1
Overall Street Level Plan	6/14/16	PGAdesign	L-1.0
Plaza & South Courtyard Plan	6/14/16	PGAdesign	L-1.1
North Courtyards Plan	6/14/16	PGAdesign	L-1.2
Ground Level Decks Plan	6/14/16	PGAdesign	L-1.3
Roof Deck Plan	6/14/16	PGAdesign	L-1.4
Proposed Plant List & Images MWEL0 Compliance	6/14/16	PGAdesign	L-1.5
Select Details	6/14/16	PGAdesign	L-1.6
Elevations	6/14/16	PGAdesign	L-1.7
Product Cut Sheet	6/14/16	PGAdesign	L-1.8

GENERAL CONDITIONS

5. **The applicant shall secure all requisite approvals from the San Francisco Bay Regional Water Quality Control Board and provide staff with written evidence of their approval to construct the project prior to the issuance of the first permit. (PLNG, ENGR, BLDG)**

6. **The applicant to secure all requisite approvals from BART and provide staff with written evidence of their approval to construct the project prior to the issuance of the first permit. (PLNG, ENGR, BLDG)**

7. The Conditions are the responsibility of the applicant and all contractors. Compliance shall occur as specified in the Conditions or at one of the following project milestones:
 - (a) With the submittal of Grading, Improvement, Landscape, or Building Plans.
 - (b) Prior to issuance of Encroachment, Grading, or Building Permits, whichever comes first.
 - (c) Prior to Construction.
 - (d) On going during Construction.
 - (e) Prior to approval of the Final Map.
 - (f) Prior to occupancy approval.

If timing for compliance is not specified, it shall be determined by the Divisions listed after the Condition. **(PLNG, BLDG, ENGR)**

8. Where a plan or further information is required, it is subject to review and approval by the applicable City Department/Division, as noted at the end of each Condition. The Division listed first shall be the primary contact for implementation of that Condition. **(PLNG, BLDG, ENGR)**
9. The project shall comply with all applicable Federal and State laws and Concord Municipal Code (CMC) requirements. **(PLNG, BLDG, ENGR)**
10. Minor modifications that are found to be in substantial conformance with the approved plans such as colors, plant materials, or minor lot line adjustments, may be approved administratively. Major modifications shall be approved by the applicable decision making body. **(PLNG, ENGR)**
11. The Conditions of Approval shall be listed on a plan sheet that is included in the construction plan set (Grading, Utility, Landscape, and Building Plans). **(PLNG, ENGR)**
12. Two annotated copies of the Conditions of Approval specifying how each applicable condition has been satisfied, shall be submitted as follows:
 - (a) At the time Grading, Utility, Landscape, and/or Building Plans are submitted for plan check, whichever comes first.
 - (b) Prior to occupancy approval. **(PLNG, ENGR)**
13. The project site and area surrounding the site shall be fenced and maintained in a weed and litter free condition for the period prior to construction. **(BLDG, PLNG)**
14. Existing fencing shall remain around the site during construction or an alternative perimeter fence provided as approved by the City. **(PLNG)**

ARCHITECTURAL

15. **The applicant shall return to the Design Review Board as a staff report item with details of the stucco scoring, sun trellis, bird repellent wire in the tower elements, finalization of finishes including the roof materials, and a sample of the metal fence prior to the issuance of the building permit. (DRB, PLNG)**
16. All mechanical, electrical, and utility equipment shall be located, screened, or incorporated into the design of the homes so as not to be visible from off-site. Vents, gutters, downspouts, flashing, electrical conduits, etc., shall be painted to match the color of the adjacent surface, unless otherwise approved by the Planning Division. **(PLNG)**

LANDSCAPING

17. **The applicant shall return to the Design Review Board as a staff report item with the final landscape plan with sections and plan views of the planted bioswales, and sections of wall groupings (especially the ones that are setback from the street and are visible) prior to the issuance of the building permit. (DRB, PLNG)**

18. The applicant shall submit Final Landscape Plans prepared by a licensed Landscape Architect, registered by the State of California, for review and approval with the Grading, Improvement, or Building Plans, whichever comes first, prior to the issuance of any permit. The Plan shall be drawn on or consistent with the Site Plan prepared by the Civil Engineer, with the following information:
 - a. A legend that lists all plant species (Latin and common name), including size, quantities, spacing, and ultimate height and width.
 - b. Specifications and details for planting, including staking of trees and planting in bio-swales or other stormwater treatment areas.
 - c. Utility information on the base map, screened back.
 - d. Existing trees to be saved and identification of all replacement trees.
 - e. Trees (minimum size 24-inch box) and shrubs (minimum 5-gallon; accent or sub-shrubs may be 1-gallon).
 - f. Six-inch vertical concrete curbs around landscaped areas. *(PLNG, ENGR)*
19. Irrigation Plans **shall include a drip irrigation system and** be submitted with the Final Landscape Plans in compliance with the requirements **of the Regional Landscape Water Conservation Ordinance adopted by Contra Costa Water District in compliance with the current State laws.** *(PLNG)*
20. All landscaping shall be installed prior to occupancy approval. Contact the Planning Division at least two weeks prior to Occupancy, to request a site inspection of all exterior improvements including buildings, driveways, parking lots, landscaping, irrigation, lighting, and walls. *(PLNG)*
21. Prior to occupancy approval, the licensed Landscape Architect shall submit a **Landscape Documentation Package with the following mandated elements:**
 - (a) Application**
 - (b) Certification of Compliance for Landscape Design**
 - (c) Certification of Compliance for Landscape Installation**
 - (d) Certification of Compliance for Landscape Audit**
 - (e) Certification of Compliance for Landscape Maintenance**
 - (f) Water Budget work sheets (if applicable)**
 - (g) Landscape Plans**
 - (h) Landscape and Maintenance Schedule** *(PLNG)*
22. Any vegetation damaged or destroyed on adjacent properties during construction shall be replaced with like or comparable plant materials, and if damage occurs off-site, the replacement plants shall be approved by the property owner and the Planning Division, prior to occupancy approval. *(PLNG)*
23. Submit a fence/wall plan showing the location, design, height, and construction details, for all fencing and walls consistent with, and as a part of, the Grading, Improvement, Landscape, and Building Plans, whichever comes first, and provide a timetable for installation. *(PLNG, ENGR)*

24. Fences and walls shall be a maximum height of three feet in required front yards and sight visibility triangles, and a maximum height of six feet on side and rear property lines except where otherwise approved. **(PLNG) CMC**

LIGHTING

25. Show all exterior lighting including: building fixtures, walkway lighting, parking lot lighting, and street lights on the Site, Utility, Landscape, and Building Plans, prior to the issuance of any permits. The height and style of fixtures shall be shown. Energy-saving fixtures shall be used and noted on the plans. **(PLNG, ENGR, BLDG)**
26. All exterior building and parking lot lighting shall provide illumination for safety and shall be installed in a manner that is glare shielded and directed away from adjacent properties and right-of-ways. **(PLNG)**
27. Submit a Photometric Plan for review and approval, showing the location of all light sources, streetlight spacing, intensity of luminance, and uniformity ratio, in accordance with the City's specifications, with the Improvement, Utility, or Building Plans, whichever comes first. The photometric analysis shall be reviewed by Engineering Services for the determination of streetlight spacing. **(ENGR, TRANS, BLDG, PD)**

SIGNAGE

28. All signage shall comply with the City of Concord Sign Ordinance. **(PLNG) CMC**
29. Submit a Master Sign Program (MSP) for review and approval by the Design Review Board containing the following criteria:
- a. Dimensioned drawings for all architectural variations of the building elevations showing all types of permitted signs, drawn to scale, at the maximum size allowed, including distances to the edge of sign area/roofline.
 - b. Drawings and standards showing specific location and types of signs allowed; minimum and maximum size (square footage), dimensions, letter height, length, font; colors, criteria for logos, and method of illumination, for all signs.
 - c. Written criteria for determination of sign type, size and location.
 - d. Wayfinding signs.
 - e. Material samples, color chips, and construction details.
 - f. Drawings and written criteria for temporary banners, window signs and other promotional signage.
 - g. Prohibited signs.
 - h. Additional criteria and requirements necessary for clarification.
 - i. Definitions. **(PLNG)**

PARKING

30. All parking spaces shall be striped; full-size spaces shall be 9 ft. by 19 ft; compact spaces shall be 8 ft. by 16 ft. Wheel stops shall be provided, except when parking spaces abut a concrete curb for a landscaped planter, then a two foot overhang is allowed. **(PLNG, ENGR) CMC**

31. A maximum of **25 percent** of the required parking spaces may be compact. Compact stalls shall be clearly identified. **(PLNG, ENGR) CMC**
32. Parking shall comply with CMC **Chapter 18.160** “Parking, Loading, and Access” including motorcycle and bicycle parking spaces, drive aisle and parking space dimensions, turning radii, back-out dimensions, driveway clearances, landscape median dimensions, and other relevant information. **(ENGR, PLNG) CMC**
33. Handicapped parking spaces shall comply with Chapter 11 “Site Development Requirements for Handicapped Accessibility” of Title 24 of the California Code of Regulations, and be located as close as possible to the primary entrance. **(BLDG)**

STREET IMPROVEMENTS

34. Dedicate a pedestrian easement to the City along project frontage, to accommodate the public sidewalk prior to issuance of the site development permit. **(ENGR)**
35. Construct improvements along the frontage on Salvio Street, East Street, Willow Pass Road, and Port Chicago Highway including but not limited to: driveway removal/replacement; pavement replacement two feet wide measured perpendicular from lip of gutter; ADA ramps; construction of concrete curb, gutter and sidewalk; ADA compliant concrete driveway approach; storm drainage system; conforms to existing improvements; and repair/replacement of deficient frontage improvements as determined by the City Engineer, prior to occupancy approval or Acceptance of Improvements. **(ENGR)**
36. Install slurry seal on Salvio Street, East Street, Willow Pass Road, and Port Chicago Highway, if the street is trenched in two locations or more. The slurry seal shall cover trench cuts, space in between and ten feet beyond the saw cut line. Also the slurry shall be extended from lip of gutter to street centerline. If the cut is beyond the center line the slurry seal shall cover lip of gutter to lip of gutter after completion of utility undergrounding and frontage improvements, prior to the Acceptance of Improvements. **(ENGR)**
37. Any trenching for underground utilities shall comply with the modified City Standard Detail S-17 for pavement repair and possible slurry placement. **(ENGR)**
38. Prohibit parking on Salvio Street, East Street, Willow Pass Road, and Port Chicago Highway. Install “No Parking” signs where parking is prohibited if applicable, prior to Acceptance of Improvements or the first Occupancy, whichever comes first. **(ENGR)**
39. Construct all public facilities in accordance with the current Americans with Disabilities Act (ADA), including driveways and curb ramps. **(ENGR)**

NOISE

40. Site preparation and construction activities shall be limited to the days and hours as set forth below:

Monday through Friday7:30 a.m. to 6:00 p.m.

Construction on Saturdays may be allowed only upon prior approval by the Building, Engineering, and Planning Divisions. No changes to these construction hours shall be allowed without the prior written consent of the City. A contact person shall be available during all construction activities in the evening and on weekends to respond to complaints and take actions necessary to reduce noise. **(BLDG, ENGR, PLNG)**

CONSTRUCTION ACTIVITIES

41. Contact Engineering Services to arrange for a Pre-Construction Meeting prior to issuance of Grading or Building Permits, whichever comes first. **(ENGR)**
42. Implement a dust and construction noise control plan. Submit the plan to Engineering Services for review and approval prior to issuance of the Grading Permit. **(ENGR)**
43. Construction equipment shall not be serviced at the site at any time. During construction no deliveries shall be made to the site and no delivery vehicles (including gasoline tanker trucks) shall enter the site between 6:00 p.m. and 7:30 a.m. on weekdays, and between 5:00 p.m. and 8:00 a.m. on weekends and federal holidays. Delivery vehicles shall have their engines turned off during unloading. **(BLDG, ENGR, PLNG)**
44. Employ the quietest construction equipment available, to muffle noise from construction equipment and keep all mufflers in good working order in accordance with State law. **(BLDG, ENGR, PLNG)**
45. Implement the following measures during construction:
 - a. Gather all construction debris on a regular basis and place them in a dumpster or other container that is emptied or removed on a weekly basis. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to storm water pollution.
 - b. Remove all dirt, gravel, rubbish, refuse, and green waste from the street pavement, and storm drains adjoining the project site. During wet weather, avoid driving vehicles off paved areas.
 - c. Broom sweep the public street pavement adjoining the project site on a daily basis. Caked-on mud or dirt shall be scraped from these areas before sweeping.
 - d. Install filter materials (e.g., sandbags and filter fabric) at the storm drain inlet nearest the downstream side of the site in order to preclude any debris or dirt from flowing into the City storm drain system. Filter materials shall be maintained and/or replaced as necessary to ensure effectiveness and to prevent street flooding. Dispose of filter particles in an approved trash receptacle.
 - e. Create a contained and covered area on the site for the storage of bags, cement, paints, flammable, oils, fertilizers, pesticides, or any other materials used on the site that have the potential for being discharged to the storm drain system by being windblown or in the event of a material spill.

- f. Never clean items such as machinery, tools, and brushes or rinse containers in a street, gutter, or storm drain.
 - g. Ensure that concrete, gunite, plaster, or similar supply trucks do not discharge wash water into street gutters or drains. **(ENGR, BLDG)**
46. No equipment shall be started or staging area be established on the streets or the site before or after the specified hours of construction. **(ENGR, BLDG)**
47. Ensure that no debris or construction scrap material is placed on any adjoining lot, open space area, or street, and that any such material stored on an adjoining site shall be completely removed and the site cleaned, prior to occupancy approval. **(ENGR, BLDG)**
48. At no time shall campers, trailers, motor homes, or any other vehicle be used as living or sleeping quarters on the construction site unless authorized for site security. **(ENGR, BLDG)**
49. There shall be no parking of construction equipment or construction worker's vehicles on residential streets nor adjacent streets at any time; all vehicles shall be maintained on-site. **(ENGR, BLDG)**
50. Portable toilets used during construction shall be kept as far as possible from adjacent properties and shall be emptied on a regular basis as necessary to prevent odor. **(ENGR, BLDG)**
51. Identify truck routes for the import or export of cut/fill material and/or construction debris for review and approval by the City Engineer prior to the issuance of permits. Repair any damage to City streets (private and public) caused by activity associated with this project. **(ENGR)**
52. In the event of the encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading and/or excavation shall cease, the find shall be left untouched, and the City Planning Division shall be immediately notified. The County Coroner and the Native American Heritage Commission shall also be notified and the procedures required in CEQA §15064.5 shall be followed. This requirement shall be noted on the Grading and Building Plans, prior to issuance of permits. **(PLNG, ENGR, BLDG)**
53. In the above event, retain a qualified professional archaeologist certified by the Register of Professional Archaeologists or paleontologist with a degree(s) in paleontology or geology, to evaluate and make recommendations as to disposition, mitigation and/or salvage. The recommendation shall be implemented before work may proceed. The applicant shall be responsible for all costs associated with the professional investigation and implementation. **(PLNG, ENGR, BLDG)**

CONSTRUCTION PLAN REVIEW/PRE-PERMIT REQUIREMENTS

54. Submit an electronic copy of a Preliminary Title Report, prepared within three months prior to plan submittal. **(ENGR)**

55. The proposed buildings are within the 100-year Floodplain Zone (X). At a minimum, comply with the City of Concord Municipal Code requirements in establishing building finished floor elevations. The Grading Plan shall be referenced to the same elevation datum as the FEMA map, and shall show the finished floor elevations of the proposed buildings, 100-year Base Flood Elevations (BFE), and building setback line per CMC. **(ENGR) CMC**
56. The Improvement Plans shall show frontage improvements including but not limited to: drainage improvements, curb, gutter and sidewalk per City Standard Detail S-10, and driveway construction per City Standard Detail S-14 and repair/replacement of deficient frontage improvements as determined by the City Engineer. Any unusable existing driveway shall be replaced with standard curb, gutter, and sidewalk per S-10 above. Any trenching for utility installation shall comply with the modified City Standard Detail S-17 for pavement repair and possible slurry placement. **(ENGR)**
57. The Improvement Plans shall show plan and profile of all proposed street, drainage and sewer improvements and details for curb, gutter, sidewalk, and driveway construction. **(ENGR)**
58. Design improvements in accordance with the City Standard Plans S-34 and S-36 for sight distance, sidewalk, back up, fencing, geometrics at intersection and corner setback requirements, prior to the Acceptance of Improvements. Plans shall be subject to review and approval by Engineering Services. **(ENGR)**
59. Obtain an Encroachment Permit from the City prior to performing any work within the public right-of-way or public easements. **(ENGR) CMC**

SUBDIVISIONS/SITE DEVELOPMENT PLANS

60. Submit Grading, Erosion Control, Improvement, Stormwater Pollution Prevention Plans (SWPPP), and Stormwater Control Plans prepared by a Registered Civil Engineer to Engineering Services for review and approval prior to issuance of an Encroachment Permit, Grading Permit, and/or Building Permit. **(ENGR)**

GRADING/EROSION CONTROL/GEOLOGIC

61. Submit a geologic investigation to demonstrate that proposed buildings will not be constructed across active faults. A licensed geologist must prepare an evaluation and written report. If an active fault is found, a structure for human occupancy cannot be placed over the trace of the fault and must be set back from the fault (generally 50 feet). **(ENGR)**
62. Submit a Geotechnical Report with the Grading Plans and Building Plans, pursuant to CMC Section 94-51 and Section 86-73 that addresses and provides recommendations for grading, drainage, walls, building foundations, and pavement structural sections. **(ENGR)**
63. All grading shall require a Grading and Drainage Plan prepared by a registered Civil Engineer, a Soils Report prepared by a registered Geotechnical Engineer and receipt of a Grading Permit approved by the City Engineer. The Grading Plans and Soils Report shall require review by the City's Geotechnical consultant with all costs to be borne by the applicant. **(ENGR)**

64. Contour grading techniques shall be employed throughout the project to achieve a more natural appearance, even where this will increase the amount of grading. Tops of cuts or toes of fills adjacent to existing public rights-of-way or easements shall be set back two feet minimum from said rights-of-way and easements. All cut-and-fill slopes in excess of five feet in height shall be rounded both horizontally and vertically. **(ENGR)**
65. Grading on adjacent properties shall require written approval from the affected property owners. **(ENGR)**
66. On-site finish grading work shall require drainage to be directed away from all building foundations at a minimum slope of 2 percent and a maximum slope of 20 percent toward approved drainage facilities or swales. Non-paved drainage swales shall have a minimum slope of 1 percent. **(ENGR)**
67. The project engineer shall inspect the finished grading and certify that it conforms to the compaction and elevations shown on the Grading Plan and Soils Report. **(ENGR) CMC**
68. At all times seasonally appropriate erosion control measures shall be implemented per plans approved by the City Engineer for all grading work at all times. Wet season measures shall be in place October through April at a minimum and when rain is otherwise predicted. At the time of approval of the Improvement and/or Grading Plans, an approved Erosion Control Plan prepared by a registered Civil Engineer shall be filed with the City Engineer. **(ENGR)**
69. All graded slopes and stockpiles of loose soil shall be hydromulched/hydroseeded by October of any given year. During grading work between October and April, if rain is forecast, stop all grading work two days before the rain forecast and implement BMPs to insure that the site is protected from erosion. **(ENGR)**
70. Submit Grading, Erosion Control, Improvement, State Waste Discharge Identification (WDID) number verifying submittal of Stormwater Pollution Prevention Plan (SWPPP) to the Regional State Water Board, and Stormwater Control Plans to Engineering Services for review and approval prior to the issuance of Grading, Encroachment, and Building Permits. Where applicable, evidence of compliance with the State General Construction Permit shall be provided. **(ENGR) CMC**
71. Comply with the applicable provisions of the Grading Ordinance and the Storm Water Management and Discharge Control Ordinance. **(ENGR) CMC**

