



**REGULAR MEETING OF THE
CITY OF CONCORD
PLANNING COMMISSION**

**Wednesday, September 21, 2016
6:30 p.m. – Council Chamber
1950 Parkside Drive, Concord**

Planning Commission Members:

Carlyn Obringer, Chair

Jason Laub, Vice Chair

Dominic Aliano, Commissioner

LaMar Anderson, Commissioner

Ray Barbour, Commissioner

**REGULAR MEETING
6:30 p.m. – Council Chamber**

I. ROLL CALL

II. PLEDGE TO THE FLAG

III. PUBLIC COMMENT PERIOD

IV. ADDITIONS / CONTINUANCES / WITHDRAWALS

V. CONSENT CALENDAR

1. [8/17/16 Meeting Minutes](#)

VI. COMMISSION CONSIDERATIONS

VII. PUBLIC HEARINGS

- 1. [Concord Village \(PL15438 – UP, MP, DR\)](#) – Application for a Use Permit and Design Review for a 230-unit apartment project with approximately 3,000 sq. ft. of amenity space and a Minor Use Permit for a density bonus to increase the density to 110 units per net acre on a 2.3 gross acre site at 2400 Salvio Street and 2401 and 2471 Willow Pass Road. The General Plan land use designation is Downtown Mixed Use; zoning classification is DMX (Downtown Mixed Use); APN's: 126-083-011, -012, -013. Pursuant to the provisions of the California Environmental Quality Act (CEQA) of 1970, as amended, and pursuant to Section 15332 "In-Fill Development Projects," the project is classified as a Class 32 Categorical Exemption, as the project is 1) consistent with the City's General Plan and zoning; 2) occurs within city limits on a project site no more than five acres substantially surrounded by urban uses; 3) the project has no value as habitat for endangered, rare or threatened species; 4) there will be no significant effects relating to traffic, noise, air quality or water quality; and 5) the site can be adequately served by all required utilities and public services. Therefore, no**

further environmental review is required. **Project Planner: G. Ryan Lenhardt @ (925) 671-3162** *This item was continued from the August 17th meeting.*

2. **Shiva Murugan Cultural Center (PL15426 – UP, DR, RT)** – Application for a Use Permit Amendment, Design Review, and Protected Tree Removal to demolish an existing Shiva Murugan Temple, annex building, residence with carport, and a cottage, and construct a new Temple and annex building measuring 7,075 sq. ft. and 6,731 sq. ft. respectively, on a 0.73-net acre site at 1803 Second Street. The General Plan designation is Commercial Mixed Use; Zoning classification is CMX (Commercial Mixed Use); APN’s 113-011-008, -010, -016, and -017. Pursuant to the provisions of the California Environmental Quality Act (CEQA) of 1970, as amended, and pursuant to Section 15332 “In-Fill Development Projects,” the project is classified as a Class 32 Categorical Exemption, as the project is 1) consistent with the City’s General Plan and zoning; 2) occurs within city limits on a project site no more than five acres substantially surrounded by urban uses; 3) the project has no value as habitat for endangered, rare or threatened species; 4) there will be no significant effects relating to traffic, noise, air quality or water quality; and 5) the site can be adequately served by all required utilities and public services. Therefore, no further environmental review is required. **Project Planner: G. Ryan Lenhardt @ (925) 671-3162**

3. **The Tire Shop (PL16121 – UP)** – Application for a Use Permit to establish an Automotive Maintenance Service business specializing in tire repair and maintenance at 2900 Willow Pass Road. The General Plan designation is Commercial Mixed Use; Zoning classification is CMX (Commercial Mixed Use); APN 113-041-033. Pursuant to the provisions of the California Environmental Quality Act (CEQA) of 1970, as amended, this project is classified as Categorically Exempt pursuant to Section 15301 Class 1 “Existing Facilities,” and therefore no further environmental review is required. **Project Planner: Frank Abejo @ (925) 671-3128**

VIII. STAFF REPORTS / ANNOUNCEMENTS

IX. COMMISSION REPORTS / ANNOUNCEMENTS

X. FUTURE PUBLIC HEARING ITEMS

XI. ADJOURNMENT

NOTICE TO PUBLIC

ADA ACCOMMODATION

In accordance with the Americans With Disabilities Act and California Law, it is the policy of the City of Concord to offer its public programs, services and meetings in a manner that is readily accessible to everyone, including those with disabilities. If you are disabled and require a copy of a public hearing notice, or an agenda and/or agenda packet in an appropriate alternative format; or if you require other accommodation, please contact the ADA Coordinator at (925) 671-3021, at least five (5) days in advance of the hearing. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility.

APPEALS

Decisions of the Planning Commission on use permits, variances, major subdivisions, appeals taken from decisions of the Zoning Administrator or staff interpretations of the Zoning Code may be appealed to the City Council. Appeals and the required filing fee must be filed with the City Clerk within ten (10) days of the decision.

If you challenge any of the foregoing described actions in court, an appeal first of said actions to the Zoning Administrator, Planning Commission, and/or City Council (as applicable) in the manner and within the time period established in Development Code Chapter 18.510 (Appeals and Calls for Review) is required, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Zoning Administrator and/or Planning Commission (as applicable) at, or prior to, said public hearing.

APPLICANT'S SUBMITTAL OF INFORMATION

Submittal of information by a project applicant subsequent to the distribution of the agenda packet but prior to the public hearing may result in a continuance of the subject agenda item to the next regularly scheduled Planning Commission meeting, if the Commission determines that such late submittal compromises its ability to fully consider and evaluate the project at the time of the public hearing.

CONSENT CALENDAR

Adoption of the Consent Calendar may be made by one motion of the Planning Commission, provided that any Commissioner, individual, or organization may request removal of an item from the Consent Calendar for separate consideration. If a request for removal of an item from the Consent Calendar has been received, the Chair may defer action on the particular item and place the same on the regular agenda for consideration in any order s/he deems appropriate.

CORRESPONDENCE

Correspondence and writings received within 72 hours of the scheduled Planning Commission meeting that constitute a public record under the Public Records Act concerning any matter on the agenda is available for inspection during normal business hours at the Permit Center located at 1950 Parkside Drive, Concord. For additional information contact the Planning Division at (925) 671-3152.

HEARINGS

Persons who wish to speak on hearings listed on the agenda will be heard when the hearing is opened, except on hearing items previously heard and closed to public comment. Each public speaker should limit their comments to three (3) minutes or less. The Chair may grant additional time. The project applicant normally shall be the first person to make a presentation when a hearing is opened for public comment. The project applicant's presentation should not exceed ten (10) minutes unless the Chair grants permission for a longer presentation. After the public has commented, the item is closed to further public comment and brought to the Planning Commission level for discussion and action. Further comment from the audience will not be received unless requested by the Commission. No public hearing or hearing shall commence after 11:00 p.m. unless this rule is waived by majority vote of the Commission.

MEETING RECORDS

Planning Commission meetings are available for viewing on the City's website, www.cityofconcord.org and at the Concord Public Library. Copies of DVDs of the Planning Commission Meeting are available for purchase. Contact the Planning Division at (925) 671-3152 for further information.

NOTICE TO THE HEARING IMPAIRED

The Council Chamber is equipped with Easy Listener Sound Amplifier units for use by the hearing impaired. The units operate in conjunction with the Chamber's sound system. You may request the Easy Listener Phonic Ear Personal Sound Amplifier from the staff for personal use during Commission meetings.

ROUTINE AGENDA ITEMS AND CONTINUED ITEMS

All routine and continued items will be considered by the Planning Commission at the beginning of the meeting. There will not be separate discussions of these items unless a request is made prior to the time the Planning Commission considers the motions.

SPEAKER'S CARD

Members of the audience who wish to address the Planning Commission should complete a speaker's card available in the lobby or at the front bench. Submit the completed card to staff before the item is called, preferably before the meeting begins.

TELEVISED MEETINGS

All Planning Commission meetings are broadcast live on Astound Broadband channel 29 and Comcast channel 28. The meeting is replayed on the Thursday following the meeting at 8:00 a.m., 2:00 p.m. and 8:00 p.m. Replays are also broadcast on Fridays and Saturdays. Please check the City website, <http://www.cityofconcord.org/about/citynews/tvlistings.pdf> or check the channels for broadcast times.

NEXT PLANNING COMMISSION MEETINGS:

October 5, 2016: 6:30 pm – Council Chamber
October 19, 2016: 6:30 pm – Council Chamber

REGULAR MEETING OF THE
CITY OF CONCORD PLANNING COMMISSION
COUNCIL CHAMBER, 1950 PARKSIDE DRIVE
CONCORD, CALIFORNIA

Wednesday, August 17, 2016

A regular meeting of the Planning Commission, City of Concord, was called to order by Chair Obringer at 6:30 P.M., August 17, 2016, in the City Council Chamber.