UTILITIES

72. New electrical transformers shall be placed underground or screened from view. **(PLNG, ENGR)**
73. No above ground utility facilities/structures shall be located between the face of curb and back of sidewalk in the public right-of-way. **(ENGR)**

**Resolution No. 16-22PC
Concord Village Use Permit - Att A**

74. Install streetlights along the Salvio Street, East Street, Willow Pass Road, and Port Chicago Highway frontage(s) if determined by City staff. Submit streetlight plans in accordance with the City Standard Specifications showing pole type, luminaries type, conductor and wiring schedule, connection points, lamp wattage and pull box locations, at the time of submittal of improvement plans. Streetlights shall be completely installed and operational prior to occupancy approval. **(ENGR)**
75. All new utilities shall be constructed underground prior occupancy approval. **(ENGR)**
76. Comply with the City of Concord sewer design flow criteria and sewer construction requirements of the Central Contra Costa Sanitary District. **(ENGR)**
77. Submit to Engineering Services sanitary sewer calculations with the Improvement Plans stamped and signed by a Registered Civil Engineer for review. **(ENGR)**
78. Any property presently served by a sewer line shall be provided a side sewer connected to the sewer system with no interruption of service. The existing sewer laterals to remain shall be tested under the City's observation before connection and be replaced if failed. **(ENGR)**
79. Submit to Engineering Services a sewer fixture count and square footage of the existing buildings for possible fee credit purposes, prior to demolition. **(ENGR)**
80. Coordinate all facility adjustments, relocations, or additions to utility services with the appropriate utility companies. **(ENGR)**
81. Utility areas, electrical and gas meters shall be architecturally screened from view. **(PLNG)**
82. The location of all outdoor, above-ground and/or at-grade pad mounted transformers, utility equipment, electrical and gas meters, vaults, irrigation control boxes, back flow prevention devices, and the like shall remain outside of the sight visibility triangles per City of Concord Development Code Section 18.150.170 and shall be subject to approval by Planning and Engineering Services prior to the issuance of the Grading or Building Permit, whichever comes first. All such equipment shall be screened from view either architecturally or with landscaping and painted forest green or other approved color as approved by the Planning Division. Any changes to the approved Utility Plans, including location or screening details shall be reviewed and approved by the Planning Division. **(PLNG, ENGR)**
83. Provide cable companies a set of approved site diagrams in electronic format showing the joint trench layout for dry utilities for cable service to be provided to the site. **(ENGR)**
84. Connect all buildings to the sanitary sewer collection facilities of the City, and pay all current sewer connection and service fees prior to building permit issuance. **(ENGR) CMC**
85. Submit proof acceptable to Engineering Services that all work within the existing (new) private waterline easement(s) are reviewed and approved by the easement owner of record. **(ENGR)**

DRAINAGE/STORMWATER C.3 REQUIREMENTS

86. Submit a Stormwater Control Plan (SWCP) prepared in accordance with the current Contra Costa Clean Water Program Stormwater C.3 Guidebook for review and approval by Engineering Services prior to issuance of any permit. The SWCP shall be prepared and certified by a Civil Engineer, registered in the State of California, demonstrating an understanding of the design of treatment measures for water quality and groundwater protection principles applicable to the project site. **(ENGR)**
87. Prior to issuance of permits for building, site improvements, or landscaping, applicant shall submit a permit application consistent with the applicant's approved Stormwater Control Plan (SWCP), and include drawings and specifications necessary for construction of site design features, measures to limit directly connected impervious area, pervious pavements, self-retaining areas, treatment BMP's, permanent source control BMP's, and other features that control stormwater flow and potential stormwater pollutants. The Contra Costa Clean Water Program permit application shall include a completed "Construction Plan C.3 Checklist" as described in the Stormwater C.3 Guidebook, and a detailed draft Stormwater BMP Operation and Maintenance Plan consistent with the general O&M plan included in the applicant's approved Stormwater Control Plan. Guidelines for the preparation of Stormwater BMP Operation and Maintenance Plans are in Appendix F of the Stormwater C.3 Guidebook. **(ENGR)**
88. Construct stormwater treatment measures per the approved SWCP prior to site development permit issuance. **(ENGR)**
89. Submit a Stormwater BMP Operation and Maintenance Plan (O&M Plan) in accordance with City of Concord Guidelines, for review and approval by Engineering Services, prior to site development permit issuance. This O&M Plan shall incorporate City comments on the draft O&M Plan and any revisions resulting from changes made during construction. The implementation of the O&M Plan shall be the responsibility of the property owner or the HOA where one exists. **(ENGR)**
90. Execute O&M agreements identified in the SWCP which pertain to the transfer of ownership, right-of-entry for inspection or abatement, and long-term maintenance of stormwater treatment or hydrograph modification BMPs, prior to occupancy approval. **(ENGR)**
91. Prevent site drainage from draining across sidewalks and driveways in a concentrated manner. **(ENGR)**
92. Collect and convey all stormwater entering and/or originating from the site to an adequate downstream drainage facility. Submit hydrologic and hydraulic calculations for a 10-year storm with the Improvement Plans to Engineering Services for review and approval.
93. Install City of Concord "No Dumping, Drains to Creek" curb marker (English and Spanish version) on all catch basins. **(ENGR)**

94. Submit a Construction Best Management Practice (BMP) Program for review and approval by the Engineering Development Services Department prior to issuance of a Building and/or Grading Permit. The general contractor and all subcontractors and suppliers of materials and equipment shall implement these BMPs. Construction site cleanup and control of construction debris shall also be addressed in this program. Failure to comply with the approved construction BMP may result in the issuance of correction notices, citations, or a project stop work order. **(ENGR)**
95. Sweep or vacuum the parking lot(s) and adjacent streets a minimum of once a month and prevent the accumulation of litter and debris on the site. Corners and hard to reach areas shall be swept manually. If sidewalks and/or the parking lot are pressure washed, debris must be trapped and collected to prevent entry into the storm drain system. No cleaning agent may be discharged into the storm drain. If any cleaning agent or degreaser is used, wash water shall be collected and discharged to the sanitary sewer, subject to the approval of the Central Contra Costa Sanitary District). **(ENGR)**
96. Ensure that the area surrounding the project such as the streets stay free and clear of construction debris such as silt, dirt, dust, and tracked mud coming in from or in any way related to project construction. Areas that are exposed for extended periods shall be watered regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular basis. All trucks shall be covered. **(ENGR)**
97. Clean all on-site stormdrain facilities a minimum of twice a year, once immediately prior to October 15 and once in January. Additional cleaning may be required if found necessary by the City Engineer/Director of Building Inspection. **(ENGR, BLDG)**

SOLID WASTE/RECYCLING

98. Comply with CMC Chapter 82, Solid Waste, Article V, Construction and Demolition (C&D) Waste Recycling, Sections 82-114 through 82-126, as applicable. **(BLDG)**
99. Design and implement City approved Source Reduction/Recycling Plan and demonstrate that interior and exterior refuse enclosures have been sufficiently designed and located for the storage and pick up of recyclable materials in accordance with CMC Section 82-83, Source Reduction and Recycling, prior to issuance of a Building Permit. **(PW)**
100. Trash bins and refuse shall be stored within approved trash enclosure and the doors shall be closed at all times except when the bins are being emptied. **(CE)**
101. Comply with the provisions of the CMC, Central Contra Costa Sanitary District and the disposal service regarding enclosure design, access requirements, and the number of required individual refuse receptacles based upon waste pickup schedules. Trash enclosures shall incorporate the following features:
 - a. A concrete pad to prevent damage to asphalt paving.
 - b. A roof and sanitary sewer cleanout, designed to prevent rainwater from penetrating the interior of the enclosure and preclude trash from being blown outside of the bins.

- c. The cleanout shall connect to a sanitary sewer to prevent contaminated water from entering the storm drain system.
 - d. If any cleaning agent or degreaser is used, wash water must be collected and discharged to the sanitary sewer, subject to the approval of the Central Contra Costa Sanitary District. **(CCCS, ENGR)**
102. Trash enclosures shall incorporate the same architectural treatment, and use the same exterior materials and colors as the main building and shall comply with the Community Design Guidelines, including the following:
- a. A roof or trellis.
 - b. Masonry, steel or heavy timber walls.
 - c. An interior, poured-in-place curb to prevent damage to the screen walls.
 - d. Doors with external hinges to prevent damage from the receptacle.
 - e. Doors of solid metal or with a metal frame with self-closing latch.
 - f. The height of the enclosure walls and door shall be the same height or higher than the bins within the enclosure. **(PLNG)**

AGREEMENTS, FEES, BONDS

103. All fees noted below are the fees currently in effect as of July 11, 2016 per the Resolution of Fees and Charges. The fees and charges are reviewed annually as part of the budget public hearing process. Fee adjustments are based on a number of factors and vary depending on the type of fee:

Service-based fees are adjusted annually based on the San Francisco-San Jose-Oakland Area Consumer Price Index;

Improvement based fees (also called impact fees) are adjusted annually based on Engineering News Record Construction Cost Index (San Francisco Bay Area); and the

Parkland Fee is adjusted per Section 19.20 *et seq.* of the Concord Municipal Code.

The fees become effective as of the date set forth in Exhibit A of Resolution No. 78-6042, Fees and Charges for Various Municipal Services, as most recently amended and approved by the City Council. Persons interested in how a particular fee is calculated should contact the City Department administering the fee or the Finance Department. **(ENGR)**

104. Provide a **\$5,000.00** cash deposit to the Planning Division to cover Condition Compliance costs, at the time of submittal of plans and documents to Engineering Services or the Building Division for plan check. Planning staff's time will be charged to this deposit for work performed to implement the Conditions of Approval, from the time of project approval to occupancy approval. The deposit will be placed in a refundable account and any unused funds will be returned upon completion. If the initial deposit is insufficient to cover actual costs, an additional deposit will be required. **(PLNG)**
105. Pay a Document Imaging fee to reimburse the City for implementation of the Document Imaging and File Retention programs, prior to issuance of Grading or Building Permits. **(PLNG)**

106. All improvement agreements required in connection with said plans shall be submitted to and approved by the City and other agencies having jurisdiction over said project prior to issuance of the Building, Improvement/Encroachment, or Grading Permit, whichever comes first. **(ENGR)**
107. All required faithful performance bonds and labor materials bonds in a penal amount equal to 100 percent of the approved estimates of construction costs of improvements shall be submitted to and approved by the City and other agencies having jurisdiction prior to approval of the Final Map or issuance of the Building or Grading Permit, whichever comes first. **(ENGR)**
108. Encroachment Permit Application:
- a. Pay the Filing Fee at the time of submittal of permit application, improvement plans and supporting documents to City Engineering Services for review. The current fee is \$66.00.
 - b. Provide a restoration security before issuance of the Encroachment Permit. The security shall be in an amount sufficient to restore existing public improvements to a serviceable condition should development improvement activity cause damage. The amount of the security shall be determined by, and be in a form acceptable to the City Engineer.
 - c. Provide a \$10,000 cash deposit to cover Condition Compliance/Mitigation Monitoring costs at the time of submittal of plans and documents to Engineering Services for review. The deposit will be placed in a refundable account. Condition Compliance/Mitigation Monitoring costs will be charged to this deposit over the life of the project permit and mitigation requirements. Any unused funds will be returned at project completion. If the initial deposit is insufficient to cover actual costs, an additional deposit in an amount determined by the City Engineer will be required. **(ENGR)**
109. Grading Permit Application:
- a. Pay Grading Permit Fees at submittal of a Grading Permit application. The current fee is determined based on cubic yardage of cut and fill combined, or at the hourly rate of \$238.00 if the hourly rate is used.
 - b. Provide a \$10,000 cash deposit for Erosion Control prior to issuance of Grading Permit. The deposit will be placed in a refundable account. Any unused funds will be returned at project completion. If the initial deposit is insufficient to cover actual costs, an additional deposit in an amount determined by the City Engineer will be required.
 - c. Pay Stockpile and Erosion Control Monitoring fee prior to issuance of Grading Permit. The stockpile and erosion control monitoring fee is currently \$38.00 per calendar day and is collected for the life of the Grading Permit activity. **(ENGR)**
110. Improvement Plans:
- a. Pay the Improvement Plan review fee at the time of submittal of Improvement Plans and supporting documents to Engineering Services for review. All plan review fees include one initial submittal and two revisions. Any additional plan review required will be charged at an hourly rate of \$283.00 and will require an adequate deposit to a trust account prior to commencement.

- b. Pay the Construction Inspection fee prior to issuance of the Construction Permits or scheduling the Subdivision Agreement for consideration by the City. The current fee is based on 9% of the estimated cost of constructing the required improvements to support the subdivision.
- c. Pay the Drainage Acreage Fee prior to issuance of the building permit. The current fee is \$2,709.00/acre. (Drainage Area 23/24)
- d. Pay the Parkland Fee prior to issuance of the building permit. The current fee is \$9,914.00 per living unit for the High Density Designation.
- e. Provide a \$5,000 deposit for specialty inspections prior to site development permits.
- f. Pay applicable fees for review of the Stormwater Control and O&M agreement and bioretention inspection. **(ENGR)**

111. Sewer Connection Permit:

- a. Pay Sanitary Sewer connection fee. The current sewer connection fee is \$5,043.00 per single-family home or three bedroom multiple dwelling unit, \$3,731.00 for two bedroom multiple dwelling unit, \$2,774.00 for one bedroom or studio. Fees shall be paid prior to issuance of building permit.
- b. Pay the current sewer service fee prior to issuance of the building permit. The current fee is \$502.00 per year and is pro-rated by the month that connection is made. **(ENGR)**

112. Traffic Mitigation Fee:

Pay Offsite Street Improvement Program (OSIP) fee less possible fee credit. The OSIP fee shall be paid prior to issuance of improvement, building, or grading permit, whichever comes first. The current OSIP Fee is \$3,624.00 per dwelling unit for multi-family structures. **(ENGR)**

OTHER/MISCELLANEOUS

- 113. Contact local postal authorities to get their requirements for mail facilities for the project. The design and location of mail receptacles shall be reviewed and approved by the Planning Division and shown on the Utility, Landscape, and Building Plans, prior to issuance of Grading or Building Permits, whichever comes first. Mail facilities shall be installed prior to occupancy approval. **(PLNG)**
- 114. Comply with the requirements of the Contra Costa County Health Department for the abandonment of existing septic tanks or wells. **(ENGR) CMC**
- 115. Comply with the requirements of the Contra Costa Fire Protection District. Submit complete sets of plans and specifications to the Fire District for review and approval at:

Contra Costa County Fire Protection District
2010 Geary Road
Pleasant Hill, CA 94523

Plan review fees are assessed at that time. The City is not responsible for the collection of fees or enforcement of requirements imposed by the Fire District. **(CCCFPD)**

**Resolution No. 16-22PC
Concord Village Use Permit - Att A**

116. The applicant shall defend, indemnify and hold harmless the City, its agents, officials, and employees from any claim, action or proceeding brought by a third party to set aside, annul, attack or otherwise void the permit. *(PLNG)*
117. The permit and approval shall expire in **one** year from the date on which they became effective unless construction permits are obtained and work has begun. All permits approved concurrently with a Use Permit shall be valid for the life of the permit. The effective date of the permit and approval is **August 30, 2016**. *(PLNG)*
118. A request for a time extension from the expiration date of **August 30, 2017** can be considered if an application with required fee is filed at least 10 days before the original expiration date, otherwise a new application is required. A public hearing will be required for all extension applications, except those involving only Design Review. Extensions are not automatically approved. Changes in conditions, City policies, surrounding neighborhood, and other factors permitted to be considered under the law, may require, or permit denial. *(PLNG)*



RECEIVED
JUN 14 2016
PLANNING

June 14, 2016

.....
City Concord Planning Division
G. Ryan Lenhardt | Senior Planner
1950 Parkside Drive, Concord, CA 94519-2578

**RE: Concord Village (PL15438 – UP, MP, DR) at 2400 Salvio Street and 2401 and 2471 Willow Pass Road;
APN's: 126-083-011, -012, -013.**

Written Statement

Overall Context

Located in downtown Concord, California, in close adjacency with the Bart Transit Line and two blocks from the Todos Santos Plaza, the project's site is comprised of three contiguous parcels, each with street frontage, bordered by Salvio Street (N), Willow Pass Road (S), East Street (W), and Port Chicago Highway (E).

The property is flat and slopes gently downward to the northwest corner of the site. A number of structures were recently demolished due to their substandard condition, including a former residence, multi-tenant commercial building, and an office for used car sales. A vacant bank building remains onsite and will be removed when the site is developed. Vegetation is limited to street trees and some onsite landscaping, much of which has been removed to discourage encampments.

The mixed-use project will consist of 230 residential apartment units, 3,037 square feet of amenities (fitness, leasing and retail spaces), and 6,558 square feet of residential lounges and supportive uses. The building will consist of five stories of apartments units "wrapped" around 6 levels of parking (5 above grade, and one below). A variety of unit types will be offered from creative studio flats, to one bedroom and two bedroom units, ranging from 400 to 1,068.5 square feet. Each of the units has a small deck, or "Juliet-style balcony", with each of the units facing outward toward the street or inward toward an outdoor courtyard. A dedicated garbage collection route for truck access is being proposed so the property can be serviced efficiently by the Concord Disposal Service Company.

Community lounges, courtyards, and creative modern landscaped spaces are proposed to create a unique urban experience. Three ground floor courtyards and two recreation areas are proposed that include lounge/seating nooks, dining furnishings, and outdoor bar and sink, a fire pit, and decorative lighting. Three ground level decks with trellises and planting are proposed around the perimeter of the parking structure and include a bocce ball court, bar height tables with barstools, and a synthetic lawn. The roof deck features a sun terrace including low lounge furnishings, dining areas with community seating, a fire pit, and decorative lighting. These elements are proposed to create an "urban lifestyle identity".



ARCHITECTS

Santa Ana + Oakland + San Diego + Honolulu

SVA Architects, Inc.

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Santa Ana, California 92707
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info@sva-architects.com
www.sva-architects.com

With references in the city of Concord's history and identity, the modern architecture incorporates as exterior finishes regular and scored plaster, metal screens, contemporary signage, and urban lighting.

In consonance with the overall master plan premises of the "Concord Specific Plan", the project will be based in sustainable principles, encourage community connectivity, embrace historical references, and establish a pedestrian/human scale with the immediate surroundings.