I. ROLL CALL

COMMISSIONERS PRESENT: Chair Carlyn Obringer
Vice Chair Jason Laub
Commissioner Dominic Aliano
Commissioner LaMar Anderson
Commissioner Ray Barbour

STAFF PRESENT: Laura Simpson, Planning Manager
Margaret Kotzebue, Senior Assistant City Attorney
Brian Nunnally, Business Development Manager
Kevin Marstall, Senior Civil Engineer
G. Ryan Lenhardt, Senior Planner

II. PLEDGE TO THE FLAG

Commissioner Barbour led the pledge.

III. PUBLIC COMMENT PERIOD

Dea Smith commented on universal access and ADA requirements with future development and future decisions by the Planning Commission.

IV. ADDITIONS / CONTINUANCES / WITHDRAWALS

None were announced.

V. CONSENT CALENDAR

No public comment was heard.

APPROVAL OF MINUTES

Motion was made by Vice Chair Laub, and seconded by Commissioner Anderson to approve the meeting minutes of August 3, 2016. The motion was passed by the following vote:

AYES: Laub, Anderson, Aliano, Barbour, Obringer
NOES: None
ABSTAIN: None
ABSENT: None

VI. COMMISSION CONSIDERATIONS

4050 Port Chicago Highway General Plan Consistency – Review that a proposed sale of City-owned property is consistent with the adopted General Plan pursuant to Government Code Section 65402(a). **Project Contact: Brian Nunnally, Business Development Manager @ (925) 671-3018**

Business Development Manager, Brian Nunnally, presented the report and answered questions from the Commission.

Kevin Marstall, Senior Civil Engineer, answered a question regarding buildable area and flood plain restrictions.

No public comment was heard.

Motion was made by Vice Chair Laub and seconded by Commissioner Aliano that the Planning Commission report to the City Council, for purposes of Government Code Section 65402(a), the proposed sale of property at 4050 Port Chicago Highway (APN 100-370-013) is consistent with the General Plan. The motion passed by the following vote:

AYES: Laub, Aliano, Anderson, Barbour, Obringer
 NOES: None
 ABSTAIN: None
 ABSENT: None

VII. PUBLIC HEARINGS

Concord Village (PL15438 – UP, MP, DR) – Application for a Use Permit and Design Review for a 230-unit apartment project with approximately 3,000 sq. ft. of amenity space and a Minor Use Permit for a density bonus to increase the density to 110 units per net acre on a 2.3 gross acre site at 2400 Salvio Street and 2401 and 2471 Willow Pass Road. The General Plan land use designation is Downtown Mixed Use; zoning classification is DMX (Downtown Mixed Use); APN’s: 126-083-011, -012, -013. Pursuant to the provisions of the California Environmental Quality Act (CEQA) of 1970, as amended, and pursuant to Section 15332 “In-Fill Development Projects,” the project is classified as a Class 32 Categorical Exemption, as the project is 1) consistent with the City’s General Plan and zoning; 2) occurs within city limits on a project site no more than five acres substantially surrounded by urban uses; 3) the project has no value as habitat for endangered, rare or threatened species; 4) there will be no significant effects relating to traffic, noise, air quality or water quality; and 5) the site can be adequately served by all required utilities and public services. Therefore, no further environmental review is required. **Project Planner: G. Ryan Lenhardt @ (925) 671-3162**

Senior Planner, Ryan Lenhardt, presented the project and answered questions from the Planning Commission.

The applicant, Brent Nicholson, explained the project and answered questions from the Planning Commission.

Ernie Vasquez, from SVA Architects, answered questions from the Planning Commission.

Kathleen Hugens, of Fuscoe Engineering, explained the landscaping and trees proposed for the project.

Public Comment

Ned Thimmayya, an attorney representing Concord Residents for Responsible Development, explained why the project is not exempt from CEQA and is inconsistent with the General Plan and urged the Planning Commission to deny the project and require staff to provide an EIR for the project.

Smitty, from Bike Concord, expressed concerns with the bike shop and rental rates.

Emily Nashban expressed concerns about recent accidents on Port Chicago and Willow Pass and asked for mitigation on speeds around the proposed project and commented on the proposed green screens.

Motion was made by Vice Chair Laub and seconded by Commissioner Barbour to continue the item to the September 21, 2016 Planning Commission meeting to research the Cortese List and have the applicant and staff further explore parking impacts on the project. Commissioner Anderson opposed. The motion passed by the following vote:

AYES: Laub, Barbour, Aliano, Obringer
 NOES: Anderson
 ABSTAIN: None
 ABSENT: None

VIII. STAFF REPORTS / ANNOUNCEMENTS

There were none.

IX. COMMISSION REPORTS/ANNOUNCEMENTS

There were none.

X. FUTURE PUBLIC HEARING ITEMS

Planning Manager Laura Simpson announced there will be two items, Shiva Temple and The Tire Shop, discussed at the September 21st meeting along with the continued Concord Village project.

XI. ADJOURNMENT

Commissioner Aliano moved to adjourn at 9:02 P.M. Commissioner Barbour seconded the motion. Motion to adjourn was passed by unanimous vote of the Commissioners present.

APPROVED:

Laura Simpson, AICP
Planning Manager

Transcribed by Grant Spilman,
Administrative Coordinator

DRAFT

**REPORT TO PLANNING COMMISSION**

DATE: September 21, 2016

SUBJECT: Concord Village (PL15438 - UP, MP, DR)**Recommendation: Move to continue the public hearing to a date uncertain.****I. Introduction****A. Application Request**

Application for a Use Permit, Minor Use Permit, and Design Review for a 230-unit apartment project with approximately 3,000 sq. ft. of amenity space on a 2.3-gross acre site.

B. Location

The project site is located at 2400 Salvio Street and 2401 and 2471 Willow Pass Road; APN's 126-083-011, -012, -013.

C. Applicant/Owner

Nicholson Development Properties
Attn: Brent Nicholson
720 North 10th St., A-128
Renton WA 98057
(206) 979-9681

II. Background

On August 17, 2016, the Planning Commission heard staff's report for a Use Permit, Minor Use Permit, and Design Review for a 230-unit apartment project at the "Green House" property, the block bounded by Salvio Street, Willow Pass Road, East Street, and Port Chicago Highway. The day of the meeting, staff received a 31-page letter at 4:21 p.m. from attorneys representing Concord Residents for Responsible Development (an unincorporated association of individuals and labor organizations that may be adversely affected by the potential impacts associated with Project development. The association includes Eric Haynes, Raul Tiffer, Vincent Copeletti, International Brotherhood of Electrical Workers Local 302, Plumbers & Steamfitters Local 159, Sprinkler Fitters Local 483, and Sheet Metal Workers Local 104, and their families who live and/or work in Concord).

Additionally, the attorney requested the Planning Commission deny all approvals on the grounds that: 1) the project is not exempt from CEQA, 2) the project fails to comply with the Downtown Concord Specific Plan, and 3) the project would be detrimental to construction workers and residents.

The Planning Commission raised issues regarding whether the appropriate CEQA determination had been made considering the site was a documented contamination site and asked staff to study whether a reduction in the number of parking spaces was appropriate for the project. The Commission continued the item to their September 21 meeting.

Staff has been working with the applicant to determine the appropriate course forward with respect to the requisite environmental analysis and has requested the applicant submit a proposal to reduce onsite parking so that it may be analyzed. Staff has also been working with representatives of the Regional Water Quality Control Board to determine if the site were completely cleaned of its contaminants, if it would qualify for removal from its GeoTracker website. The website is the Water Board's data management system for sites that impact groundwater or have the potential to impact groundwater. GeoTracker contains sites that require groundwater cleanup (Leaking Underground Storage Tanks, Department of Defense, and Site Cleanup Program) as well as permitted facilities that could impact groundwater (Irrigated Lands, Oil and Gas Production, Operating USTs and Land Disposal sites).

III. Summary

Staff requests a continuance of the Concord Village project (PL15438 – UP, MP, DR) to a future date, to be determined, to accommodate the time needed to analyze and respond to the issues raised at the public hearing.

IV. Motion

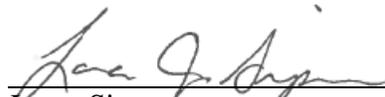
I (Comm. _____) hereby move that the Planning Commission move to continue the public hearing to a date uncertain. (Seconded by Comm. _____.)

Prepared by:



G. Ryan Lenhardt
Senior Planner
(925) 671-3162
ryan.lenhardt@cityofconcord.org

Reviewed by:



Laura Simpson
Planning Manager
(925) 671-3369
laura.simpson@cityofconcord.org



REPORT TO PLANNING COMMISSION

DATE: September 21, 2016

SUBJECT: Shiva Murugan Cultural Center (PL15426 - UP, DR, RT)

Recommendation: Adopt Resolution No. 16-25PC, approving the Shiva Murugan Cultural Center Use Permit Amendment, Design Review, and Protected Tree Removal (PL15426 - UP, DR, RT).