Density Increase

Three architectural/design propositions have been implemented in order for this project to be granted with an increase in the maximum allowable density for residential projects as follows:

- 1 | Continuity of building facades along the street with no interruption in the progression of building and uses except for pedestrian access.
- 2 | Pedestrian friendly street level building design amenities such as highly articulated facades with a variety of high quality materials and architectural detailing, visibility into buildings, awnings, paseos, or arcade, and signage oriented and scaled to the pedestrian, located directly behind the sidewalk.
- 3 | Contribution to transit-supportive facilities, such as a combination of shelters; benches; or direct connections to transit station or safe and secure bicycle storage and facilities that exceed the requirements of CDC 18.160.120 (Bicycle parking).

Architectural | Design Program

One of the key objectives of the overall urban planning concept was to create a walkable community, blocks from the downtown urban core of Concord, California. The revival of the downtown has become one of most important needs for the city's growth, the everyday commuter, neighborhood pedestrians and residents participating in this vibrant and growing urban transit community. In a bold effort to revitalize this local transit district, this unique, 2.31 acre urban in-fill location will creatively link residents, pedestrians and commuters to the surrounding neighborhood shopping near Todos Santos Plaza, BART, the over 4 million square feet of Class A office space and neighborhood schools.

The whole architecture vernacular proposition is in consonance with the City of Concord Specific Plan which "articulates a vision for the Downtown, one that draws its ideas from many citizens, business owners, elected officials, and City Staff who participated in the decision-making during the planning process. The Specific Plan envisions Downtown Concord as a modern and vibrant place, one that is infused with a sense of its heritage, brings more residents to live and work in the Downtown, is centered around transit and alternative modes of transportation, provides diversity of housing opportunities, and preserves the desirable qualities of the City that make it an ideal place to live, work and play".

Landscape Program

The landscape design concept for Concord Apartments greatly considered its close proximity to Downtown / BART Plaza (about 7 minute walk) and the need for enhancing the pedestrian scale of the immediate context, which is in conjunction with the Downtown Concord Specific Plan prepared on June 6, 2014 by Perkins + Will. All of the open spaces fall into one of the following categories: 1. Public open spaces; 2. Transparent Private Open Spaces (bordering the street); and 3. Inner Private Open Spaces.



Public Open Space

The streetscape is designed to engage the public as well as future residents. Willow Pass Road and Salvio Street have been considered a high priority for pedestrian connectivity, especially being on the edge of downtown and two blocks away from Todos Santos Plaza and surrounding retail.

Willow Pass Road features an urban plaza tailed by a double tree lined sidewalk (with benches) that wraps around the corner to East Street. The plaza is designated for the public as well as employees and residents of Concord Apartments. The spaces closer to the Leasing office and Fitness Center feature tables, chairs and shade umbrellas that would be maintained by the owner. Willow Pass Road also features an “art screen” that doubles in function as a transparent enclosure to the South courtyard of Concord Apartments, but primarily will serve as an identity element in this rapidly evolving area along one of Concord’s main vehicular and pedestrian corridors.

Salvio Street will feature a soft landscape (mostly stormwater treatment) edge with simple seating areas on either side of the sidewalk. Seat walls and two transparent screens (of courtyards) will line the sidewalk. All sidewalks will be widened to a minimum of 8 feet; all public furnishings in the public R.O.W will have back rests as well as arm rests between seats; all seat walls in the R.O.W. will have skate deterrents to keep them rest-friendly.

Transparent Private Open Spaces

The South Courtyard on opposite side of the art screen on Willow Pass is designed as a pocket plaza with shade trees and large seat lined planters. The plaza is intended to be visible from the street, and flexible with moveable furnishings to serve every day rest or medium-sized gatherings.

The North Courtyards are sited along Salvio Street, and are designed to be quiet gardens for multiple small dining and lounging gatherings.

The courtyards have been designed in conjunction with the adjacent interior spaces which serve similar recreational uses. In essence, the indoor/outdoor integration is intended to feel seamless.

Inner Private Open Spaces

The inner spaces feature a bocce court, bar area, and a drought tolerant “lawn”, as well as two adjacent roof terraces that have views to Downtown Concord. They are designed as a series of outdoor amenity spaces that provide a variety of activities and would be used in the afternoon and evening for the residents at Concord Apartments.

The ground level inner “decks” are located along the primary circulation of the building to encourage frequent use. The bocce and bar area are adjacent to each other and in close proximity to the interior lounges and North courtyards. The roof terraces are both off of a stairwell - one features grilling/dining space, and the other features fire/lounge space.

CONCORD APARTMENTS

2400 Salvia Street and 2402 and 2471 Willow Pass Road
Concord | California

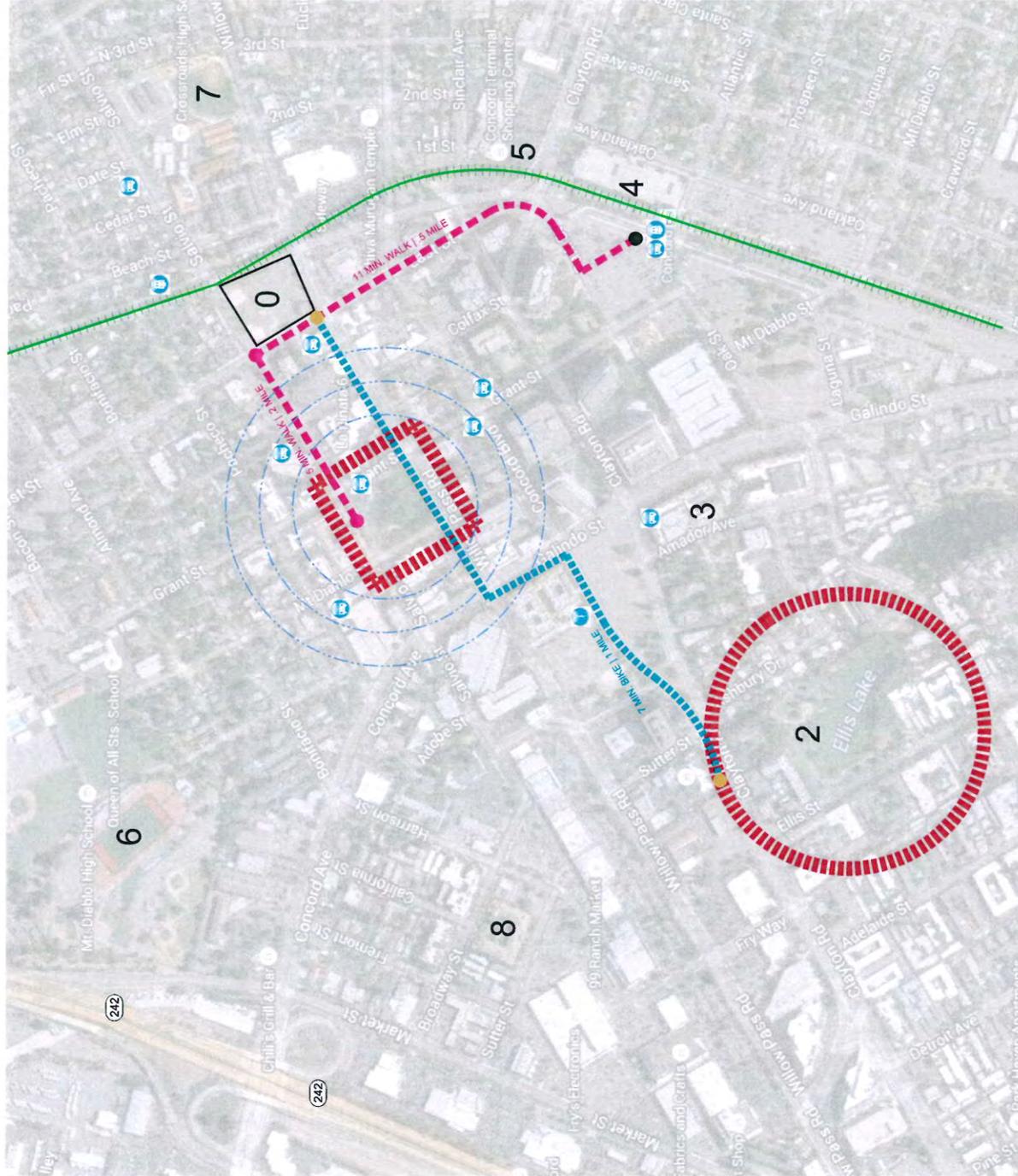
OWNER INFORMATION:
NICHOLSON DEVELOPMENT
PROPERTIES, LLC.
515 5th Ave W
Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 06.14.2016
PROJECT NO: 2013-40142
SCALE: NTS

NORTH
SHEET NUMBER: A-1
SHEET TITLE:

REGIONAL CONTEXTUAL MAP



- LEGEND:**
- Downtown Centered around Todos Santos Plaza: (Red dashed line)
 - Bart Line: (Green dashed line)
 - Pedestrian Route: (Red dashed line)
 - Bike Route: (Blue dashed line)
 - Walking Distance to Open Space Areas: (Red dashed line)
 - Project Site: (0)
 - Todos Santos Plaza: (1)
 - Ellis Lake: (2)
 - Galindo House | Marina: (3)
 - Concord Bart Station: (4)
 - Concord Terminal Shopping Center: (5)
 - Mt. Diablo High School: (6)
 - Crossroads High School: (7)
 - Major Retail Center: (8)
 - Bus Stop: (Blue circle with 'B')
 - Bart Stop: (Blue circle with 'B')

REGIONAL CONTEXTUAL MAP

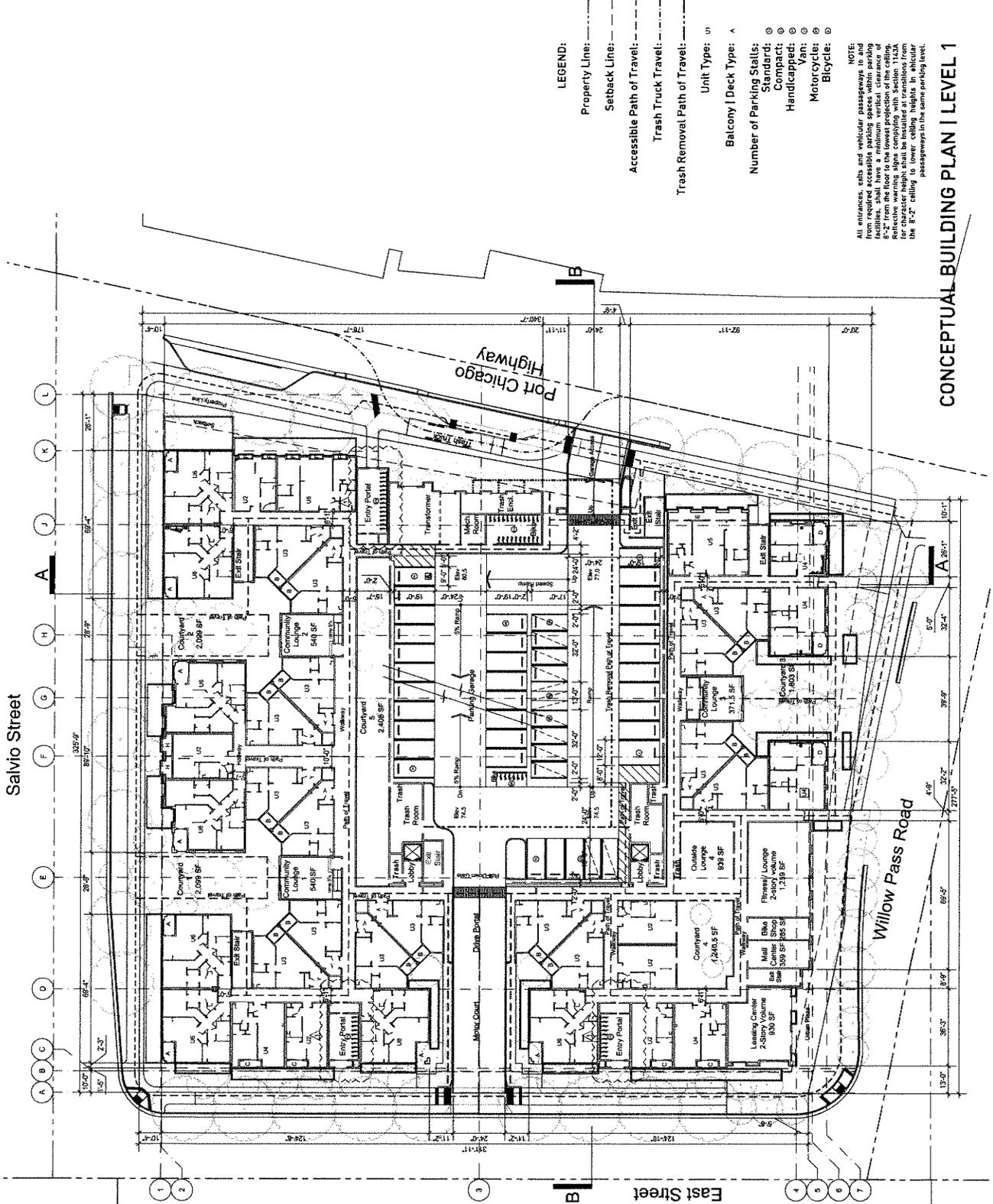
CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 06.14.2016
 PROJECT NO: 2013-40142
 SCALE: 1"=20'-0"

NORTH
 SHEET NUMBER: A-2
 SHEET TITLE:
**CONCEPTUAL
 BUILDING PLAN I
 LEVEL 1**



- LEGEND:**
- Property Line: - - - - -
 - Setback Line: - - - - -
 - Accessible Path of Travel: - - - - -
 - Trash Truck Travel: - - - - -
 - Trash Removal Path of Travel: - - - - -
 - Unit Type: U1
 - Balcony | Deck Type: A
 - Number of Parking Stalls:
 - Standards: ⊙
 - Compact: ⊙
 - Handicapped: ⊙
 - Van: ⊙
 - Motorcycle: ⊙
 - Bicycle: ⊙

NOTE:
 All entrances, exits and vehicular passageways to and from the building shall be clearly marked with reflective bollards, shall have a minimum vertical clearance of 8'-2" from the floor to the lowest projection of the ceiling. Reflective warning signs complying with section 11.04.01 shall be provided at all entrances, exits and vehicular passageways to (lower) ceiling heights in which passageways in the same parking level.

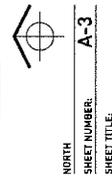
CONCEPTUAL BUILDING PLAN | LEVEL 1

CONCORD APARTMENTS
 2400 Salvio Street and 2402 and
 2471 Willow Pass Road
 Concord | California

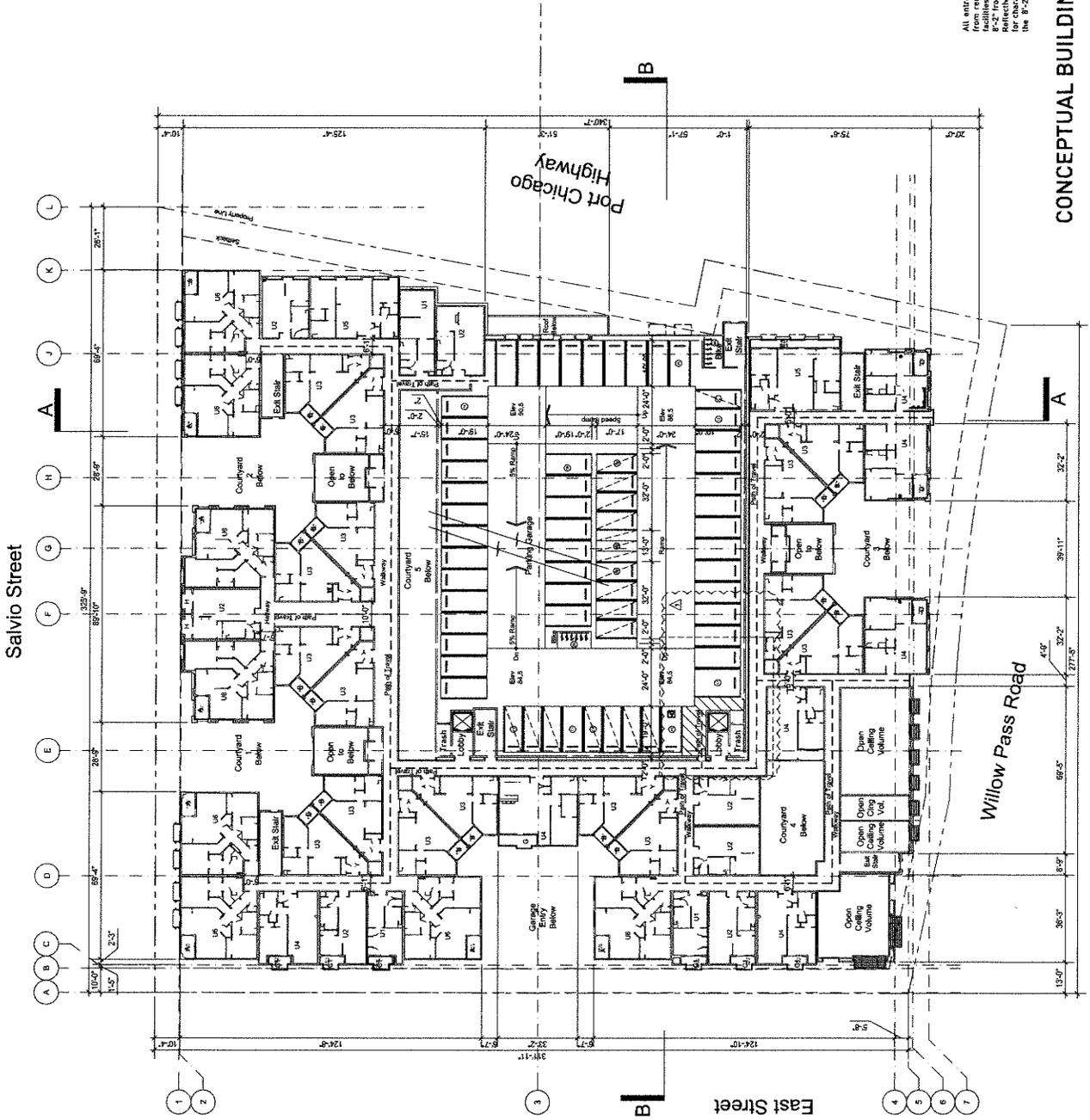
OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland WA 198033

CONSULTANT INFORMATION:

DATE ISSUED: 06.11.2016
 PROJECT NO: 2013-00142
 SCALE: 1"=20'-0"



SHEET NUMBER: A-3
 SHEET TITLE:
**CONCEPTUAL
 BUILDING PLAN I
 LEVEL 2**



- LEGEND:**
- Property Line: - - - - -
 - Setback Line: - - - - -
 - Accessible Path of Travel: - - - - -
 - Trash Truck Travel: - - - - -
 - Trash Removal Path of Travel: - - - - -
- Unit Type: U1
 Balcony / Deck Type: A
- Number of Parking Stalls:
 Standard: ⊙
 Compact: ⊙
 Handicapped: ⊙
 Van: ⊙
 Motorcycle: ⊙
 Bicycle: ⊙

NOTE:
 All entrances, exits and vehicular passageways to and from the building shall be clearly marked and facilities shall have a minimum vertical clearance of 8'-2" from the floor to the lowest projection of the ceiling. The height of the ceiling shall be maintained for a character height shall be indicated at transitions from the 8'-2" ceiling to lower ceiling heights in vehicular passageways in the same parking level.