I. Introduction

A. Application Request

Application for a Use Permit Amendment, Design Review, and Protected Tree Removal to demolish an existing Shiva Murugan Temple, annex building, residence with carport, and a cottage, and construct a new temple and annex building measuring 7,075 sq. ft. and 6,731 sq. ft. respectively, on a 0.73-net acre site at 1803 Second Street.

B. Location

The project site is located at 1803 Second Street; APN's 113-011-008, -010, -016, and -017.



C. Applicant/Owner

Saiva Siddhantha Ashram
Attn: Ravi Nadesan
1803 Second Street
Concord CA 94519
(925) 827-0127

II. Background

In 1953, the City approved Use Permit 5-53 modifying the required building setbacks along Second Street and the west property line.

On March 13, 1987, the City approved an Administrative Application to establish a “church and Sunday school.” Staff added four conditions of approval to address outdoor storage, signs, and building modifications. The Shiva Temple has been operating pursuant to those conditions since 1988.

On October 29, 2014, Ravi Nadesan, on behalf of Saiva Siddhantha Ashram, submitted a Preliminary Application to demolish the existing Shiva Murugan Temple and ancillary buildings and construct a new temple and annex building measuring 7,075 sq. ft. and 6,731 sq. ft. respectively on a 0.73-net acre site.

On November 20, 2014, the Design Review Board (DRB) conducted a Study Session of the project. The Board asked the applicant to reconsider the placement of the Temple, emphasize the exterior building ornamentation, consider simplifying the annex building, and decide whether the Rajagopuram (main tower) will be painted. The DRB provided specific direction to the applicant to be incorporated into the formal application submittal.

On December 4, 2014, a neighborhood meeting was conducted. Two owners from the adjacent residential neighborhood attended the meeting, were supportive of the project, and had questions about the site design, building architecture, and commented that Temple patrons blocked their tenant’s driveway on occasion and questioned how parking overflow would be addressed.

On October 7, 2015, the applicant submitted a formal development application including a Use Permit Amendment, Design Review, and Protected Tree Removal. The application was reviewed by the Development Advisory Committee (DAC) on October 27, 2015 and deemed incomplete by staff on November 5, 2015.

On November 19, 2015, the DRB conducted Preliminary Design Review and provided the applicant with comments regarding the parking design, the trash enclosure location, site circulation, the plant list, and recommended the applicant return for Design Review approval.

On November 30, 2015, a second neighborhood meeting was conducted and no neighbors attended.

On January 22, 2016, the City hired a consultant to review the circulation and parking demand for large events at the Temple.

On July 29, 2016, the applicant submitted additional details in response to the Board's request for information and the Board granted Design Review approval on August 11, 2016 with conditions.

On August 26, 2016, the application was deemed complete.

III. General Information

A. General Plan

The General Plan designation is Commercial Mixed Use.

B. Zoning

The site is zoned CMX (Commercial Mixed Use).

C. CEQA Status

Pursuant to the provisions of the California Environmental Quality Act (CEQA) of 1970, as amended, and pursuant to Section 15332 "In-Fill Development Projects," the project is classified as a Class 32 Categorical Exemption, as the project is 1) consistent with the City's General Plan and zoning; 2) occurs within city limits on a project site no more than five acres substantially surrounded by urban uses; 3) the project has no value as habitat for endangered, rare or threatened species; 4) there will be no significant effects relating to traffic, noise, air quality or water quality; and 5) the site can be adequately served by all required utilities and public services. There is also no indication that there is a reasonable possibility that the project will have a significant effect on the environment due to a cumulative impact of other projects or unusual circumstances, or that the site is designated as a hazardous waste site. Therefore, no further environmental review is required.

D. Project Description

The Shiva Murugan Temple (Temple) has been operating in Concord since 1988. The Temple is operating in an existing church with a social hall in the basement and an adjacent single story building that serves as an administrative office. A single-family home on an adjacent parcel serves as a priest's residence.

Temple activities include a variety of services from daily worship (Puja), to religious and social ceremonies, and religious festivals throughout the year. Ten special events (11 days) occur each year, the four largest are, "Padayatra, Thai Pusam, Maha Shiva Ratri, and New Year's Day." The Temple's operating hours are Monday through Friday from 10:00 a.m. to 12:00 p.m. and 6:00 p.m. to 9:00 p.m. Weekend and special event hours are 10:00 a.m. to 9:00 p.m. Temple attendees do not arrive at a specific time, rather, attendance varies

throughout the day with patrons arriving and leaving on their own schedule during the Temple's operating hours.

The proposal to construct a new temple and annex building is to provide separate venues for religious and social activities. The construction of the new building will be phased so that the existing temple will remain in place until the new building is completed. The annex building and completion of the south parking lot will be constructed in the second phase.

E. Site Description

The 0.73-net acre site is comprised of four contiguous parcels (that will be merged), each with street frontage, bordered by Second Street and Concord Boulevard. The site is flat and similar in elevation to the adjacent properties. A number of structures will be demolished to accommodate the project including the existing temple, an annex building, a residence with carport, and a cottage. Vegetation is limited to street trees and lawn and a small grove of trees at the rear of the annex building and residence.

Lot Size and Dimensions	39,000 gross sq. ft. (approx.)	165 ft. x 245 ft. (approx.)
Existing Improvements	Temple building, annex building, a residence with carport, cottage, fencing, and paving along Second Street	
Topography	The parcel sits slightly above its street frontages, is flat, and slopes gently downhill toward the west half of the site.	
Existing Vegetation	Street trees and lawn are located along the south and east frontages and a small grove of trees is located at the rear of the annex building and residence.	

F. Surrounding Land Use

The site encompasses the southeastern half of the block on Second Street. The site is located in the Downtown within ¼ mile of BART and five blocks from Todos Santos Plaza. The site and surrounding areas are zoned Commercial Mixed Use. A mix of professional offices, commercial businesses, and residential uses surround the site.

	Land Use	General Plan Designation	Zoning
North, South, East West	Credit Union, single-family homes, offices, Safeway	Commercial Mixed Use	CMX

G. Site Plan/Circulation/Parking

The temple would be located in the center of the parcel and oriented in an eastern direction toward Second Street and the annex building would be located at the north end of the parcel and oriented south. Ample setbacks are proposed on all sides of the Temple and minimal setbacks are proposed along three sides of the annex building. Landscaping is proposed

adjacent to the temple and two sides of the annex building with more substantial landscaping and bioretention areas along the perimeter of the site.

Two driveways are proposed on Second Street, the north driveway would allow ingress and egress and the south driveway would allow ingress only. A drive aisle would loop around the temple in a clockwise direction providing access to parking along the north and south sides of the building. A trash enclosure is incorporated into the annex building and is oriented south to facilitate dumpster pickups.

Pedestrian access is from an existing sidewalk on Second Street and a proposed ceremonial gate that would lead to a plaza with sitting areas at the front of the temple and two kiosks for storage of footwear. A six-foot tubular steel fence is proposed along the perimeter of the site and sliding gates at each driveway would be closed after hours. Two curvilinear ground signs, one with a water feature, are proposed at each driveway for identification.

Forty-seven (47) vehicle parking spaces and two (2) motorcycle spaces are proposed comprised of 32 standard sized spaces with 9' x 19' dimensions, 13 compact sized spaces with 8' x 16' dimensions, and two, ADA compliant spaces. Sixteen bicycle parking spaces are proposed adjacent to the ceremonial gate and the annex building.

Parking for special or large events is discussed in Section IV (C), below.

H. Architecture

The design of the temple is based on the design principles of Vastu, which dictates the geometries and placement of the building features. The main entrance of the temple must face east according to religious beliefs as it is the most desirable direction. Other aspects of the temple design such as the location of water features, cooking areas, and other amenities follow similar principles. The main feature of the temple is a 43'-8" entrance tower with sculptured elements that rise in diminishing tiers. A second tower and faceted dome are at the west end and center of the temple respectively. The building facades include ornamental pilasters, decorative window trim, overhangs, and cornices.

The two-story annex building would house the temple's administrative offices and restrooms on the first floor. A social hall and kitchen are proposed on the second floor. The design of the building incorporates pilasters and cornices with ornamentation that relates to the temple.

Exterior materials are cement plaster and precast cement pilasters, moldings, cornices, and ornaments. The buildings are painted earth tones, the towers include a variety of primary colors, and the dome is gold-colored.

I. Landscaping/Lighting

The existing trees and landscaping would be removed from the site to accommodate the development. Of those trees recommended for removal, nine are considered Protected Trees (see discussion later in the report). New street trees are proposed along Concord Boulevard

and both frontages will receive a mix of decorative trees, low shrubs, and groundcovers. Low shrubs and grasses are proposed in the bioretention areas.

Freestanding and building-mounted light fixtures are proposed. A “traditional 6-sided cage post top mounted fixture” is proposed for use in the parking areas and a small-scale wall-mounted luminaire that is similar to the pole-mounted fixtures is proposed on the buildings.

The lighting plan has been preliminarily reviewed by staff and the lighting levels have been deemed acceptable for this type of use.

J. Development Regulations

The project meets standards for lot area, floor area ratio, setbacks, and lot area for CMX zoning (unless otherwise noted), and all applicable requirements under the Development Code, Article IV, Development Standards.

Standards	Required/Allowed	Proposed
Floor Area Ratio (FAR) maximum	1.0	0.43
Lot Area (square feet) minimum	10,000	38,863
Lot Width (feet) minimum	100	164
Lot Depth (feet) minimum	100	252
Building Height (feet)		
Maximum	30	43'-8" ¹
Setbacks (feet) required minimum		
Front	5	75
Interior Side	0	0
Corner Side	10	24'-6"
Rear	0	0
Parking Spaces		
Vehicle	35 ²	47
Motorcycle	0	2
Bicycle		
Short Term	2	8
Long Term	4	8

IV. Discussion

A. General Plan Consistency

The site’s General Plan land use designation of Commercial Mixed Use allows for a mix of commercial uses, offices, multi-family uses, mixed use development, and public/quasi-public uses such as religious facilities. The maximum FAR is 1.0. Densities range from a minimum of 11 units per net acre to a maximum of 40 units per net acre. The project

¹ Additional height may be allowed with a use permit

² Parking requirements may be reduced by 25% in the Transit Station Overlay District

proposes a Public/Quasi-Public use and is thus consistent with the intent of the Commercial Mixed Use designation to establish a variety of uses in mixed-use neighborhoods. The project is in substantial compliance with the goals, objectives, and policies of the Concord General Plan, including “religious institutions that enhance the character and quality of neighborhoods” as outlined in General Plan Policy LU-1.1.3.

Additionally, as conditioned the project is consistent with General Plan policies that encourage continued expansion of Central Concord’s role as a focal point for business, entertainment, dining, cultural, and civic gatherings (Policy LU-4.1.1).

B. Zoning Consistency

As conditioned, the proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of the development code and the Concord Municipal Code (CMC). The proposed use is classified as a religious facility, which is a conditionally permitted use in the CMX district. The project meets the standards for lot area, floor area ratio, setbacks, and building height, satisfies applicable requirements under Development Code, Division IV, General Development Standards, and complies with all other applicable provisions of the Development Code and Concord Municipal Code as described below.

C. Site Plan/Circulation/Parking

As indicated above, 47 vehicle parking spaces, 2 motorcycle spaces and 16 bicycle parking spaces are proposed to be located onsite. Although the onsite parking meets the parking requirements for daily use, on January 22, 2016, the City hired a consultant to review the circulation and actual parking demand for Temple weekday use and for large and special events anticipated to be held at the Temple. Parking surveys were conducted to identify the existing Temple demand in the parking lot as well as offsite demand in public street spaces and private off-street parking lots during weekdays and special events.

There are approximately 11 unstriped parking spaces in addition to the 47 striped spaces located onsite. The Temple was observed to have a peak demand of 23 vehicles (11 onsite + 13 offsite) for a typical weekday and up to 38 vehicles for a typical weekend (11 onsite + 27 offsite). The proposed parking lot with 47 automobile spaces would accommodate all Temple parking demand for typical days, which reflects conditions most of the time and would eliminate the need to park offsite. The Temple anticipates their congregation will grow five percent with the completion of the project. Based on this projection, peak-parking demand would increase to 24 vehicles on weekdays and 40 vehicles on the weekend, which would also be accommodated onsite.

Given the project’s proximity to BART, the project is located in the Transit Station Overlay District, which in turn allows a 25% reduction in the number of required parking spaces. (Section 18.160.050). After calculating the 25% reduction, staff has determined that 35 spaces are required pursuant to the Development Code. As there are 47 parking spaces proposed, this would result in 12 surplus parking spaces located onsite. As such,

these spaces may be used to satisfy the parking requirements for special events, discussed below.

The Temple holds 10 special events per year, with one special event occurring on two days, totaling 11 special event days per year. Parking surveys were conducted during the Temple's highest parking demand event (Thai Pusam). The surveys found the parking demand to be contained within one block of the temple site, consisting of the temple parking lot and the UNIFY Western Federal Credit Union parking lots on Second Street (which the Temple has permission to use), but also occupied all of the street spaces on Second Street between Willow Pass Road and Concord Boulevard and 10 vehicles were observed in the Safeway parking lot west of the temple.

The Temple has recently renewed contractual agreements to use parking spaces provided at two off-site locations. These include a written agreement to use all available parking spaces provided in two nearby UNIFY Western Federal Credit Union parking lots located on Second Street during nonbusiness hours (weekday evenings and on weekends), which provide up to 40 spaces. The temple also has a written agreement for a minimum of 50 parking spaces at the First Lutheran Church located at 4000 Concord Boulevard.

Accounting for the future growth estimate of five percent and the offsite parking demand credit, the highest special event (Thai Pusam) parking demand is calculated to be 130 spaces (47 onsite + 83 offsite) where all of the other special events would have lower parking demand.

In order to accommodate the maximum offsite parking demand of 83 spaces, the project applicants have submitted a Transportation Demand Management (TDM) Plan to address parking on special event days. The TDM Plan adequately addresses special event parking by providing up to 90 off-street parking spaces at two nearby locations with shuttle service; providing onsite traffic control personnel; providing directional parking signs at the temple and offsite locations; and providing parking instructions on the temple's website and in email announcements to attendees prior to events.

The proposed site plan was also evaluated and would provide adequate vehicle circulation for attendees' vehicles and garbage service trucks.

D. Design Review

Pursuant to Development Code Chapter 18.415, findings are required for approval of the Design Review application. Staff analysis on how the project meets those findings is provided below with a comprehensive list included in the draft resolution attached as Exhibit A to this report.

1) The project is consistent with the General Plan.

The project is consistent with the General Plan as explained in Section IV-A above.

2) *The project meets the following criteria in Section 18.415.080.*

(a) *The building design and landscaping supports public safety and security by allowing for surveillance of the street by people inside buildings and elsewhere on the site.*

The temple building will face outward toward the public realm as will the public spaces thus allowing for surveillance of the street and open spaces. Pedestrian and vehicle entries will be secured after hours.

(b) *The project design preserves major view and vistas along major streets and open spaces and trails and enhances them by providing project amenities.*

The site and surrounding area is flat and has no topographically significant features, such as valleys, hillsides, and ridgelines that provide scenic views or vistas. The site is not near any open space or trail.

(c) *The proposed lighting and fixtures are designed to complement on-site buildings, are of an appropriate scale for the development, and provide adequate light for safety and security while minimizing glare.*

Exterior lighting will be residential in type and character to minimize glare and improve nighttime visibility and safety for pedestrians and vehicles.

(d) *All mechanical, electrical, and utility equipment is located, screened, or incorporated into the design of the buildings so as not to be visible from off-site, and screening devices are consistent with the exterior colors and materials of the buildings.*

The project conditions require final details of mechanical, electrical, and utility equipment to be shown on building permit plans to ensure they are located behind fencing or screened so as not to be visible from off-site.

(e) *The overall design of the project, including its scale, massing, site plan, exterior design, and landscaping, enhances the appearance and features of the project site and surrounding natural and built environment.*

Design changes have been made to ensure the project is appropriate for the surrounding built environment, including its scale, massing, site plan, and exterior design within the confines of the Religious Land Use and Institutionalized Persons Act (RLUIPA). These changes, which were recommended for approval by the DRB, include the use of “rich” building materials and four-sided design to reduce the mass of the buildings and to create visual interest.

The DRB recommended approval of the project on August 11, 2016 following revisions to the project’s design to address architectural detailing and clarifying the orientation of the trash enclosure. As part of the DRB’s recommendation, the west elevation of the annex building is

to return to the Board for further review prior to building permit issuance. Staff has included the Board's specific recommendations as a condition of approval.

E. Building Height

The primary architectural features of the temple and the annex building are the towers measuring 43'-8" and 42'-9" respectively where the majority of each building measures less than 30'-0".

Table 18.40.030 establishes development standards in the CMX District. The maximum building height allowed in the district is 30 feet however, additional height may be allowed with a use permit. The following findings must be made to support a use permit for increased building height.