CONCEPTUAL BUILDING PLAN I LEVEL 2

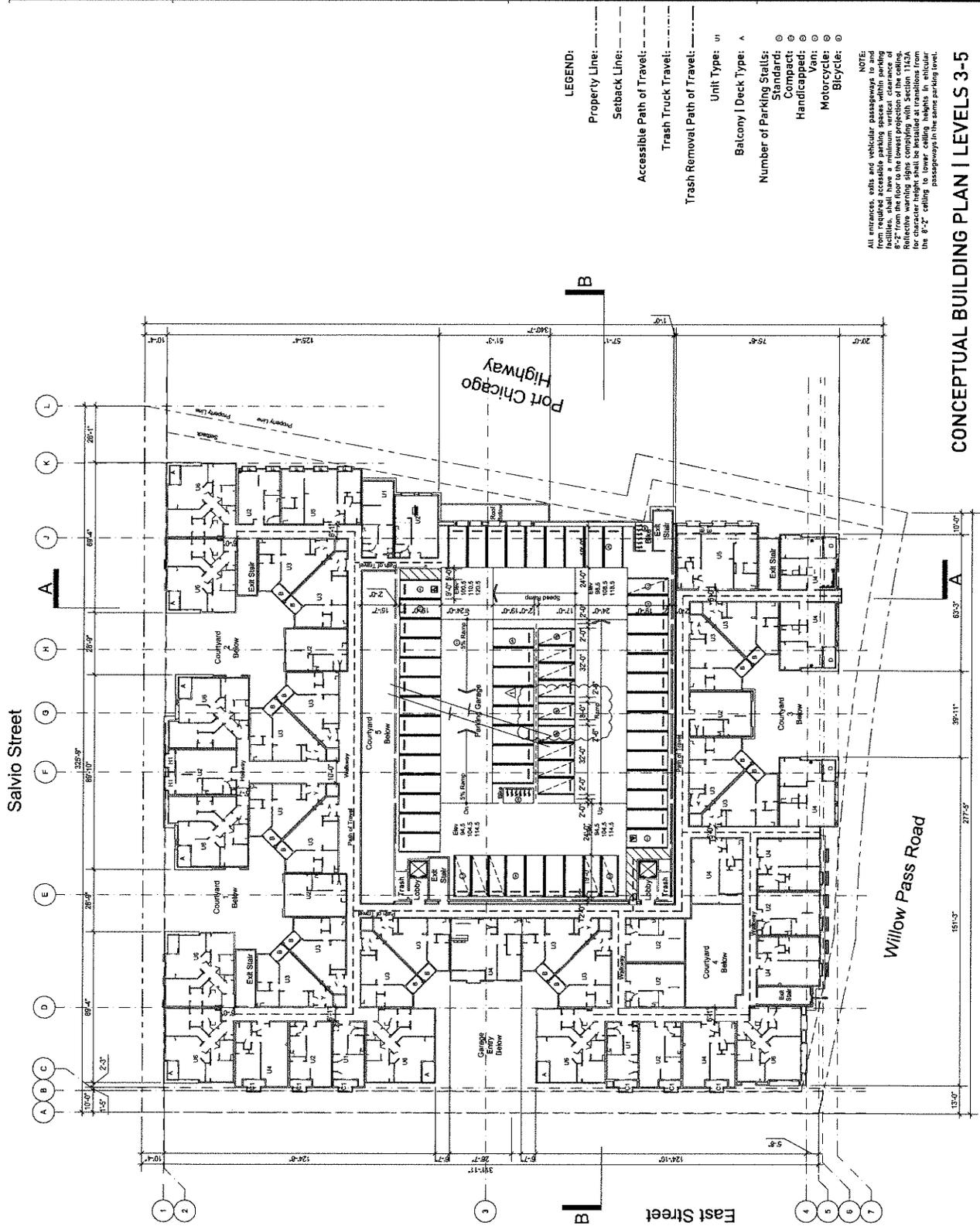
CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 06.14.2016
 PROJECT NO: 2013-60142
 SCALE: 1"=20'-0"

NORTH
 SHEET NUMBER: A-4
 SHEET TITLE:
**CONCEPTUAL
 BUILDING PLAN I
 LEVELS 3-5**



- LEGEND:**
- Property Line: - - - - -
 - Setback Line: - - - - -
 - Accessible Path of Travel: - - - - -
 - Trash Truck Travel: - - - - -
 - Trash Removal Path of Travel: - - - - -
 - Unit Types: U1
 - Balcony | Deck Type: A
 - Number of Parking Stalls:
 - Standards: ○
 - Compact: ○
 - Handicapped: ○
 - Van: ○
 - Motorcycle: ○
 - Bicycle: ○

NOTE:
 All entrances, exits and vehicular passageways to and from the building shall be clearly marked and shall be kept unobstructed at all times. All possible parking spaces within zoning regulations shall be shown. All parking stalls shall be 8'-2" from the floor to the lowest projection of the ceiling. Reflective warning signs complying with Section 1142A of the California Vehicle Code shall be provided for all stalls. All stalls shall be 8'-2" wide and 14'-0" long. All stalls shall be 8'-2" wide and 14'-0" long. All stalls shall be 8'-2" wide and 14'-0" long.

CONCEPTUAL BUILDING PLAN | LEVELS 3-5

CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 2471 Willow Pass Road
 Concord | California

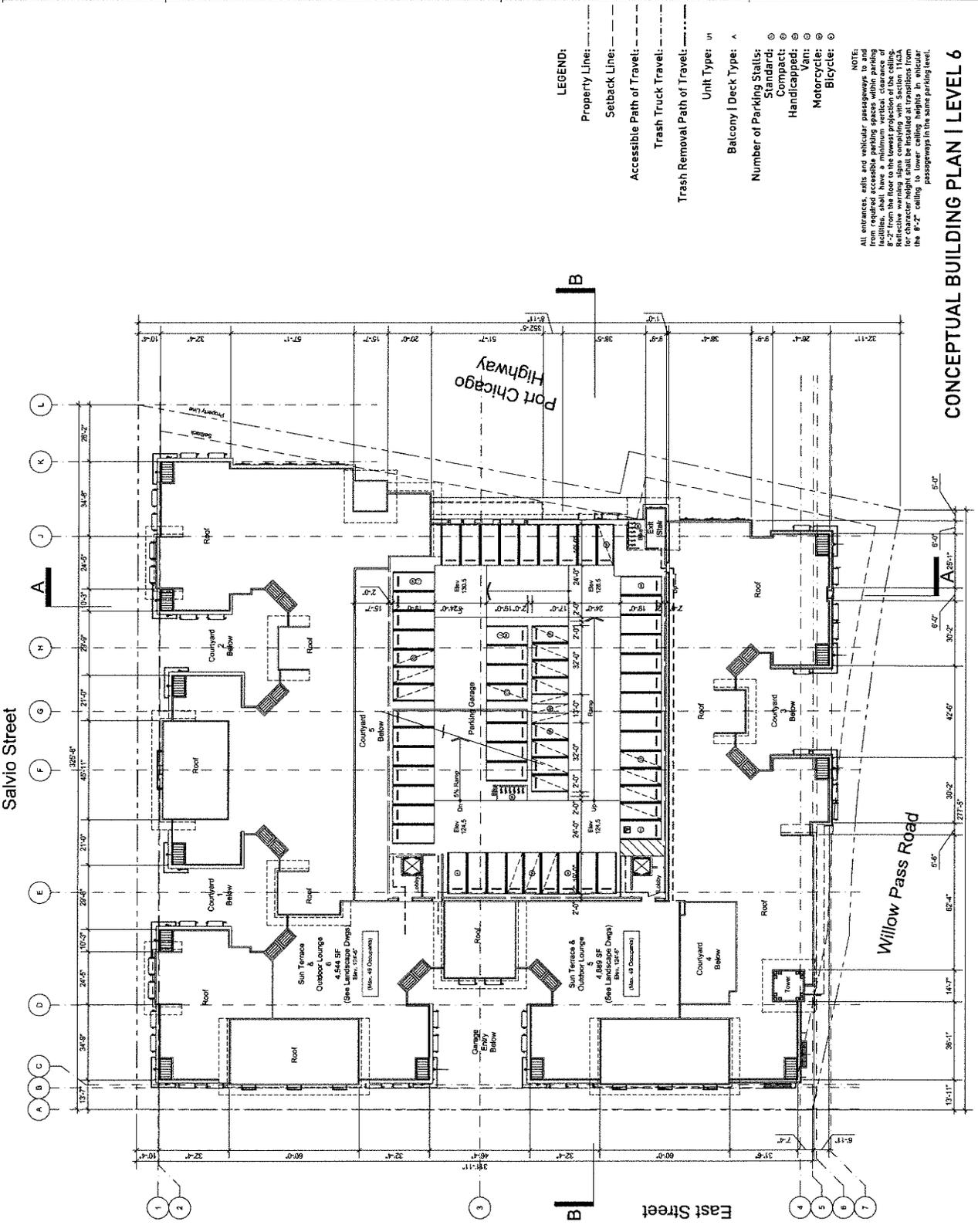
OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 06.14.2016
 PROJECT NO: 2013-0212
 SCALE: 1"=20'-0"

NORTH
 SHEET NUMBER: A-5
 SHEET TITLE

**CONCEPTUAL
 BUILDING PLAN I
 LEVEL 6**



- LEGEND:**
- Property Line: - - - - -
 - Setback Line: - - - - -
 - Accessible Path of Travel: - - - - -
 - Trash Truck Travel: - - - - -
 - Trash Removal Path of Travel: - - - - -
- Unit Type: U
 Balcony | Deck Type: A
- Number of Parking Stalls:**
- Standard: ○
 - Handicapped: ⊙
 - Van: ⊙
 - Motorcycle: ⊙
 - Bicycle: ⊙

NOTE:
 All entrances, exits and vehicular passageways to and from required accessible parking spaces within parking 8'-2" from the floor to the lowest projection of the ceiling. Reflective warning signs complying with Section 112.04 shall be provided at all entrances, exits and vehicular passageways to lower ceiling heights in vehicular passageways in the same parking level.

CONCEPTUAL BUILDING PLAN I | LEVEL 6

CONCORD APARTMENTS
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 Concord | California

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 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

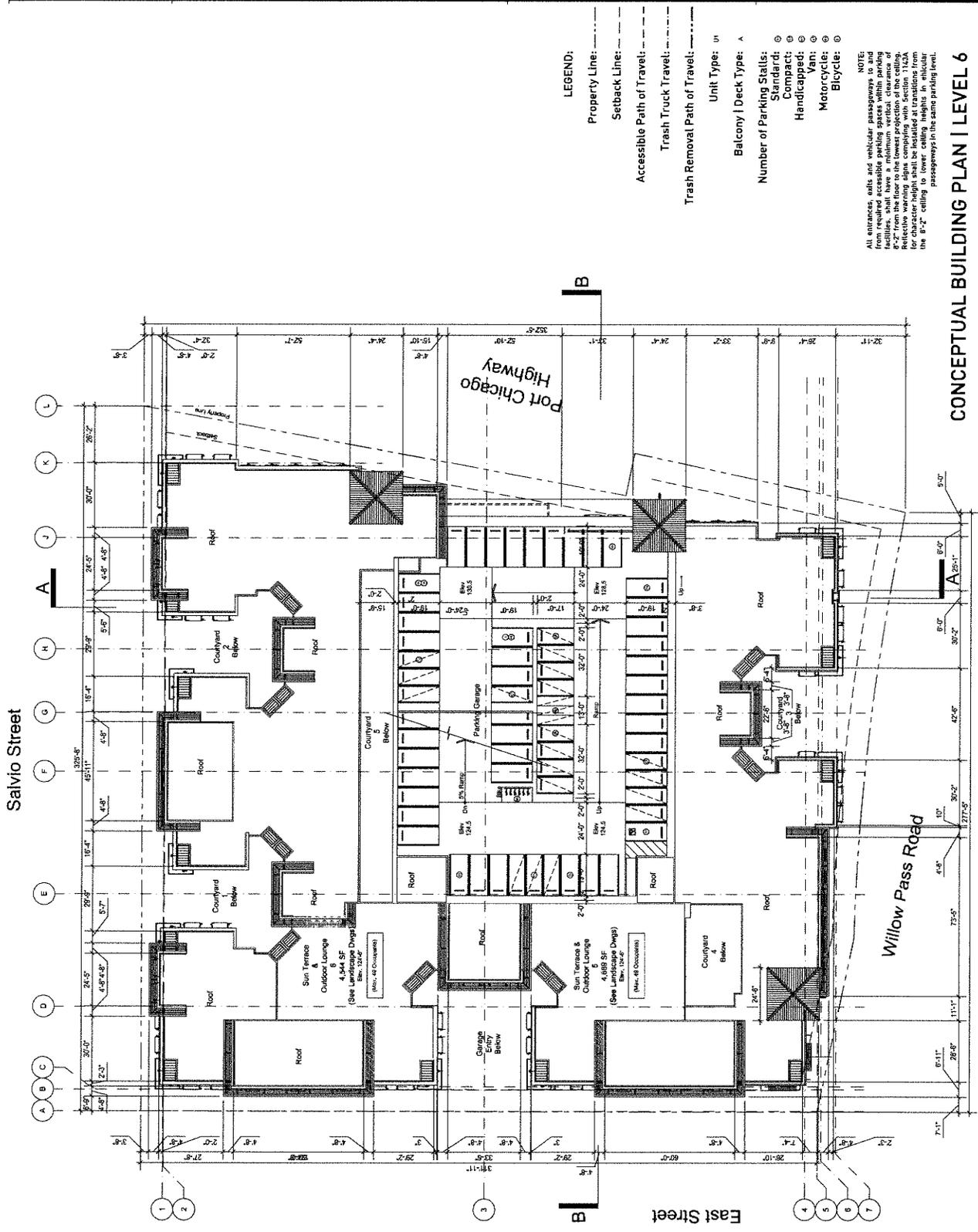
CONSULTANT INFORMATION:

DATE ISSUED: 04.14.2016
 PROJECT NO: 2013-40142
 SCALE: 1"=20'-0"



NORTH
 SHEET NUMBER: A-6
 SHEET TITLE:

**CONCEPTUAL
 BUILDING
 ROOF PLAN**



- LEGEND:**
- Property Line: - - - - -
 - Setback Line: - - - - -
 - Accessible Path of Travel: - - - - -
 - Trash Truck Travel: - - - - -
 - Trash Removal Path of Travel: - - - - -
 - Unit Type: UH
 - Balcony | Deck Type: A
 - Number of Parking Stalls:
 - Standards: ⊙
 - Compact: ⊙
 - Handicapped: ⊙
 - Van: ⊙
 - Motorcycle: ⊙
 - Bicycle: ⊙

NOTE:
 All entrances, exits and vehicular passageways to and from the building shall be clearly marked and shall be equipped with accessible parking spaces within parking stalls. All accessible parking spaces shall be marked 8'-2" from the floor to the lowest projection of the ceiling. Reflective warning alpha complying with section 1142A shall be provided on the ceiling. All accessible parking stalls shall be 8'-2" ceiling to lower ceiling height. All vehicular passageways in the same parking level.

CONCEPTUAL BUILDING PLAN | LEVEL 6

CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 2471 Willow Pass Road
 Concord | California

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 515 8th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 06.14.2016
 PROJECT NO: 2013-40142
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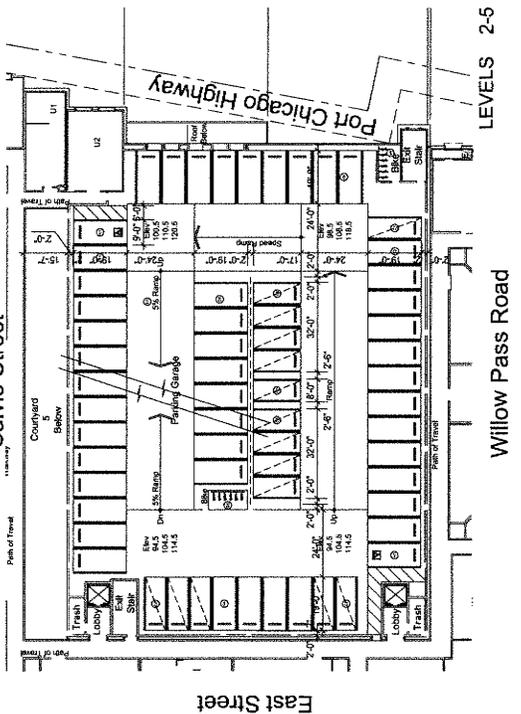
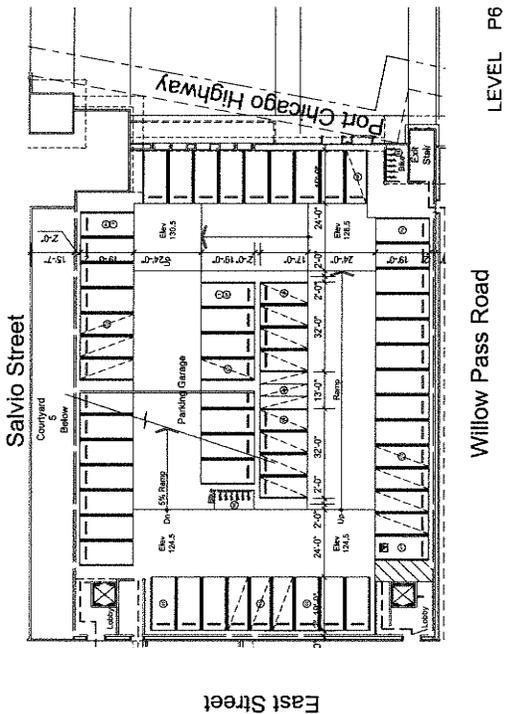
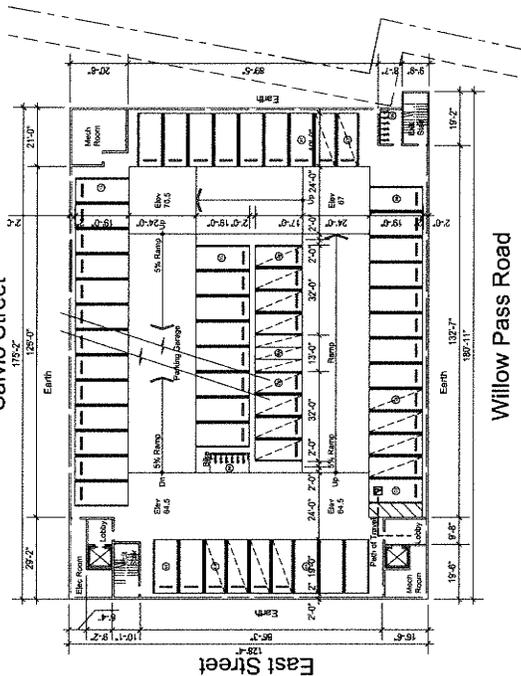
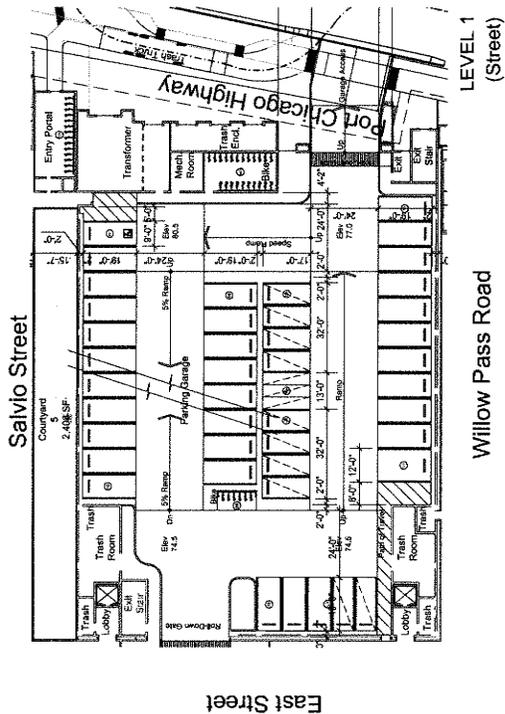
0" 20' 40' 80'

NORTH

SHEET NUMBER: A-7
 SHEET TITLE:
 CONCEPTUAL
 GARAGE PLANS I
 LEVELS 0-6



SVA
 ARCHITECTS
 13400 Parkview Blvd, Suite 100, San Diego, CA 92121
 (619) 444-1111
 www.svaarchitects.com



CONCEPTUAL GARAGE PLANS | LEVELS 0-6

CONCORD APARTMENTS
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 2471 Willow Pass Road
 Concord | California

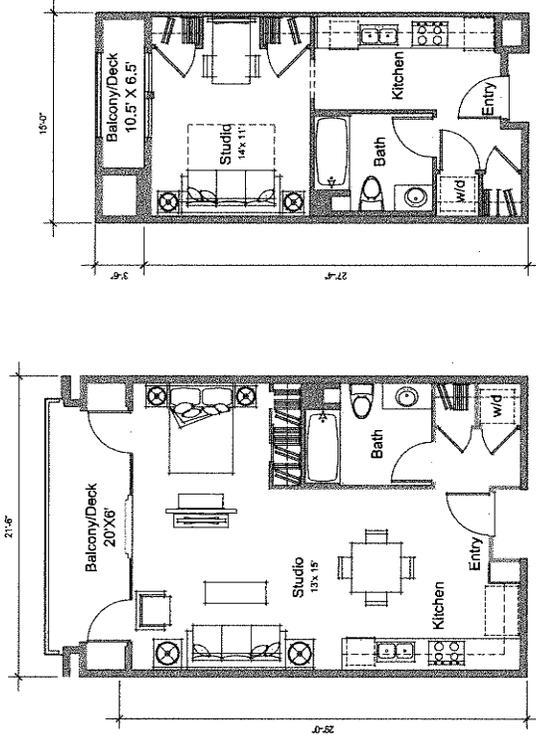
OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 06.14.2016
 PROJECT NO: 2013-40142
 SCALE: 1/4"=1'-0"
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NORTH
 SHEET NUMBER: A-8
 SHEET TITLE:

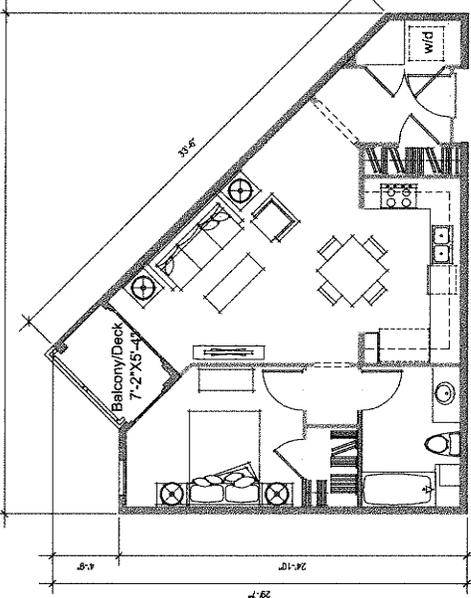
CONCEPTUAL
 UNIT PLANS |
 STUDIO AND
 ONE-BEDROOM
 UNITS



Unit 1 | Plan
 403 sq. ft.
 Creative Unit

Dimensions: 18'-0" (width), 27'-0" (depth)

Rooms: Studio (14' x 11'), Kitchen, Bath, Balcony/Deck (10.5' x 6.5')



Unit 4 | Plan
 697 sq. ft.
 1Bedroom | 1Bath

Dimensions: 24'-0" (width), 30'-10" (depth)

Rooms: Bedroom (10'-0" x 10'-0"), Studio (12'-0" x 15'), Kitchen, Bath, Balcony/Deck (9' x 3.5')

CONCEPTUAL UNIT PLANS | STUDIO AND ONE-BEDROOM UNITS

CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 2471 Willow Pass Road
 Concord | California

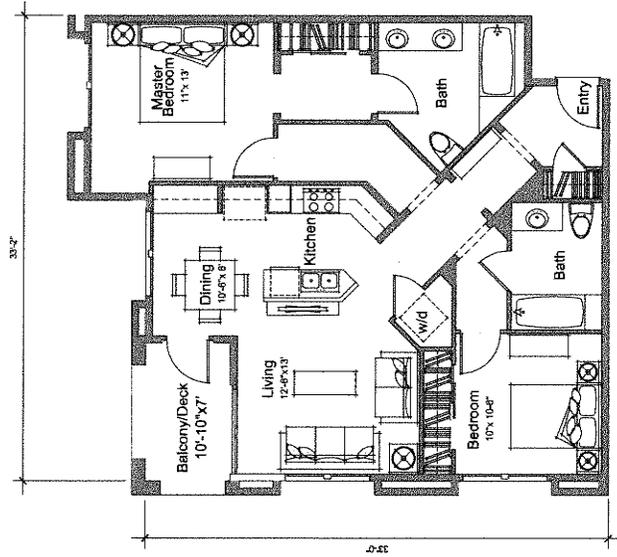
OWNER INFORMATION:
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CONSULTANT INFORMATION:

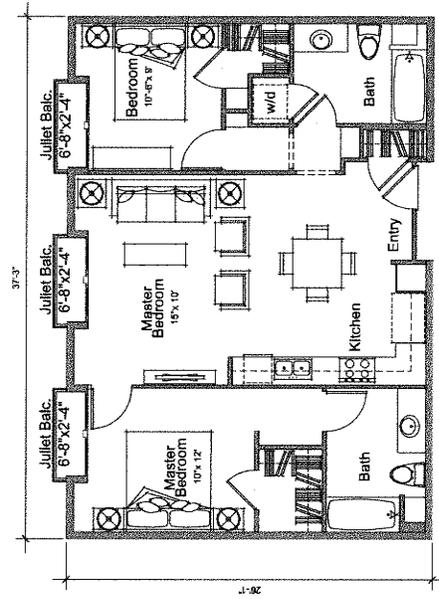
DATE ISSUED: 06.14.2016
 PROJECT NO: 2013-40142
 SCALE: 1/8"=1'-0"
 0" 4" 8" 16"

NORTH
 SHEET NUMBER: A-9
 SHEET TITLE: UNIT PLANS

**CONCEPTUAL
 UNIT PLANS |
 2-BEDROOM
 UNITS**



Unit 6 | Plan
 1,068.5 sq. ft.
 2 Bedroom / 2 Bath



Unit 5 | Plan
 963.5 sq. ft.
 2 Bedroom / 2 Bath

CONCEPTUAL UNIT PLANS | TWO-BEDROOM UNITS

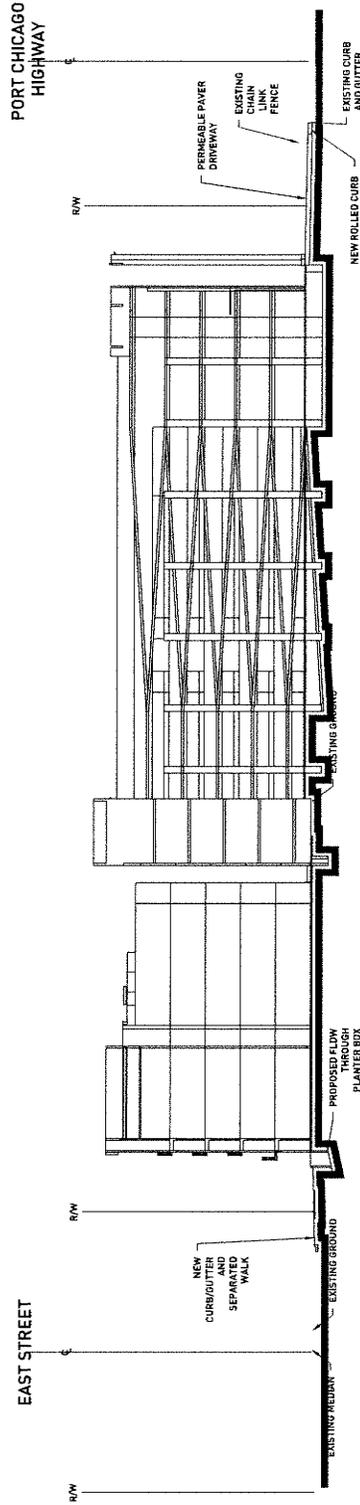
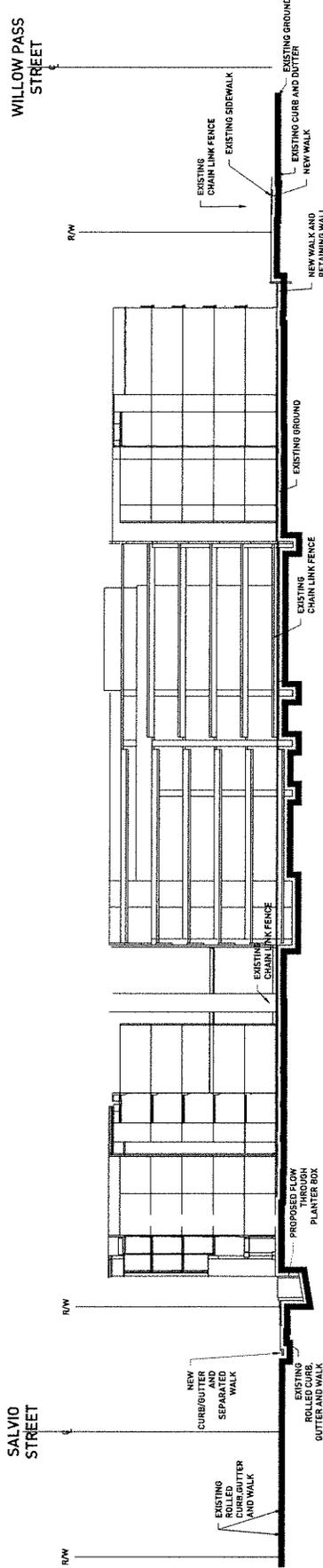
CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

ARCHITECT INFORMATION:
 PROJECT INFORMATION:
 NICHOLSON DEVELOPMENT PROPERTIES, LLC.
 4000 15th Avenue, Suite 200
 Bellevue, WA 98004

DATE ISSUED: 06.14.2016
 PROJECT NO: 2013-40142
 SCALE: 1/16"=1'-0"

NORTH
 SHEET NUMBER: A-10
 SHEET TITLE:
**CONCEPTUAL
 BUILDING
 SECTIONS**



CONCEPTUAL BUILDING SECTIONS

CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
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 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 06.14.2016
 PROJECT NO: 2015-00142
 SCALE: 1"=20'-0"
 0' 20' 40' 80'

NORTH
 SHEET NUMBER: A-11
 SHEET TITLE:

**CONCEPTUAL
 EXTERIOR
 ELEVATIONS |
 EAST STREET**

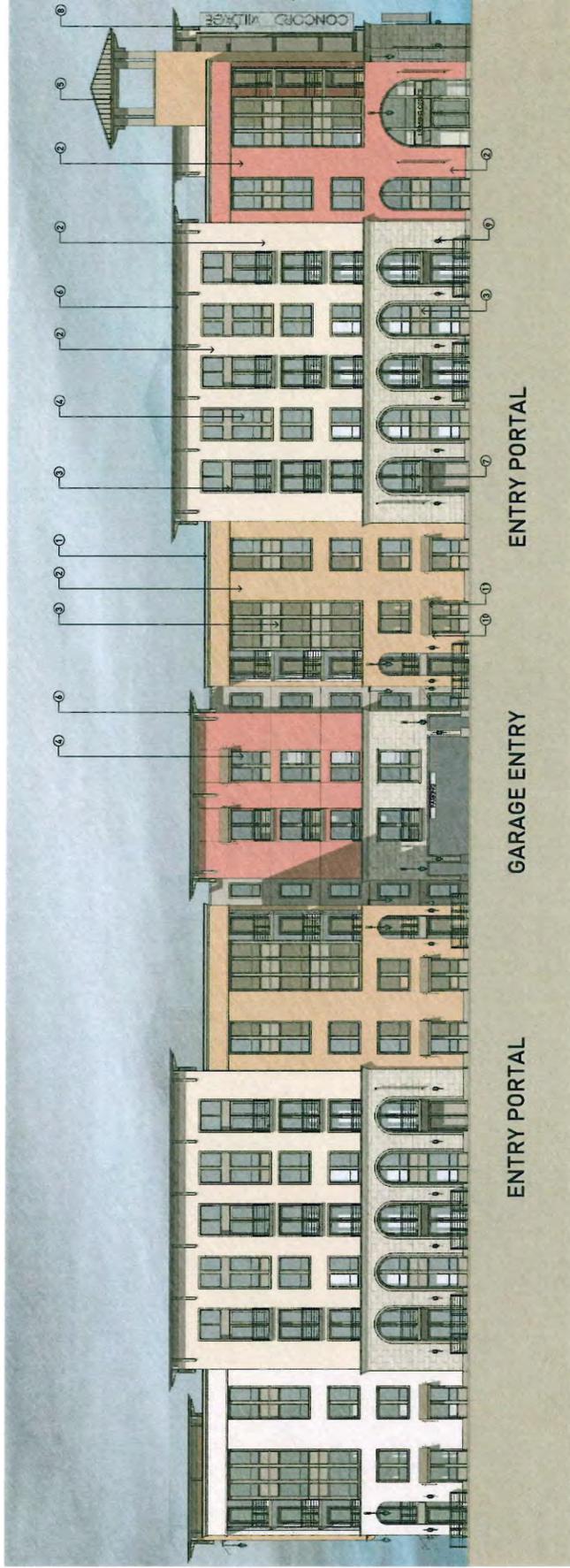
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- Metal Parapet | Cornice 1.
 - Exterior Plaster 2.
 - Metal Spandrel Panel 3.
 - Vinyl Window 4.
 - Corrugated Metal Roof 5.
 - Plaster Cornice 6.
 - Metal Railing 7.
 - Perforated Metal Signage 8.
 - Exterior Lighting 9.
 - Metal Finial 10.
 - Scored Plaster Finish 11.
 - Perforated Metal Screen | Green Wall 12.
 - Perforated Metal Screen | Green Wall 13.

CONCEPTUAL EXTERIOR ELEVATIONS | EAST STREET

SHEETS



ARCHITECTS
 3400 Willow Pass Road, Suite 100, Concord, California 94520
 T: 925.885.3380
 WWW.SVA-ARCHITECTS.COM
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 Concord | California

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CONSULTANT INFORMATION:

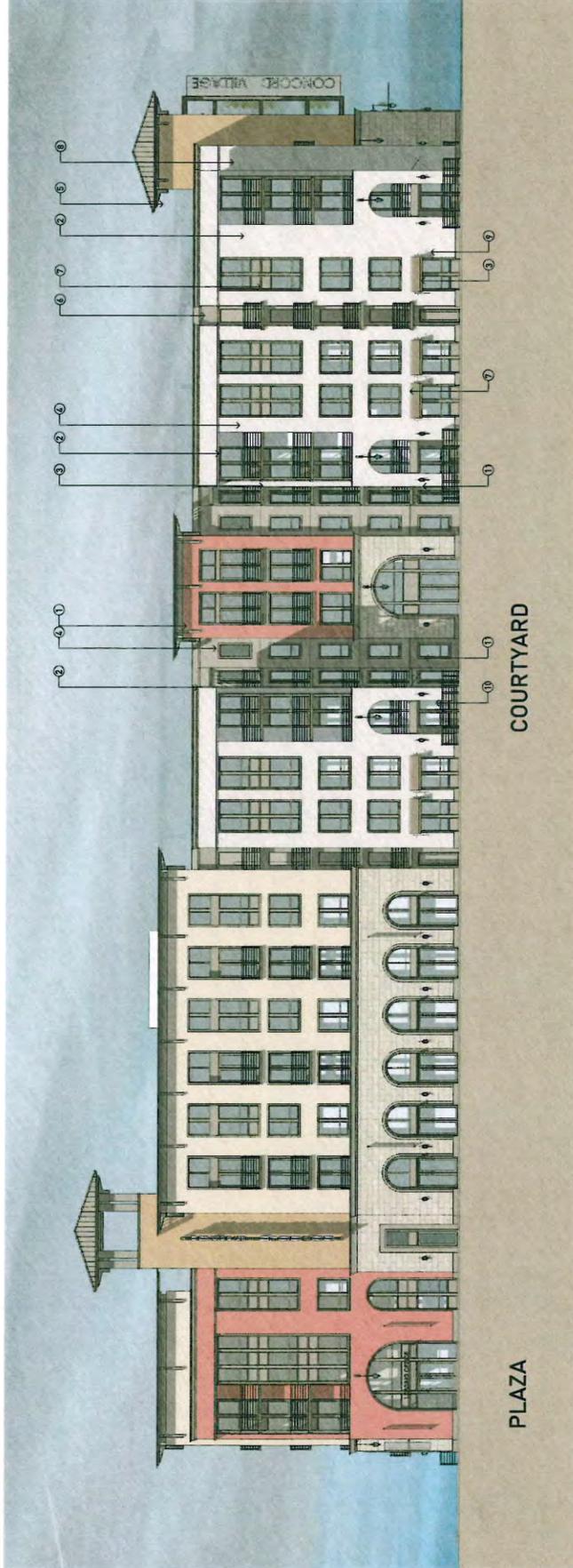
DATE ISSUED: 06.14.2014
PROJECT NO: 2013-40142
SCALE: 1/8"=1'-0"

NORTH
SHEET NUMBER: A-12
SHEET TITLE:

**CONCEPTUAL
 EXTERIOR
 ELEVATIONS |
 WILLOW PASS ROAD**

SVA ARCHITECTS
 1400 14th Street, Suite 400, San Francisco, California 94102
 T: 415.774.3385
 SAN FRANCISCO | BERKELEY | SAN DIEGO | LOS ANGELES | MIAMI
 www.sva-architects.com

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- MATERIALS LIST:**
- Metal Parapet | Cornice 1.
 - Exterior Plaster 2.
 - Metal Spandrel Panel 3.
 - Vinyl Window 4.
 - Corrugated Metal Roof 5.
 - Plaster Cornice 6.
 - Metal Railing 7.
 - Perforated Metal Signage 8.
 - Exterior Lighting 9.
 - Metal Final Awning Braces 10.
 - Metal Awning 11.
 - Scored Plaster Finish 12.
 - Perforated Metal Screen | Green Wall 13.