- 1) *The proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of the development code and the CMC.*

Religious Facilities are conditionally permitted uses in the CMX District. The project as proposed complies with all other applicable development code standards.

- 2) *The proposed use is consistent with the general plan and any applicable specific plan.*

The project proposes a Public/Quasi-Public use and is thus consistent with the intent of the Commercial Mixed Use designation to establish a variety of uses in mixed-use neighborhoods. The project is in substantial compliance with the goals, objectives, and policies of the Concord General Plan, including "religious institutions that enhance the character and quality of neighborhoods" as outlined in General Plan Policy LU-1.1.3.

- 3) *The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity.*

Staff does not anticipate that the proposed use will be detrimental in any manner listed above. The use will be contained within the building, will generate little visible activity and generally have a negligible impact on its surroundings. Conditions of approval are proposed to address parking demands for special events.

- 4) *The site is physically suitable for the type, density, and intensity of the proposed use, including access, utilities, and the absence of physical constraints.*

The project meets the development standards for the CMX district with respect to floor area ratio, setbacks, landscape requirements, parking, and access.

- 5) *Granting the permit would not be detrimental to the public health, safety, or welfare of the persons residing or working in the subject neighborhood or materially detrimental or injurious to property or improvements in the vicinity and zoning district where the property is located.*

The proposed religious facility will not adversely affect the surrounding area, in that it is an existing compatible land use with the neighboring commercial and residential uses. Development of the site will provide additional setbacks between adjacent residential uses and provide onsite parking in excess of the code requirements.

F. Tree Removal

The project is surrounded by urban/developed commercial, office, and residential subdivisions. The trees are located around the structures, with the majority of them located in the open yard to the west of the structures.

On October 7, 2014, an ISA Board Certified Arborist conducted a tree survey of the project site as required under Development Code Section 18.310.040 and inventoried 20 trees. The survey identified 19 trees requiring removal due to poor health and one tree recommended for incorporation into the project. Of those trees recommended for removal, nine are considered Protected Trees³ (see the following table).

Protected Trees Proposed for Removal		
Tree No.	Size – Species	Comments/Prognosis
1	33” – Camphor	Previously replaced sidewalk/roots cut
2	24” – Black Walnut	Poor structure, decay column in lower trunk
3	26” – Black Walnut	Poor structure, including bark
4	26” – Black Walnut	Poor structure, weak crotch
5	25” – Black Walnut	Cavities/decay column
6	27” – Black Walnut	Cavities/decay column, Mistletoe/dieback
9	33” – Black Walnut	Major Mistletoe, decay at main crotch
13	27” – Coast Redwood	Crowded growing condition
14	32” – Coast Live Oak	Crowded growing condition

Planning Commission approval of a Tree Removal permit is required because the applicant proposes to remove some of the Protected Trees from the site. The findings required for approving a Tree Removal permit are listed below followed by a discussion on how the project meets each finding.

- 1) *The tree removal is consistent with the provisions of Development Code Chapter 18.310, Tree Preservation and Protection, and will not be detrimental to the public health, safety or welfare.*

The project would provide 26 replacement trees, or a ratio of three (26/9 = 2.88 (rounded up to 3)) replacement trees for each Protected Tree to be removed, which meets the City’s standard.

³A Protected Tree is any of the following trees: (a) native Valley oak, Blue oak, Coast live oak, California bay, California buckeye, and California sycamore with a diameter of 12 inches or more, (b) single trunk tree with a diameter of 24 inches or more, and (c) multi-stemmed tree where the sum of all stem diameters is 24 inches or more.

The removal and installation of replacement trees would be coordinated through a demolition permit reviewed by the City to ensure that proper procedures are followed and would therefore not be detrimental to the public health, safety or welfare.

- 2) *The tree removal is consistent with the appropriate criteria in Sections 18.310.070(A) and (B).*

Sections 18.310.070(A) and (B) list criteria to consider in evaluating a Tree Removal permit, including tree health, physical conditions unique to the site, and project alternatives to allow for tree preservation. An analysis of the proposed tree removal against these criteria is provided below.

18.310.070(A) Criteria for Evaluation

(1) The extent of proposed building or development activity that does not require the removal of protected trees, relative to the extent of proposed building or development activity that requires such removal.

Based on the grading and drainage plans, the arborist report concluded that nine Protected Trees would have to be removed primarily from the center of the property as shown on the Demolition and Tree Removal Plan (Sheets 6 and 7 of the civil drawings).

(2) Design features of the project in comparison with other existing or approved projects in Concord that have (or had) protected trees on their sites.

The design features of the proposed project are similar to other existing and approved projects in Concord that have required the removal of Protected Trees to accommodate buildings, driveways, parking stalls, and utilities. In this case, all of the Protected Trees slated for removal are located in areas proposed for development of private improvements and building footprints.

(3) Factors that are unique to the site, such as topographic constraints, lot configuration and physical limitations.

The project site consists of four contiguous parcels; a sanitary sewer line bisects the upper half of the site. All of the trees with the exception of two are located in the center of the property and run the length of the site. The site is underutilized with half the property developed and without any formal paved areas for circulation and parking and landscaping. It is reasonable to assume that redevelopment of the site by the Temple or another user would require demolition of the existing buildings and trees to maximize the development potential of the site under the Development Code.

(4) The overall health and structural condition of the potentially impacted protected trees.

Some of the Protected Trees planned for removal have health or structural issues in addition to conflicting with the location of sewer improvements and building footprints. These conditions are potentially hazardous and would likely require removal over time.

(5) The approximate age of each protected tree compared with the average life span for each species.

According to the City's arborist, the anticipated lifespan of a Black Walnut tree can be several decades as part of an urban landscape. However, this anticipated lifespan would likely be 10 years or less if, the area around the tree is disturbed via grading and landscape design. This is a moot point though because the consulting arborist determined the majority of these trees are in poor health, declining, and located in the center of the parcel preventing development of the site.

(6) The number of healthy protected trees that the site will support, with and without the proposed development.

As outlined in the arborist report, most of the Protected Trees planned for removal have health or structural issues and are not viable candidates for preservation. In addition, most of the trees are located where buildings, paving, and new landscaping is proposed. The preliminary landscape plan indicates the site can support 26 replacement trees, which meets the City's replacement ratio of three trees for everyone removed.

(7) The effect of tree removal on soil stability/erosion, particularly near watercourses or on steep slopes.

The site is developed, is flat, and located in an urban setting. Tree removal is proposed in the center of the site. The proposed conditions of approval would address any soil stability/erosion issues that may result from the proposed tree removal.

(8) Whether any alternatives would allow for preservation of the protected tree.

Staff was unable to identify alternatives that would allow the construction of the temple while preventing the removal of Protected Trees without potentially further compromising their health or significantly changing the project design as discussed in item #3 above. Staff also notes that the plan maintains a Coast Live Oak on the Safeway property whose canopy encroaches on the project site.

18.310.070(B) Criteria for Removal

(1) The age of the protected tree(s) with regard to whether removal would encourage healthier, more vigorous growth of younger similar trees in the area.

As discussed above, the anticipated lifespan of the dominant Protected Tree at the site is 10 years when surrounded by development. The replacement trees would be

appropriately located and planted to encourage their vigorous growth as younger similar trees.

(2) The number of existing protected trees in the area and the effect of removal on the public health, safety, and general welfare of the area.

The proposed tree removal would not be detrimental to the public health, safety, or welfare because it would comply with City requirements and procedures for the proper removal of the trees. Further, the arborist report notes that most of the Protected Trees have health or structural issues and have been neglected. Therefore, they are not viable candidates for preservation.

(3) The potential for the protected tree to become a public nuisance or interfere with utility service(s) and existing structures.

If preserved, the Protected Trees, at the north end of the site would interfere with the proposed sanitary sewer line and other public and private improvements.

(4) Present and future shade potential with regard to solar heating and cooling.

Although the Protected Trees at the project site currently offer shade, this is not guaranteed for the long-term because of health or structural issues identified in the arborist report. Appropriately planted and maintained replacement trees would offer ample future shade potential with regard to solar heating and cooling.

Findings for denial of a Tree Permit include failure to consider reasonable redesign of the site plan prior to construction, tree trimming, anticipated issues with drainage, erosion control, and buffers related to proposed tree removal.

Drainage, erosion control, and buffer issues are not anticipated because of the proposed tree removal.

The Review Authority may specify the type and size of required replacement trees as a condition of a Tree Removal permit. Staff recommends approving the proposed landscape plan as it was peer reviewed by a consulting landscape architect that felt it was an appropriate mix and placement of plant materials.

G. Signage

Section 18.180.050 "Sign Plans" provides that a sign plan shall be required for sites with two to five signs. Here, two curvilinear ground signs are proposed at each driveway for identification. In addition, a single wall sign that reads, "Murugan Hall" is proposed on the east facade of the annex building.