CONCEPTUAL EXTERIOR ELEVATIONS | WILLOW PASS ROAD

CONCORD APARTMENTS
 2400 Salvio Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 04.14.2016
 PROJECT NO: 2013-0112
 SCALE: 1"=20'-0"
 0" 20' 40' 80'

NORTH
 SHEET NUMBER: **A-13**
 SHEET TITLE:

**CONCEPTUAL
 EXTERIOR
 ELEVATIONS |
 PORT CHICAGO
 HIGHWAY**



- MATERIALS LIST:**
- 1. Metal Parapet / Cornice
 - 2. Exterior Plaster
 - 3. Metal Spandrel Panel
 - 4. Vinyl Window
 - 5. Corrugated Metal Roof
 - 6. Plaster Cornice
 - 7. Metal Railing
 - 8. Perforated Metal Signage
 - 9. Exterior Lighting
 - 10. Metal Finish
 - 11. Metal Awning
 - 12. Scored Plaster Finish
 - 13. Perforated Metal Screen / Green Wall

CONCEPTUAL EXTERIOR ELEVATIONS | PORT CHICAGO HIGHWAY

CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 06.14.2016
PROJECT NO.: 2013-00142
SCALE: 1"=20'-0"



NORTH
SHEET NUMBER: A-14
SHEET TITLE:

**CONCEPTUAL
 EXTERIOR
 ELEVATIONS |
 SALVIO STREET**

SHEETS:



ARCHITECTS
 1700 Broadway, Suite 3000, San Francisco, CA 94109
 T 415.435.2300 F 415.435.2301
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- MATERIALS LIST:**
- 1. Metal Parapet | Cornice
 - 2. Exterior Plaster
 - 3. Metal Spandrel Panel
 - 4. Vinyl Window
 - 5. Corrugated Metal Roof
 - 6. Plaster Cornice
 - 7. Metal Railing
 - 8. Perforated Metal Signage
 - 9. Exterior Lighting
 - 10. Metal Finial Awning Braces
 - 11. Metal Awning
 - 12. Scored Plaster Finish
 - 13. Perforated Metal Screen | Green Wall

CONCEPTUAL EXTERIOR ELEVATIONS | SALVIO STREET

CONCORD APARTMENTS
 2400 Salvo Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
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 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 06.14.2016
 PROJECT NO: 2013-40142
 SCALE: NTS

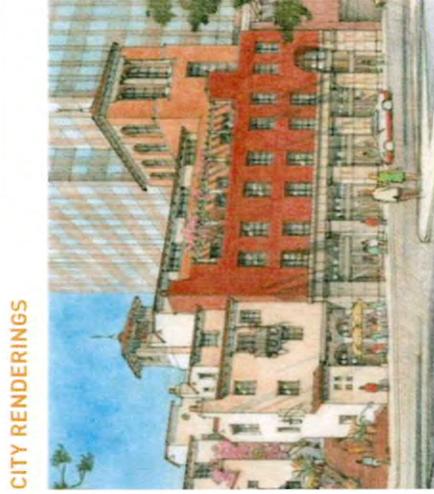
NORTH
 SHEET NUMBER: **A-15**
 SHEET TITLE:
**CONCEPTUAL
 DESIGN
 IMAGERY**



INTERIORS



HISTORICAL



CITY RENDERINGS



DETAILS

CONCEPTUAL IMAGERY

CONCORD APARTMENTS
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 2471 Willow Pass Road
 Concord | California

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CONSULTANT INFORMATION:

DATE ISSUED: 06.14.2016
PROJECT NO: 2013-00142
SCALE: NTS

NORTH
SHEET NUMBER: A-16
SHEET TITLE:

**CONCEPTUAL
 SIGNAGE
 DESIGN**



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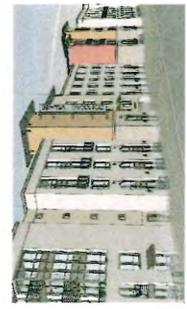


**BRONZE FINISH
 CAST METAL LETTERING
 ON CHANNELED METAL
 DEVELOPER (TYP. 18" HIGH)
 METAL STEEL CANOPY OVER
 DEVELOPER (TYP. 18" HIGH)**

2 | RETAIL SIGNAGE | TYP.

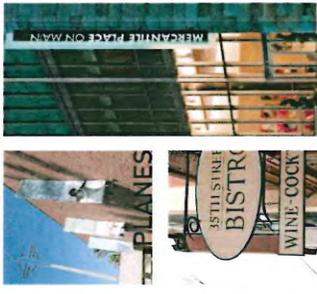


**BRONZE FINISH
 "U" CHANNEL
 STRUCTURE
 WITH BRONZE FINISH
 PREPARED METAL
 PANELING
 BRONZE FINISH
 BRASS
 LETTERING AND FONT FOR
 DEVELOPER (TYP. 24" HIGH)**



1 | WALL SIGNAGE | TYP.

CONCEPTUAL SIGNAGE DESIGN



3 | INSPIRATIONAL SIGNAGEIMAGERY



CONCORD APARTMENTS
 2400 Salvo Street and 2402 and
 2471 Willow Pass Road
 Concord | California

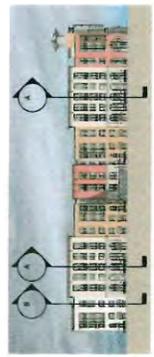
OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC,
 515 5th Ave W
 Kirkland WA | 98033

CONSULTANT INFORMATION:

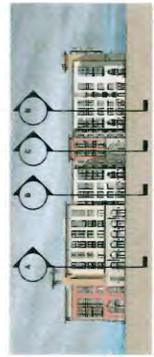
DATE ISSUED: 06.14.2016
 PROJECT NO: 2015-401/LZ
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NORTH
 SHEET NUMBER: **A-17**
 SHEET TITLE:

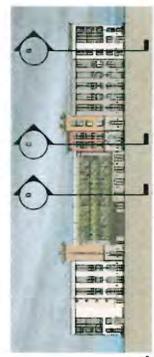
**BUILDING
 TYPICAL
 PROFILE
 SECTIONS | 2D**



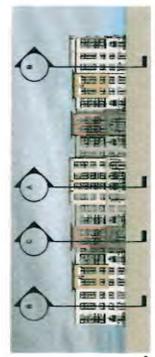
EAST STREET



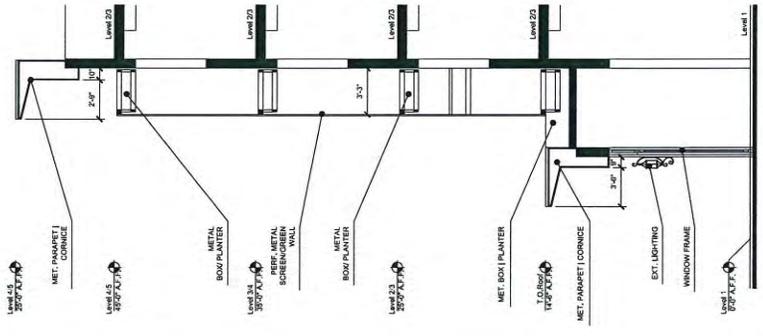
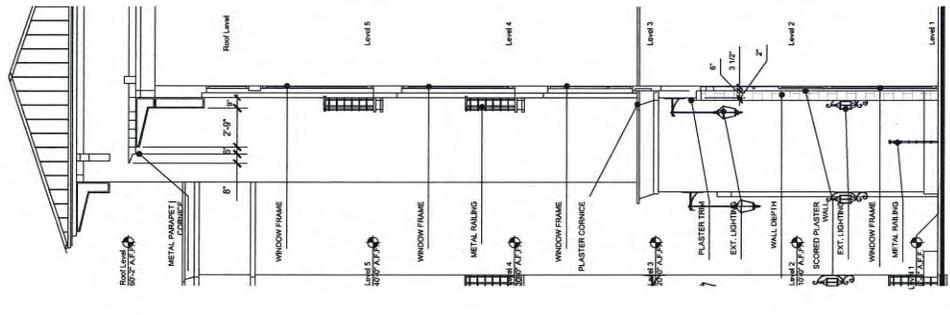
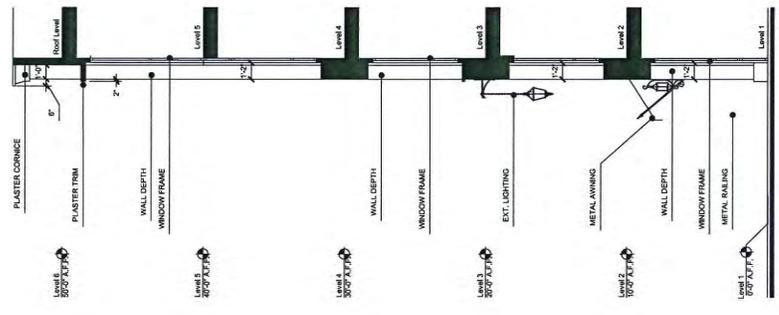
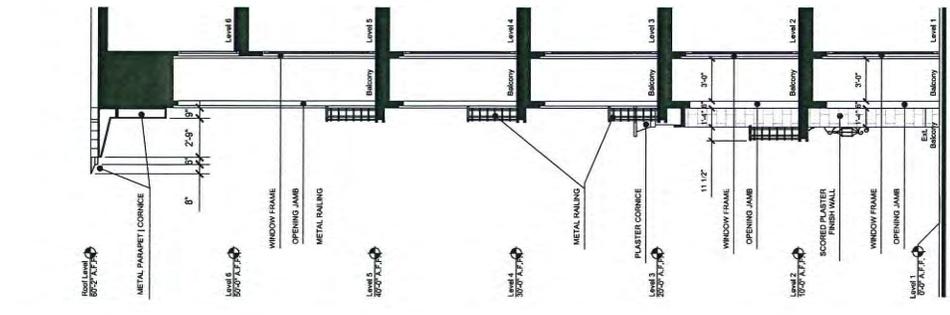
WILLOW PASS ROAD



CHICAGO PORT HIGHWAY



SALVO STREET



SECTION A

SECTION B

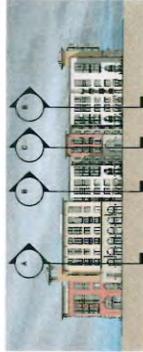
SECTION C

SECTION D

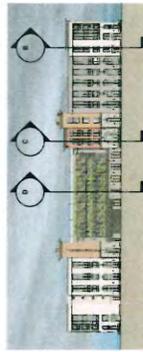
BUILDING TYPICAL PROFILE SECTIONS | 2D



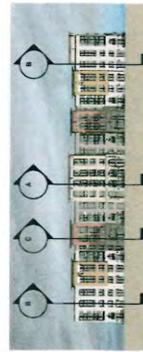
EAST STREET



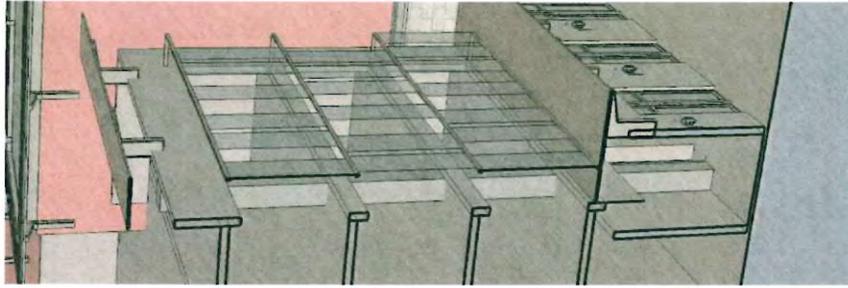
WILLOW PASS ROAD



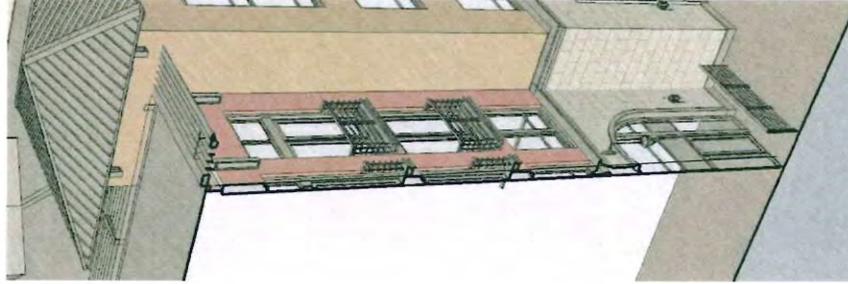
CHICAGO PORT HIGHWAY



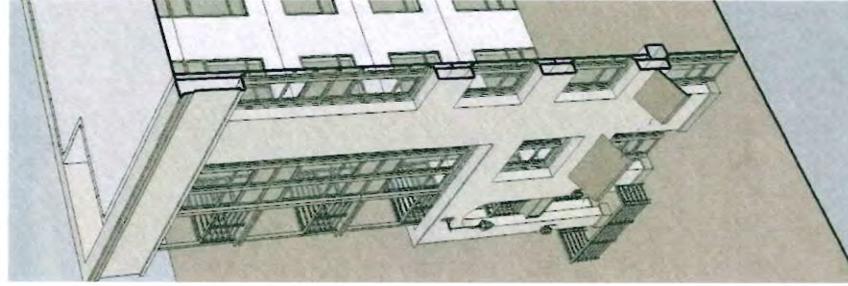
SALVIO STREET



SECTION D



SECTION C



SECTION B



SECTION A

BUILDING TYPICAL PROFILE SECTIONS | 3D

CONCORD APARTMENTS
 2400 Salvio Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

DATE ISSUED: 06.14.2016
 PROJECT NO: 2013-0012
 SCALE: NTS

NORTH
 SHEET NUMBER: A-18
 SHEET TITLE:

BUILDING
 TYPICAL
 PROFILE
 SECTIONS | 3D



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 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
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 Kirkland | WA | 98033

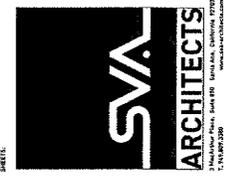
CONSULTANT INFORMATION:

 FUSCOE ARCHITECTS
 2400 Salvo Street, Suite 340
 Concord, CA 94520 | Phone: 925.465.5193
 www.fuscoearchitects.com

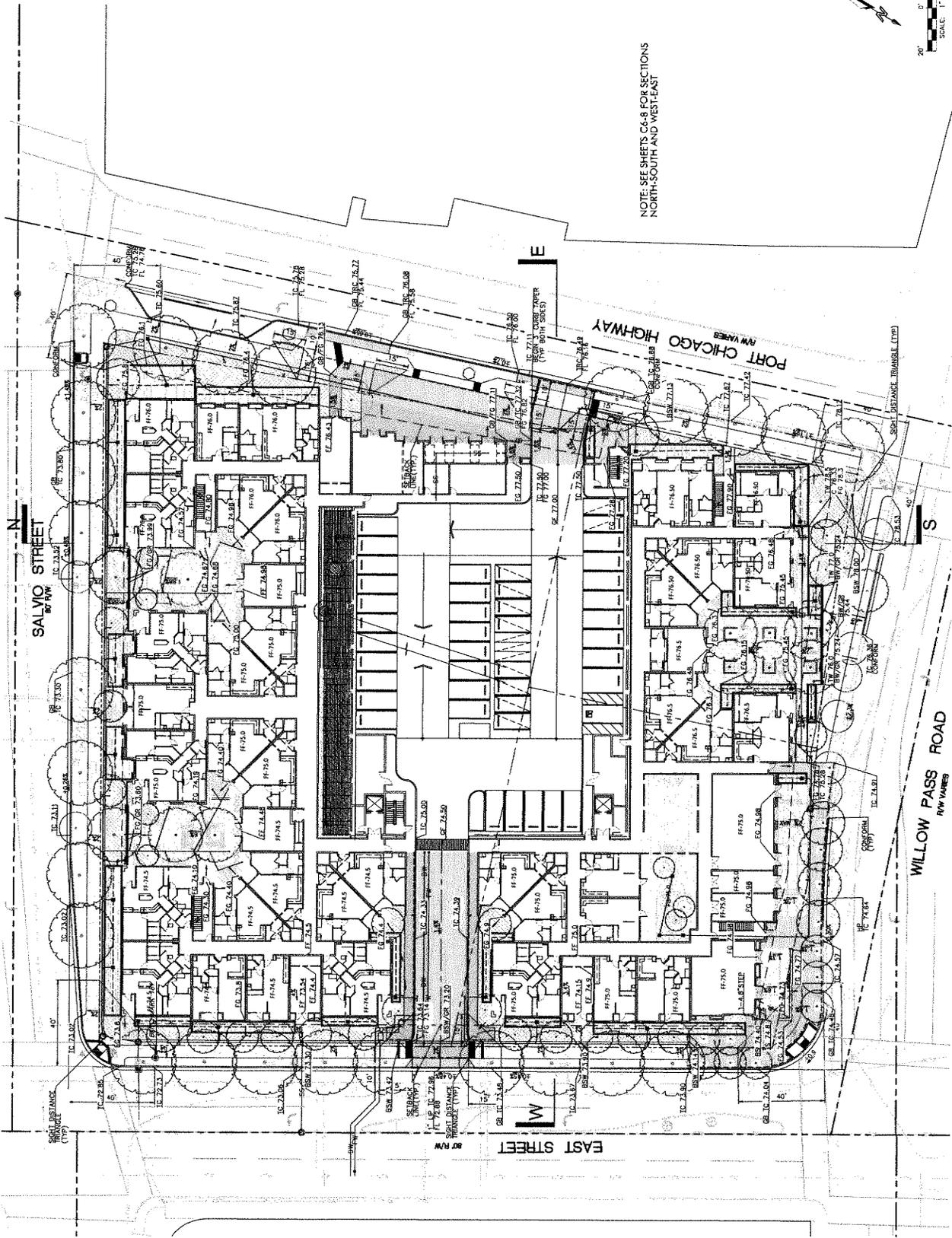
DATE ISSUED: 04-14-2014
 PROJECT NO: 2013-01142



STAMP
 SHEET NUMBER: C2
 SHEET TITLE: CONCEPTUAL GRADING



THE ARCHITECTS' CONTRACT, SPECIFICATIONS, SCHEDULES, AND OTHER DOCUMENTS REFERRED TO IN THIS SET OF DRAWINGS ARE INCORPORATED BY REFERENCE INTO THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



NOTE: SEE SHEETS C6-8 FOR SECTIONS
 NORTH-SOUTH AND WEST-EAST

NOT FOR CONSTRUCTION

CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 8th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:
FUSCOE
 ARCHITECTS
 2400 Camino Real, Suite 340
 San Francisco, CA 94115
 Tel: 415.399.8502 • Fax: 415.399.5153
 www.fuscoearchitects.com