Staff finds the number and amount of signage appropriate; however, the code allows one freestanding ground sign per frontage in the CMX zoning district. (Table 18.180.100). With

a slight reorientation of the ground sign at the corner of Concord Boulevard and Second Street, the sign will comply with the Ordinance. The Engineering Division also included a condition that requires the ground sign to be located outside of the sanitary sewer easement. The applicant has agreed to these conditions.

V. Fiscal Impact

The proposed would have a negligible fiscal impact on the City.

VI. Public Contact

Notification was mailed to all owners and occupants of property within three-hundred (300) feet of the subject parcel, and has been published in the Contra Costa Times, as required by the Concord Municipal Code. This item has also been posted at the Civic Center and at the subject site at least 10 days prior to the public hearing.

VII. Summary and Recommendations

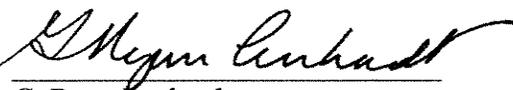
Staff is pleased with the proposed project. With input from staff and the DRB, the site plan and project design respond to the adjacent land uses and development pattern and minimize potential negative impacts. The building design results in an aesthetically pleasing facility in terms of architecture and streetscape presence. No significant impacts are anticipated with the development of the project.

Staff recommends the Planning Commission consider staff's report, allow the applicant to make a presentation and answer any questions from the Planning Commission, take public testimony, and close the public hearing upon completion of public testimony. Following the public testimony, staff recommends that the Planning Commission deliberate regarding the identified policy and/or project issues and move to approve the project.

VIII. Motion

Project Approvals

I (Comm. _____) hereby move that the Planning Commission adopt Resolution No. 16-25PC approving Shiva Murugan Cultural Center Use Permit Amendment, Design Review, and Protected Tree Removal (PL15426 - UP, DR, RT), subject to the Conditions of Approval set forth in Attachment A to Resolution 16-25PC. (Seconded by Comm. _____.)

Prepared by: 

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Reviewed by: 

Laura Simpson
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Exhibits:

- A - Resolution No. 16-25PC, approving the Shiva Murugan Cultural Center (PL15426 - UP, DR, RT)
- B - Written statement date stamp received October 7, 2015
- C - Project plans date stamp received July 29, 2016
- D - Parking Analysis dated July 27, 2016ⁱ
- E - Tree Report date stamp received October 7, 2014ⁱⁱ

16sprc.082

^{i, ii} *Planning Commission only. Reference documents for the Parking Analysis and Tree Report are available at the City of Concord Permit Center, 1950 Parkside, Concord CA 94519, Monday through Friday, 8:00 a.m. – 5:00 p.m.*

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**BEFORE THE PLANNING COMMISSION
OF THE CITY OF CONCORD,
COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA**

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**A RESOLUTION APPROVING SHIVA MURUGAN
CULTURAL CENTER USE PERMIT
AMENDMENT, DESIGN REVIEW, AND
PROTECTED TREE REMOVAL (PL15426 - UP,
DR, RT)**

Resolution No. 16-25PC

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WHEREAS, on October 29, 2014, Ravi Nadesan, on behalf of the Applicant, Saiva Siddhantha Ashram, submitted an application for a Use Permit Amendment, Design Review, and Protected Tree Removal to demolish an existing Shiva Murugan Temple, annex building, residence with carport, and a cottage, and construct a new Temple and annex building measuring 7,075 sq. ft. and 6,731 sq. ft. respectively, on a 0.73-net acre site at 1803 Second Street (APN's 113-011-008, -010, -016, and -017); and

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WHEREAS, on August 26, 2016 the application was deemed complete for processing; and

WHEREAS, pursuant to the provisions of the California Environmental Quality Act (CEQA) of 1970, as amended; the project is classified as Categorical Exempt pursuant to Section 15332 "In-Fill Development Projects," and therefore no further environmental review is required; and

WHEREAS, the Planning Commission, after giving all public notices required by State law and the Concord Municipal Code, held a duly noticed public hearing on September 21, 2016, on the subject proposal; and

WHEREAS, the Planning Commission considered testimony and information received at the public hearing and the oral and written reports from City staff dated September 21, 2016, as well as other documents contained in the record of proceedings relating to the proposed project, which are maintained at the offices of the City of Concord Planning Division ("Project Information"); and

WHEREAS, on September 21, 2016, the Planning Commission, after consideration of all pertinent plans, documents and testimony, declared their intent to approve the subject proposal subject to the Conditions of Approval contained herein as Attachment A and incorporated herein.

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS: that the Planning Commission

1 does hereby approve the Shiva Murugan Cultural Center (PL15426 - UP, DR, RT) Use Permit
2 Amendment, Design Review, and Protected Tree Removal subject to the Conditions of Approval
3 (Attachment A) and further makes the following findings:

4 RECITALS

5 1. The recitals above are true and correct and incorporated herein by reference. The
6 recitals constitute findings in this matter, and together with the Project Information, serve as an
7 adequate and appropriate evidentiary basis for the findings and actions set forth in this Resolution.

8 CEQA

9 2. Pursuant to the provisions of the California Environmental Quality Act (CEQA) of
10 1970 (and as amended); the project is classified as Categorical Exempt pursuant to Section 15332
11 "In-Fill Development Projects," because 1) the project is consistent with the General Plan, Specific
12 Plan and applicable zoning designation and regulations (as set forth below); 2) the proposed
13 development occurs within city limits on a project site of no more than five acres substantially
14 surrounded by urban uses; 3) the project has no value as habitat for endangered, rare or threatened
15 species; 4) approval of the project would not result in any significant effects related to traffic, noise,
16 air quality or water quality; and, 5) the site can be adequately served by all required utilities and
17 public services. Additionally, pursuant to Section 15300.2, there are no exceptions to the Section
18 15332 categorical "In-Fill" exemption as there is no indication that there is a reasonable possibility
19 that the project will have a significant effect on the environment due to a cumulative impact of other
20 projects or unusual circumstances, or that the site is designated as a hazardous waste site.

21 General Plan

22 3. The project Floor Area Ratio (FAR) is below the maximum allowable FAR of 1.0 for
23 properties with a Commercial Mixed Use land use designation.

24 4. The project proposes a Public/Quasi-Public use and is thus consistent with the intent of
25 the Commercial Mixed Use designation to establish a variety of uses in mixed-use neighborhoods.

26 5. The project is in substantial compliance with the goals, objectives, and policies of the
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1 Concord General Plan, including “religious institutions that enhance the character and quality of
2 neighborhoods” as outlined in General Plan Policy LU-1.1.3.

3 6. The project is consistent with General Plan policies that encourage continued
4 expansion of Central Concord’s role as a focal point for business, entertainment, dining, cultural, and
5 civic gatherings (Policy LU-4.1.1).

6 Development Code

7 7. The project meets standards for lot area, lot coverage, setbacks, and building height of
8 CMX zoning, and all applicable requirements under Development Code, Article IV, Development
9 Standards.

10 Use Permit Amendment

11 8. In 1953, the City approved Use Permit 5-53 modifying the required building setbacks
12 along Second Street and the west property line.

13 9. On March 13, 1987, the City approved an Administrative Application to establish a
14 church and Sunday school.

15 10. The proposed use is conditionally permitted within the applicable zoning district and
16 complies with all other applicable provisions of the development code and the Concord Municipal
17 Code.

18 11. The proposed use is consistent with the general plan and the Downtown Specific Plan.

19 12. The design, location, size, and operating characteristics of the proposed activity are
20 compatible with the existing and future land uses in the vicinity.

21 13. The site is physically suitable for the type, density, and intensity of the proposed use,
22 including access, utilities, and the absence of physical constraints.

23 14. Granting the Use Permit Amendment would not be detrimental to the public health,
24 safety, or welfare of the persons residing or working in the subject neighborhood or materially
25 detrimental or injurious to property or improvements in the vicinity and zoning district where the
26 property is located. Project conditions and requirements will ensure on-going operations will not
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1 impact properties or residents of the area and maintenance of the parking lot, building exteriors and
2 landscaping will be secured through a separate maintenance agreement.

3 Tree Removal

4 1. The tree removal is consistent with the provisions of Article VI, Division 3, Tree
5 Preservation and Protection, and will not be detrimental to the public health, safety or welfare. The
6 project would provide 26 replacement trees, or a ratio of three replacement trees for each Protected
7 Tree to be removed, which meets the City's standard. The removal and installation of replacement
8 trees would be coordinated through a demolition permit reviewed by the City to ensure that proper
9 procedures are followed and would therefore not be detrimental to the public health, safety or welfare.