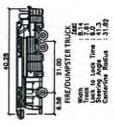
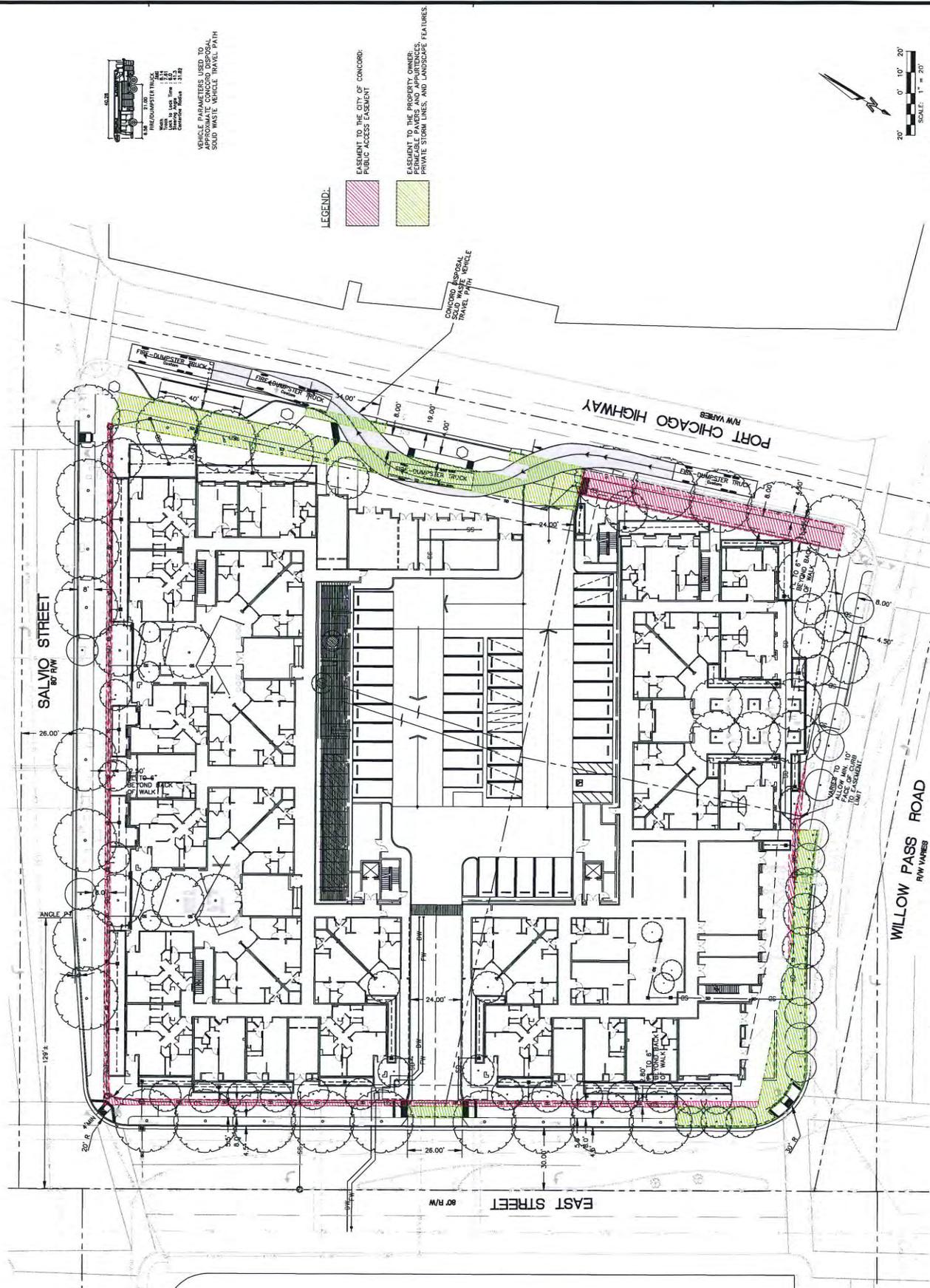
DATE ISSUED: 09-14-2016
PROJECT NO.: 2013-00142



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SHEET NUMBER: CS
SHEET TITLE: SITE PLAN DIMENSIONS
AND EASEMENTS

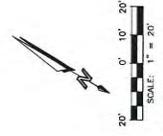


DATE: 09/14/2016
PROJECT: CONCORD APARTMENTS
LOCATION: 2400 SALVIA STREET AND 2402 AND 2471 WILLOW PASS ROAD, CONCORD, CALIFORNIA
SCALE: 1" = 20'



VEHICLE PARAMETERS USED TO
 APPROXIMATE CONCRETE DISPOSAL
 SOLID WASTE VEHICLE TRAVEL PATH

- LEGEND:**
- EASEMENT TO THE PROPERTY OWNER, PRIVATE STORM LINES, AND LANDSCAPE FEATURES
 - CONCRETE DISPOSAL SOLID WASTE VEHICLE TRAVEL PATH
 - EASEMENT TO THE PROPERTY OWNER, PRIVATE STORM LINES, AND LANDSCAPE FEATURES
 - EASEMENT TO THE PROPERTY OWNER, PRIVATE STORM LINES, AND LANDSCAPE FEATURES



NOT FOR CONSTRUCTION

CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland WA 198039

CONSULTANT INFORMATION:
FUSCOE
 2400 Salvia Street, Suite 340
 Concord, CA 94520 • Tel: 925.450.5153
 www.fuscoe.com

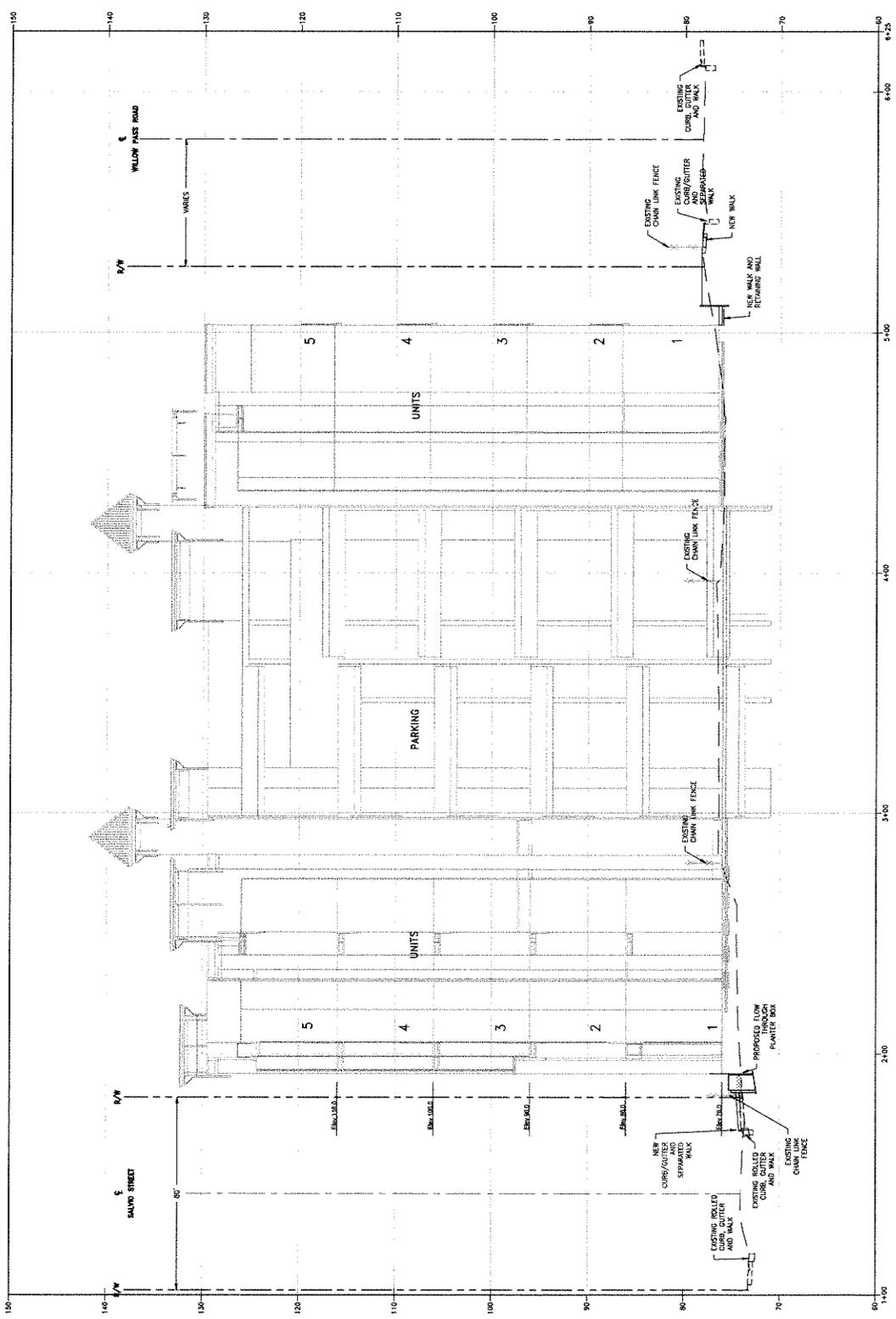
DATE ISSUED: 08-14-2016
PROJECT NO.: 2013-00142



STAMP
 SHEET NUMBER: SUGGESTED
 SHEET TITLE: SECTIONS



CONCORD APARTMENTS
 NORTH-SOUTH SECTION
 REF. SHEET C2



SCALE
 1/8" = 1'-0"

NORTH-SOUTH SECTION
 REF. SHEET C2

NOT FOR CONSTRUCTION



CONCORD APARTMENTS
 2400 Salvio Street and 2402 and 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 9th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

PGAdesign

LANDSCAPE ARCHITECTS
 10000 Wilshire Blvd, Suite 1000
 Beverly Hills, CA 90210
 Tel: 310.277.0000

DATE ISSUED: 04-14-2016

PROJECT NO.: 2013-40142

SCALE: As Indicated



NORTH

SHEET NUMBER: L-01

SHEET TITLE:

TREE REMOVAL & PRESERVATION PLAN

DATE:



ARCHITECTS
 2400 Willow Pass Road, Suite 100
 Concord, CA 94520
 Tel: 925.309.1300

DATE: 04/14/2016

PROJECT NO: 2013-40142

SCALE: AS SHOWN

DATE: 04/14/2016

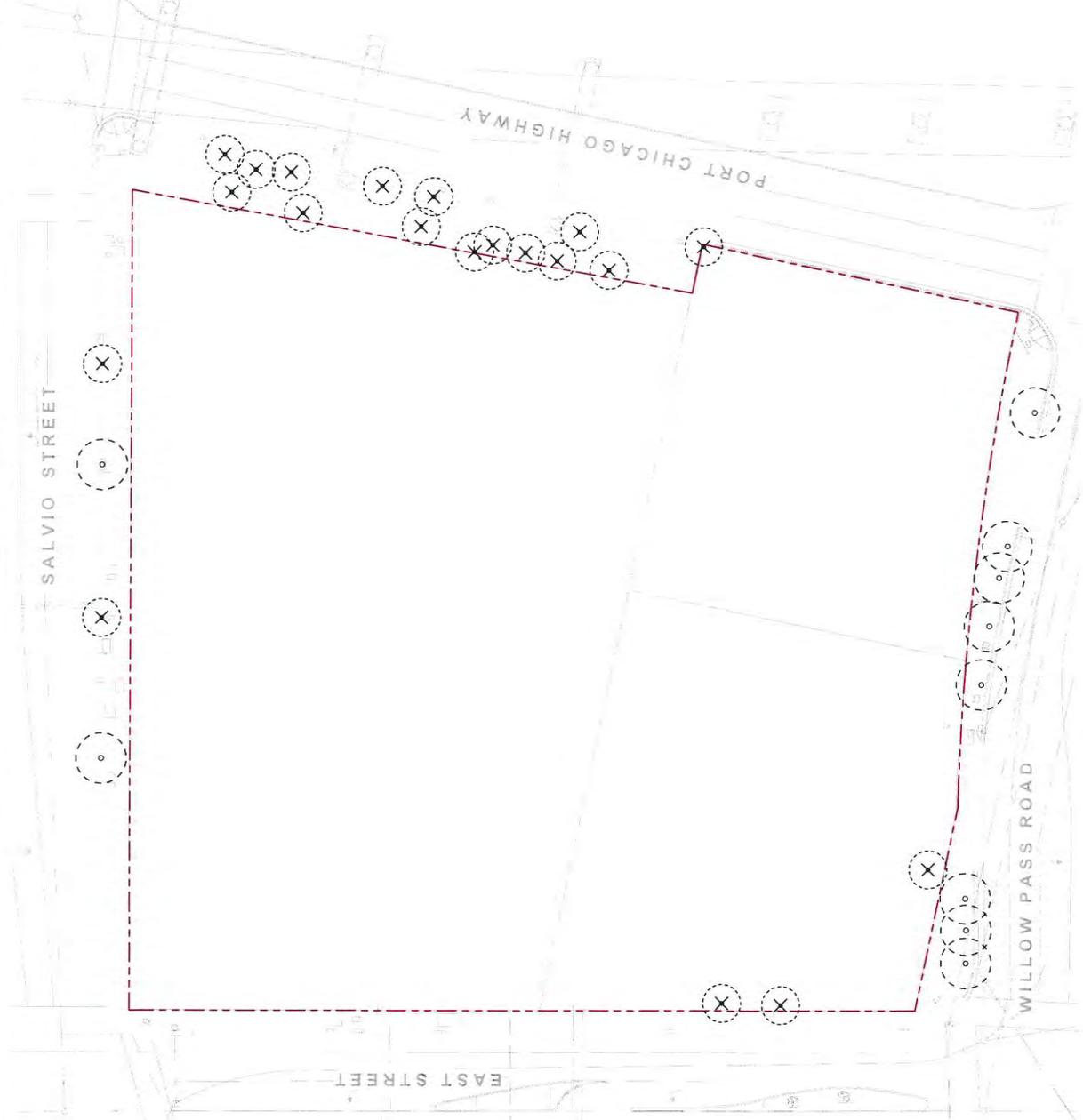
PROJECT NO: 2013-40142

SCALE: AS SHOWN

PRESERVATION & REMOVAL NOTES

1. PRIOR TO THE START OF DEMOLITION, CLEARING OR GRADING, THE PROJECT ARCHITECT SHALL IDENTIFY TREES SLATED FOR PRESERVATION AND REMOVAL, REVIEW THE LOCATION OF THE TREE, THE TREE'S SPECIES, SIZE, HEALTH AND THE NEED FOR CLEARANCE AROUND TREES.
2. FENCE TREES TO BE RETAINED TO COMPLETELY EXCLUDE ALL CONSTRUCTION EQUIPMENT, TO DEMOLITION, GRUBBING OR GRADING (THE TREE DEFINED AS 4' CUT FROM THE CANOPY OF THE TREE) TO REMAIN IN PLACE UNTIL GRADING AND DEMOLITION WORK IS COMPLETE. STRICTLY MINIMIZE GRADING, CONSTRUCTION AND DEMOLITION WORK TO OCCUR WITHIN THE TPZ AND BE SUPERVISED AND APPROVED BY THE PROJECT ARBORIST.
3. ROOT PRUNING REQUIRED FOR CONSTRUCTION AND DEMOLITION WORK SHALL BE SUPERVISED AND APPROVED BY THE PROJECT ARBORIST.
4. GRADING AND CONSTRUCTION WITHIN THE TPZ SHALL BE SUPERVISED AND MONITORED BY THE PROJECT ARBORIST.
5. DO NOT PARK VEHICLES OR HEAVY EQUIPMENT IF INJURY SHOULD OCCUR TO A TREE DURING CONSTRUCTION, IT SHOULD BE EVALUATED AS SOON AS POSSIBLE AND TREATMENTS THAT APPROPRIATE TREATMENTS CAN BE APPLIED.
6. INSURE ADEQUATE SOIL MOISTURE IN THE AREA OF TREES THAT ARE AT RISK AS DETERMINED BY THE PROJECT ARBORIST. APPLICATIONS OF WATER MAY BE REQUIRED.
7. DO NOT DAMPEN STORE EXCESS SOIL, CHEMICALS, DEBRIS, EQUIPMENT OR OTHER MATERIALS WITHIN THE TPZ OR ADJ.
8. CLEARANCE FOR CLEARANCE DURING CONSTRUCTION MUST BE PERFORMED BY A CERTIFIED ARBORIST AND NOT BY CONSTRUCTION EQUIPMENT. PRUNING TO BE APPROVED BY CITY ARBORIST.
9. COORDINATE WITH PRIME AND CIVIL - VERIFY IF YOU NEED TO REMOVE ABOUT REMOVING ANY VACANT UTILITY VAULTS, ETC.

PRESERVATION AND REMOVAL LEGEND



SALVIO STREET

EAST STREET

PORT CHICAGO HIGHWAY

WILLOW PASS ROAD



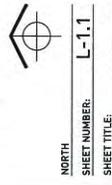
CONCORD APARTMENTS
 2400 Salvo Street and 2402 and
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

CONSULTANT INFORMATION:

PG&A design
 LANDSCAPE ARCHITECTS
 1600 14th Street, Suite 100
 San Francisco, CA 94108

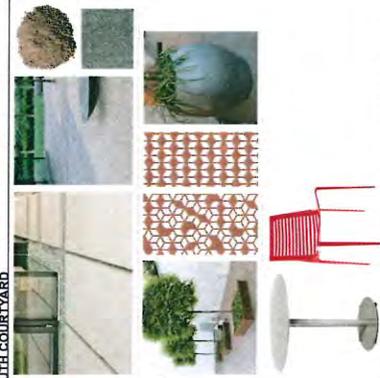
DATE ISSUED: 04-14-2016
PROJECT NO.: 2013-40142
SCALE: As Indicated



SHEET NUMBER: L-1.1
SHEET TITLE:
**PLAZA & SOUTH
 COURTYARD PLAN**



- 1 PLAZA: SIDEWALK SEGMENT BENCH WITH BACK & ARMRESTS
- 2 PLAZA: MANAGEMENT OFFICE & FITNESS CENTER PATIOS
- 3 SKATE DETERRANT SEATWALL AT PUBLIC PLAZA
- 4 STREET TREES, SEE L1.0, L1.1 & L1.2 FOR SPECIES
- 5 CAFE FURNISHINGS AND BENCHES
- 6 DRY GARDEN
- 7 ART SCREEN & FENCE, SEE DETAIL 2 ON THIS SHEET
- 8 ACCESS GATE TO SOUTH COURTYARD
- 9 PLANTERS WITH MOUNTED SEATING
- 10 SHADE TREES, SEE L1.0, L1.1 & L1.2 FOR SPECIES
- 11 CAFE STYLE FURNISHINGS
- 12 ACCESS TO INTERIOR LOUNGE
- 13 UNIT PATIO, TYP.
- 14 PLANTERS WITH EVERGREEN SHRUBS, TYP.
- 15 COMMERCIAL STRING LIGHTS, TYP.



PAVING: IN PLACE CONCRETE WITH DECOMPOSED GRANITE AGGREGATE, COLORADO MONOSTONE CONCRETE COLOR: FRENCH GRAY.

SPECIALTY FURNISHINGS: WITH MOUNTED WOOD SEATING METAL LASER CUT SCREEN BY S&P DESIGN WITH FLAME FINISH WITH METAL-INSULATED COIL BY TOWNSEND, COLOR: RAMP ROCK!