10 2. The tree removal is consistent with the appropriate criteria in Section 18.310.070(A)
11 and (B). The project meets this finding because no feasible alternatives exist to preserve the trees,
12 including tree relocation, due to the trees conflicting with proposed improvements.

13 3. Measures have been incorporated into the project or permit to mitigate impacts to
14 remaining trees or to replace the trees that have been removed. The project meets the finding because
15 City standards will be followed for protecting the one remaining tree (adjacent to the site) during
16 construction. These conditions require, among other things, fencing around the drip line of trees prior
17 to grading and construction activities and City inspection of the fencing and protection zone prior to
18 the start of work. Moreover, three new trees will be provided for each Protected Tree to be removed,
19 in accordance with the Development Code.

20 Design and Site Development Review

21 15. The project is consistent with the General Plan and Downtown Specific Plan as
22 addressed in the findings above.

23 16. The project meets the following criteria in Section 18.415.080 (Design Criteria):

24 (a) The building design and landscaping supports public safety and security by
25 allowing for surveillance of the street by people inside buildings and elsewhere on the site. The
26 temple will face outward toward the public realm as will the outdoor seating areas and parking area
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1 thus allowing for surveillance of the street.

2 (b) The design is compatible with the historical or visual character of any area
3 recognized by the City as having such character. On August 11, 2016, the Design Review Board
4 recommended approval of the project and confirming there is not a historic or visual character
5 established in the neighborhood and the proposed building designs are consistent with the design
6 principles of Vastu, which dictates the geometries and placement of building features.

7 (c) The project design preserves major view and vistas along major streets and
8 open spaces and trails and enhances them by providing project amenities. The site and surrounding
9 area is flat and has no topographically significant features, such as valleys, hillsides, and ridgelines
10 that provide scenic views or vistas. The site is not near any open space or trail.

11 (d) The proposed lighting and fixtures are designed to complement on-site
12 buildings, are of an appropriate scale for the development, and provide adequate light for safety and
13 security while minimizing glare. Exterior lighting will be residential in type and character to minimize
14 glare and improve nighttime visibility and safety for pedestrians and vehicles.

15 (e) All mechanical, electrical, and utility equipment is located, screened, or
16 incorporated into the design of the buildings so as not to be visible from off-site, and screening
17 devices are consistent with the exterior colors and materials of the buildings. The project conditions
18 require final details of mechanical, electrical, and utility equipment to be shown on building permit
19 plans to ensure they are located behind fencing or screened so as not to be visible from off-site.

20 (f) The overall design of the project, including its scale, massing, site plan,
21 exterior design, and landscaping, enhances the appearance and features of the project site and
22 surrounding natural and built environment. Design changes have been made to ensure the project is
23 appropriate for the surrounding built environment, including the addition of architectural details to the
24 temple and annex building, the placement of plant materials, and site circulation. These changes that
25 were recommended for approval by the Design Review Board, create cohesion between the buildings
26 and visual interest.

1 (g) The project design is appropriate to the function of the project and will provide
2 an attractive and comfortable environment for occupants, visitors, and the general community. The
3 project includes, among other things, the following design features to enhance the functionality of the
4 temple and the attractiveness and comfort of the general community: off-street parking in excess of
5 what is required by Code; landscaping that provides screening and shade; stormwater facilities to
6 reduce and treat runoff; and site improvements that improve circulation, parking, drainage, and
7 lighting for the area.

8 (h) The architectural details, colors, materials, and landscaping are internally
9 consistent, fully integrated with one another, and used in a manner that is visually consistent with the
10 proposed architectural design. The project meets the criteria because it reflects the traditional design
11 principles of Vastu, which dictates the geometries and placement of the building features, uses modern
12 materials such as cement plaster and precast cement pilasters, moldings, cornices, and ornaments, and
13 traditional building colors such as earth tones and a variety of primary colors on the towers.

14 (i) The project is compatible with neighboring development in a similar Zoning
15 District by avoiding large differences in building scale and character and provides a harmonious
16 transition between the proposed project and surrounding development. The project meets the criteria
17 and the temple and annex building is similar in scale to the adjacent Safeway building, the majority of
18 the building masses are less than the height limit permitted in the district, and findings can be made to
19 allow additional building height for the building towers. Furthermore, the building design
20 incorporates relief along the building facades, a landscape buffer is provided along the perimeter of
21 the project, and setbacks are provided similar to other development in the neighborhood.

22 (j) The project creates an attractive and visually interesting built environment with
23 a variety of building styles and designs, well-articulated structures that present varied building
24 facades, rooflines, and building heights within a unifying context. The project meets the criteria and
25 creates an attractive and visually interesting built environment featuring a traditionally unique
26 architectural style with various design elements including varied roof forms; decorative elements such
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1 as towers and a dome, ornamental pilasters, decorative window trim, overhangs, and cornices that
2 create interesting textures. Similarities in the design elements, materials, and colors between the
3 buildings create a unifying context for the project.

4 (k) The landscaping is compatible with and enhances the architectural character of
5 the buildings and site features, and blends with the surrounding landscape. Landscape elements
6 complement the buildings and rooflines through color, texture, density, and form. Landscaping is in
7 scale with on-site and off-site buildings, and plantings have been selected and located to avoid
8 conflicts with views, lighting, infrastructure, utilities, and signage. The DRB has reviewed the
9 landscape plan and determined that it is compatible with the building architecture.

10 (l) Stormwater treatment areas have been integrated into the landscape design.
11 The project includes bio-retention and self-treating areas integrated into the landscape design along
12 the perimeter of the site.

13 (m) New construction does not need to match existing surrounding development or
14 buildings; however, the design shall complement or enhance existing development. The project does
15 not match surrounding homes but meets the criteria because it will improve and enhance an
16 underutilized site with a new temple and annex building that reflects traditional design principles.

17 17. The project is consistent with all applicable Design Guidelines adopted by the City
18 Council that are in effect at the time of approval. The project is consistent with the Concord
19 Community Design Guidelines because:

20 (a) The exterior building colors and materials consist of earth tone colors and
21 primary colors used as ornamentation for the towers, and other materials that are compatible with the
22 neighborhood;

23 (b) The temple and annex building are sited and designed with a functional
24 relationship to the site and street, and in compliance with setbacks to provide accessible and usable
25 open spaces;

26 (c) The project provides emergency access as required by Contra Costa County
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1 Fire Protection District;

2 (d) Building lighting design is compatible with the architecture and will be
3 operated at levels consistent with lighting in the area;

4 (e) Street lighting will comply with City photometric standards to ensure lighting
5 levels are kept to the minimum necessary for public safety;

6 (f) Perimeter fencing will be constructed of durable high quality tubular steel
7 material;

8 (g) Exterior yards are landscaped to provide a continuity of the landscape palette
9 and concept along all four sides of the project; and

10 (h) Required off-street parking is provided for the project is excess of the code
11 requirements.

12 18. The interrelationship between the orientation, location, and elevations of buildings and
13 structures and site improvements are mutually compatible and aesthetically harmonious. The primary
14 (temple) building provides a consistent pattern oriented toward the street and is thus aesthetically
15 harmonious with neighboring properties and the streetscape. The temple will be accessed by two
16 driveways leading to onsite parking that is adequate for devotees and guests the majority of the time.
17 As discussed above, the temple and annex building will be designed with similar design elements,
18 materials, and colors to create a unifying/harmonious context.

19 19. The orientation, location, and elevation of the building and site improvements are
20 compatible with and are aesthetically harmonious with adjacent development or the character of the
21 neighborhood. The project will be harmonious with the pattern of similar adjacent commercial
22 buildings in terms of the mass of the buildings and use of unique architectural features to highlight the
23 building design such as the tall, gabled glass roof elements that runs the length of the adjacent credit
24 union building.

25 20. Landscaping, irrigation systems, walls and fences, or features to conceal outdoor
26 activities, utility enclosures, and trash facilities meet current requirements or provide a significant
27

1 upgrade and improvement to the site and the appearance of the neighborhood. New landscaping and
2 fencing designed to meet current requirements will result in a significant improvement to existing site
3 conditions and a visual upgrade to the neighborhood in general.

4 21. Parking, pedestrian access, and traffic circulation are adequate or improved for all
5 modes of circulation. The project meets this finding because it will construct improvements that
6 enhance parking, pedestrian safety, bicycle parking, and improved access to and from the site.

7 This resolution shall become effective immediately upon its passage and adoption.

8 **PASSED AND ADOPTED** this 21st day of September, 2016, by the following vote:

9 **AYES:**

10 **NOES:**

11 **ABSTAIN:**

12 **ABSENT:**

13
14

Laura Simpson, AICP
Secretary to the Planning Commission

15 Attachment: A - Conditions of Approval
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ATTACHMENT A
DRAFT
CONDITIONS OF APPROVAL
SHIVA MURUGAN CULTURAL CENTER
PL15426 - UP, DR, RT
1803 Second Street
APN's 113-011-008, -010, -016, and -017

NOTE: Changes and additions to Standard Conditions are highlighted in bold.