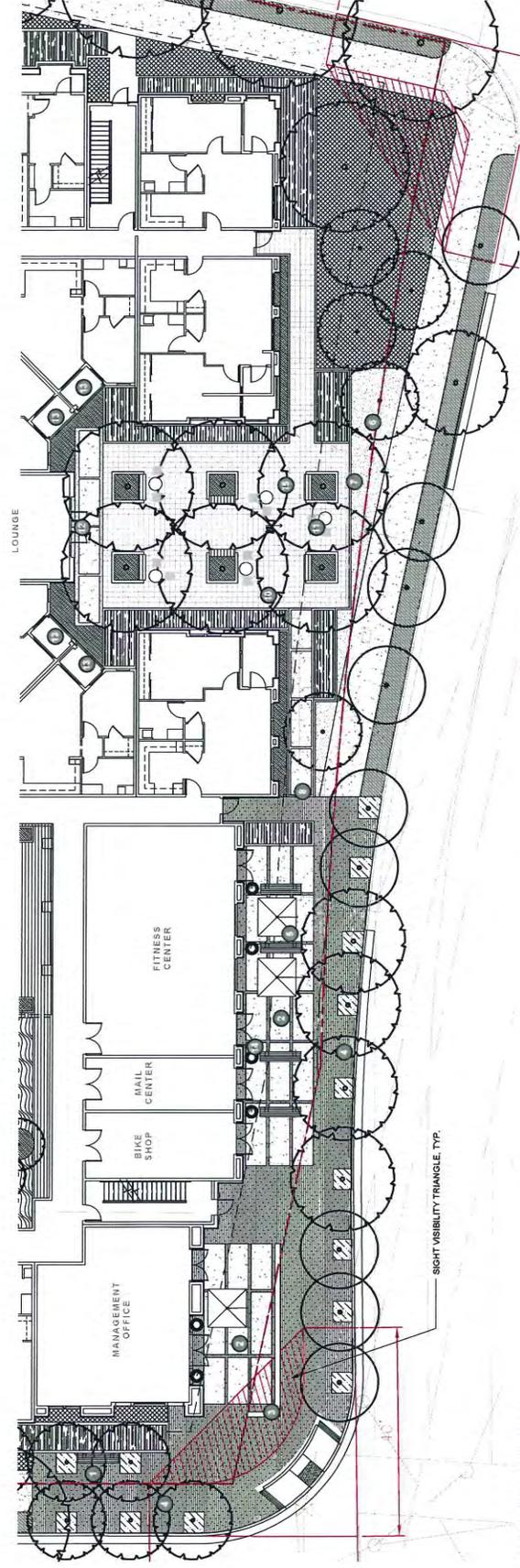
TABLES AND SEATING: TABLE AND COMPANY METAL CHAIR BY S&P DESIGN WITH FLAME FINISH AND FLAME FINISH COLORED SLATS AND FLAME FINISH.

LANDSCAPE MATERIAL AND PLANTING LEGEND

- PLAIN GRAY CONCRETE
- VEHICULAR GRADE, PERMEABLE CONCRETE PAVERS, DUOTONE
- VEHICULAR GRADE, PERMEABLE CONCRETE PAVERS, MONOTONE
- CONCRETE PAVERS, DUOTONE
- CONCRETE PAVERS, 24"x24"
- DECOMPOSED GRANITE PAVING
- DECORATIVE GRAVEL
- WOOD COMPOSITE DECKING
- PLANTING AREA AT STREET TREES
- PLANTING AT BUILDING PERIMETER
- PLANTING AT COURTYARDS & DECKS
- PLANTING AT STORMWATER AREAS
- SYNTHETIC TURF



2 ELEVATION - WILLOW PASS ROAD FENCE
 1/4" = 1'-0"



1 PLAZA AND SOUTH COURTYARD
 1" = 10'-0"

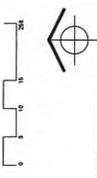


CONCORD APARTMENTS
 2400 Salvia Street and 2402 and
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland WA | 98033

CONSULTANT INFORMATION:
 PGAdesign
 LANDSCAPE ARCHITECTS
 10000 NE 28th Street, Suite 100
 Bellevue, WA 98004

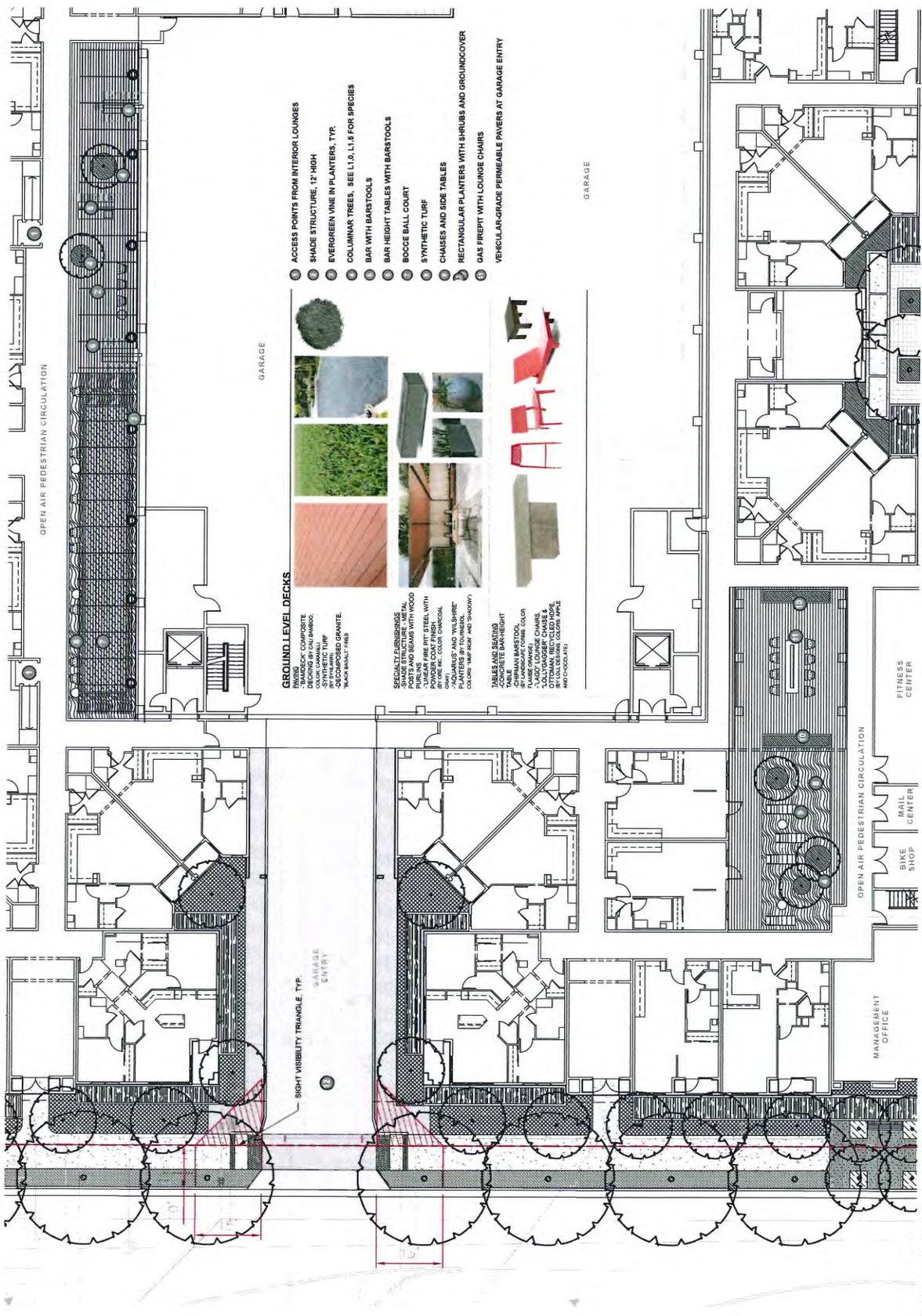
DATE ISSUED: 06-14-2014
PROJECT NO.: 2013-40142
SCALE: 1" = 10'-0"



NORTH
SHEET NUMBER: L-1.3
SHEET TITLE:

**GROUND LEVEL
 DECKS PLAN**

SVA ARCHITECTS
 10000 NE 28th Street, Suite 100
 Bellevue, WA 98004
 206.451.1000 | www.sva-architects.com



- 1 ACCESS POINTS FROM INTERIOR LOUNGES
- 2 SHADE STRUCTURE, 12' HIGH
- 3 EVERGREEN VINE IN PLANTERS, TYP.
- 4 COLUMNAR TREES. SEE L.I.G. L1.8 FOR SPECIES
- 5 BAR WITH BARSTOOLS
- 6 BAR HEIGHT TABLES WITH BARSTOOLS
- 7 BOCCIE BALL COURT
- 8 SYNTHETIC TURF
- 9 CHaises AND SIDE TABLES
- 10 RECTANGULAR PLANTERS WITH SHRUBS AND GROUNDCOVER
- 11 GAS FIREPIT WITH LOUNGE CHAIRS



GROUND LEVEL DECKS
 -BAMBUCK COMPOSITE
 -SUNSHINE BAMBOO
 -SUNSHINE BAMBOO
 -SYNTHETIC TURF
 -DECOMPOSED GRANITE
 -BLACK PAVING STONES

SPECIALTY FURNITURE
 -SHADE STRUCTURE (METAL
 PULKS AND BEAMS WITH WOOD
 FINISH)
 -LINEAR FIRE PIT (STEEL WITH
 BRICK) (NO. COLU. CHRONAL)
 -"ADULARIS" AND "WILSHIRE"
 PLANTERS BY DORNBLUM
 (WOOD, METAL AND BRASS)

TABLES AND SEATING
 -CONCRETE BAR-HEIGHT
 TABLES
 -CHERRYWOOD BAR-HEIGHT
 TABLES
 -LARGE LOUNGE CHAIRS
 -OTTOMAN, REDUCED (DIP)
 -LOUNGE CHAIRS (DIP)
 -LOUNGE CHAIRS (DIP)

1 GROUND LEVEL DECKS
 1" = 10'-0"



CONCORD APARTMENTS
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 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

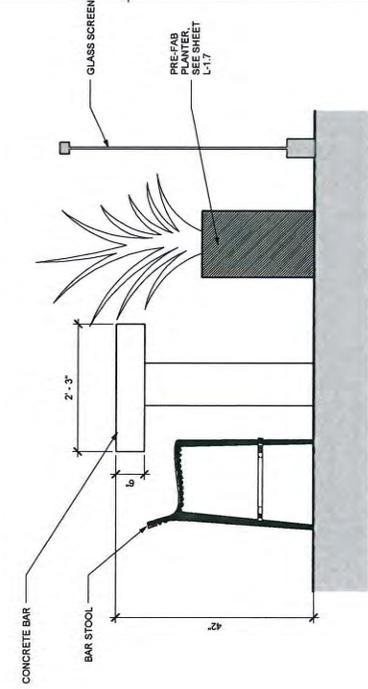
CONSULTANT INFORMATION:

PGAdesign
 LANDSCAPE ARCHITECTS
 4000 UNIVERSITY AVENUE, SUITE 100
 BERKELEY, CA 94704
 TEL: 415.849.1000

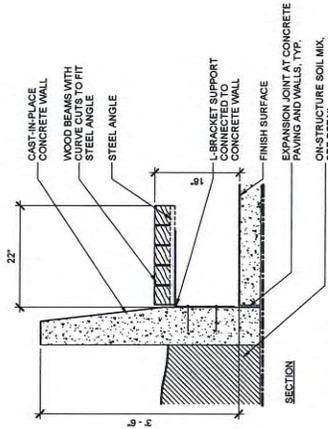
DATE ISSUED: 04-14-2016
PROJECT NO.: 2013-00142
SCALE: AS INDICATED

NORTH
SHEET NUMBER: L-1.6
SHEET TITLE:

SELECT DETAILS

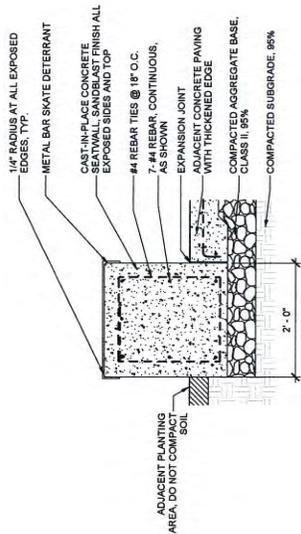


③ ROOF LEVEL VIEWING COUNTER
 1" = 1'-0"



NOTES:
 1. TOP OF WALL LEVEL.
 2. TROWEL FINISH TOP OF WALL.

② CONCRETE BENCH WITH MOUNTED WOOD SEAT
 1" = 1'-0"

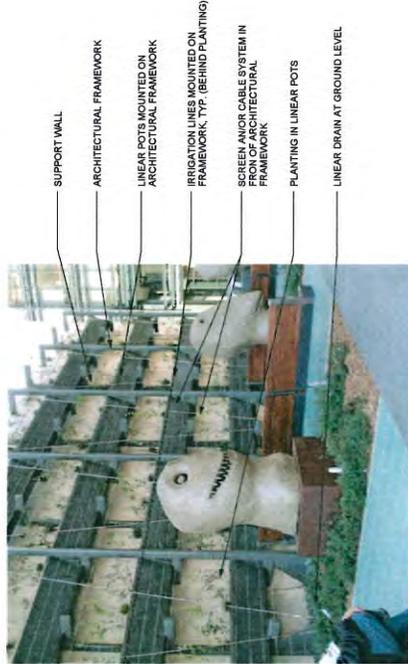


NOTES:
 1. KEEP REBAR 3" CLEAR FROM EDGE OF CONCRETE WORK.
 2. INSTALL SKATEBOARD STOPS ON SIDES OF WALLS THAT ABUT CONCRETE PAVING.
 3. FINISH SURFACES WITH ANTI-GRAFFITI COATING.
 4. FINISH LIGHT SANDBLAST.

① CONCRETE SEAT WALL AT PLAZA
 1" = 1'-0"



⑤ OPTIONAL GREEN SCREEN AT TRASH PICK-UP AREA (2)
 1" = 1'-0" (ABOVE PERMEABLE PAVING; THIS IMAGE - AFTER PLANTING HAS BECOME ESTABLISHED)



④ OPTIONAL GREEN SCREEN AT TRASH PICK-UP AREA (1)
 1" = 1'-0" (ABOVE PERMEABLE PAVING; THIS IMAGE - AT TIME OF INSTALLATION)



CONCORD APARTMENTS
 2471 Willow Pass Road
 Concord | California

OWNER INFORMATION:
 NICHOLSON DEVELOPMENT
 PROPERTIES, LLC.
 515 5th Ave W
 Kirkland | WA | 98033

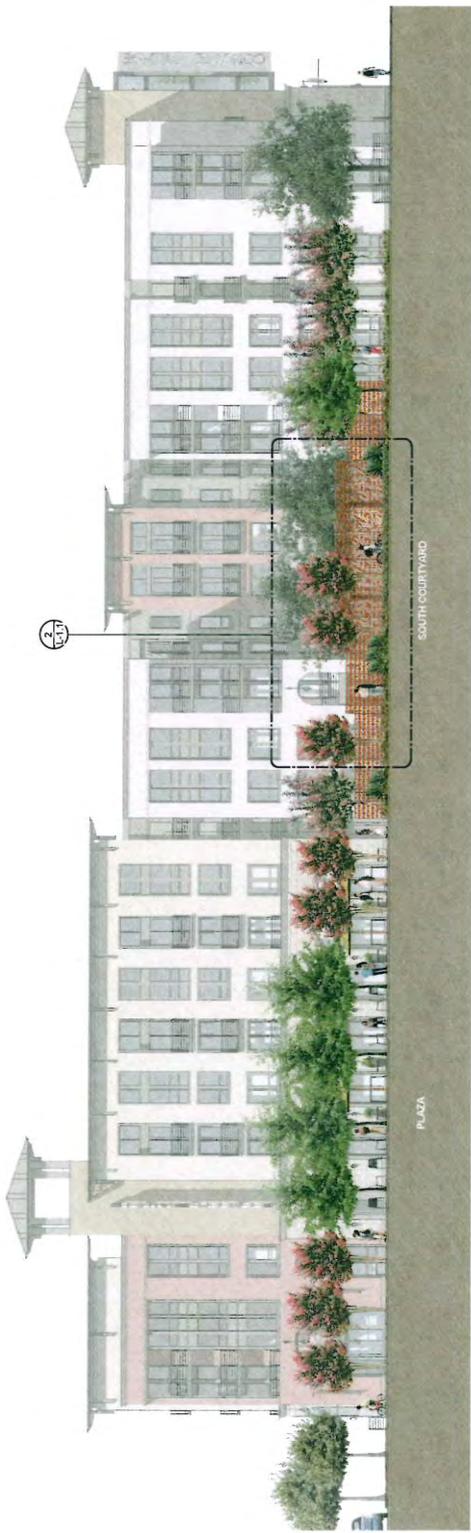
CONSULTANT INFORMATION:

PGAdesign
 LANDSCAPE ARCHITECTS
 10000 NE 28th Street, Suite 100
 Bellevue, WA 98004

DATE ISSUED: 04-14-2016
PROJECT NO.: 2013-40142
SCALE: 1" = 10'-0"

NORTH
SHEET NUMBER: L-1.7
SHEET TITLE:

ELEVATIONS



① ELEVATION - WILSON PASS ROAD
 1" = 10'-0"



② ELEVATION - SALVO STREET
 1" = 10'-0"

EDMUND G. BROWN JR.
GOVERNORMATTHEW RODRIGUEZ
SECRETARY FOR
ENVIRONMENTAL PROTECTION

San Francisco Bay Regional Water Quality Control Board

Date: July 27, 2016
File No. 07S0185 (mej)

RECEIVED

JUL 27 2016

PLANNING

Laura Simpson, AICP
Planning Manager - Community and Economic Development Department
City of Concord
1950 Parkside Drive, MS/53
Concord, CA 94519

Subject: Regulatory Status of Concord Village Development Project, 2400 Salvio Street
Site, Concord, Contra Costa County.

Dear Ms. Simpson:

Regional Water Board staff understands that the City of Concord would like a regulatory status update on the Concord Village Development Project. This letter is prepared in response to this request.

Marginal Properties-Concord, LLC, the owner of the Site, has submitted a Remedial Action Plan report, dated July 15, 2016, and prepared by Gribi Associates. Regional Water Board staff has reviewed this report and find it an acceptable approach to address residual pollution at the Site in preparation for the planned redevelopment as a residential apartment building. We will provide a 30-day public comment period prior to our final approval of the Remedial Action Plan. During this time period a fact sheet describing the plan and soliciting public comment will be distributed to nearby property owners and interested parties. Once the public comment closes, a response to comments will be prepared. At this point the document will be modified, as appropriate, and finalized for approval.

If you have any questions or comments, please contact Mark Johnson of my staff at 510-622-2493 or e-mail mjohnson@waterboards.ca.gov.

Sincerely,

Bruce H. Wolfe
Executive Officer

Digitally signed by Stephen Hill
DN: cn=Stephen Hill, o, ou=RWQCB,
email=SHill@waterboards.ca.gov, c=US
Date: 2016.07.27 08:41:04 -07'00'

cc: Brent Nicholson, Marginal Properties-Concord, LLC

DR. TERRY F. YOUNG, CHAIR | BRUCE H. WOLFE, EXECUTIVE OFFICER

1515 Clay St., Suite 1400, Oakland, CA 94612 | www.waterboards.ca.gov/sanfranciscobay