PERMIT DESCRIPTION

1. These Conditions of Approval apply to and constitute the approval of **Shiva Murugan Cultural Center Use Permit Amendment (PL15426 - UP) to demolish an existing temple building, annex building, residence with carport, and a cottage, and construct a new temple and annex building measuring 7,075 sq. ft. and 6,731 sq. ft. respectively on a 0.73-net acre site** pursuant to the following development standards:

Standards	Approved
Floor Area Ratio (FAR) maximum	0.43
Lot Area (square feet) minimum	38,863
Lot Width (feet) minimum	164
Lot Depth (feet) minimum	252
Building Height (feet)	
Maximum	43'-8"
Setbacks (feet) required minimum	
Front	75
Interior Side	0
Corner Side	24'-6"
Rear	0
Parking Spaces	
Vehicle	47
Motorcycle	2
Bicycle	
Short Term	8
Long Term	8

2. These Conditions apply to and constitute approval of **Design Review (PL15426 - DR) for building elevations and landscape plans for a new temple and annex building measuring 7,075 sq. ft. and 6,731 sq. ft. respectively.** Final colors and materials shall be consistent with the color and materials exhibit dated **August 17, 2015**, prepared by **SKL Associates, Inc.** and approved by the Design Review Board.

Exterior building materials and colors shall be in substantial conformance with the following:

<u>Materials</u>	<u>Manufacturer</u>	<u>Color Name</u>	<u>Number</u>
Cement Plaster and Glass Fiber Reinforced Concrete	TBD	TBD	TBD
<i>(body and trim colors)</i>	Sherwin Williams	Unusual Gray	SW-7059
<i>(body and trim colors)</i>	Sherwin Williams	Silver Strand	SW-7057
<i>(body and trim colors)</i>	Sherwin Williams	Ambitious Amber	SW-6366
<i>(Gopuram colors)</i>	Sherwin Williams	Real Red	SW-6868
<i>(Gopuram colors)</i>	Sherwin Williams	Wood Violet	SW-6557
<i>(Gopuram colors)</i>	Sherwin Williams	Direct Green	SW-6924
<i>(Gopuram colors)</i>	Sherwin Williams	Confident Yellow	SW-6911
<i>(Gopuram colors)</i>	Sherwin Williams	Dynamic Blue	SW-6958
<i>(Gopuram colors)</i>	Sherwin Williams	Osage Orange	SW-6890
<i>(Gopuram colors)</i>	Sherwin Williams	Pink Moment	SW-6857
<i>(Gopuram colors)</i>		Enamel Gold	
Concrete paving	Davis Color	Omaha Tan	5084
Tile paving		Travertine tile	
Wood doors		Teak stain	
Steel doors		Painted to match adjacent surface	
Aluminum windows		Anodized Bronze (Medium)	
Glazing		Clear Low-E	
Louvers and vents		To match exterior finish	
Tubular steel fence/gates		Black	

3. These conditions apply to and constitute approval of **Tree Removal Permit (PL15426 - RT)** for the removal of **nine heritage trees as referenced in the tree report prepared by Arborwell Professional Tree Management and dated October 7, 2014**, as follows:

Tree No.	Size – Species
1	33” – Camphor
2	24” – Black Walnut
3	26” – Black Walnut
4	26” – Black Walnut
5	25” – Black Walnut
6	27” – Black Walnut
9	33” – Black Walnut
13	27” – Coast Redwood
14	32” – Coast Live Oak

4. **The Conditions of Approval for the previous Use Permit (UP 5-53) including a request to modify a setback building line on Second Street to 10 feet and the west side yard to three feet for the First Lutheran Church, shall be incorporated by reference as appropriate and shall apply except where superseded by these conditions of approval. (PLNG)**
5. **The Parking Analysis prepared by Omni-Means, Ltd. and dated July 27, 2016 with the Transportation Demand Management Program (TDM), is incorporated by reference. If there are inconsistencies between the Conditions of Approval and the TDM, the TDM shall govern. (PLNG, TRAN)**
6. The following Exhibits, date stamped received by the City of Concord, on **July 29, 2016** are approved and shall be incorporated as Conditions of Approval.

<u>Plan</u>	<u>Date Prepared</u>	<u>Prepared by</u>	<u>Sheet</u>
Title Sheet	7/22/16	SKL Associates, Inc.	T-1
Colored Elevations – Temple	7/22/16	SKL Associates, Inc.	T-2
Colored Elevations – Annex	7/22/16	SKL Associates, Inc.	T-3
Planting Plan	5/26/16	HWA	L.1
Site Plan	7/22/16	SKL Associates, Inc.	AS-1
Site Details	7/22/16	SKL Associates, Inc.	AS-2
Cover Sheet and General Notes	7/16	Milani and Associates	1/13
Notes and Approvals	7/16	Milani and Associates	2/13
Overall Site Plan	7/16	Milani and Associates	3/13
Existing Site Conditions	7/16	Milani and Associates	4/13
Existing Site Conditions	7/16	Milani and Associates	5/13
Demolition and Tree Removal Plan	7/16	Milani and Associates	6/13
Demolition and Tree Removal Plan	7/16	Milani and Associates	7/13
Site Plan	7/16	Milani and Associates	8/13
Site Plan	7/16	Milani and Associates	9/13
C.3 Concept Exhibit	7/16	Milani and Associates	10/13
Misc. Details	7/16	Milani and Associates	11/13
Cross Sections	7/16	Milani and Associates	12/13
Striping Plan	7/16	Milani and Associates	13/13
Planting Plan	5/26/16	HWA	L.1
Planting Details	5/26/16	HWA	L.2
Floor & Roof Plan – Temple	7/22/16	SKL Associates, Inc.	A-1
Floor Plans – Annex	7/22/16	SKL Associates, Inc.	A-2
Front Elevation – Temple	7/22/16	SKL Associates, Inc.	A-3
Side Elevation – Temple	7/22/16	SKL Associates, Inc.	A-4
Rear Elevation – Temple	7/22/16	SKL Associates, Inc.	A-5
Sections – Temple	7/22/16	SKL Associates, Inc.	A-6
Annex Elevations	7/22/16	SKL Associates, Inc.	A-7
Annex Sections	7/22/16	SKL Associates, Inc.	A-8
Site Photometry Plan	N/A	Sterling Innovations LLC	LP-1

7. **The applicant shall apply for and receive approval of a special event permit from the Planning Division (and others as necessary) for the following four special events each year: Padayatra, Thai Pusam, Maha Shiva Ratri, and New Year's Day. (PLNG)**

GENERAL CONDITIONS

8. The Conditions are the responsibility of the applicant and all contractors. Compliance shall occur as specified in the Conditions or at one of the following project milestones:
 - a) With the submittal of Grading, Improvement, Landscape, or Building Plans.
 - b) Prior to issuance of Encroachment, Grading, or Building Permits, whichever comes first.
 - c) Prior to Construction.
 - d) Ongoing during Construction.
 - e) Prior to occupancy approval.

If timing for compliance is not specified, it shall be determined by the Divisions listed after the Condition. **(PLNG, BLDG, ENGR)**

9. Where a plan or further information is required, it is subject to review and approval by the applicable City Department/Division, as noted at the end of each Condition. The Division listed first shall be the primary contact for implementation of that Condition. **(PLNG, BLDG, ENGR)**
10. The project shall comply with all applicable Federal and State laws and Concord Municipal Code (CMC) requirements. **(PLNG, BLDG, ENGR)**
11. Minor modifications that are found to be in substantial conformance with the approved plans such as colors, plant materials, or minor lot line adjustments, may be approved administratively. Major modifications shall be approved by the applicable decision making body. **(PLNG, ENGR)**
12. The Conditions of Approval shall be listed on a plan sheet that is included in the construction plan set (Grading, Utility, Landscape, and Building Plans). **(PLNG, ENGR)**
13. Two annotated copies of the Conditions of Approval specifying how each applicable condition has been satisfied, shall be submitted as follows:
 - a) At the time Grading, Utility, Landscape, and/or Building Plans are submitted for plan check, whichever comes first.
 - b) Prior to occupancy approval. **(PLNG, ENGR)**
14. Submit three signed copies, one notarized, of the City's "Property Maintenance Agreement", to ensure on-going repair, replacement and maintenance of all exterior improvements including buildings, parking areas, walkways, landscaping, irrigation, signs, fences, walls, **water features**, and other improvements, prior to issuance of Grading or Building permits, whichever comes first. **(PLNG)**
15. The project site and area surrounding the site shall be **fenced and** maintained in a weed and litter free condition for the period prior to construction. **(BLDG, PLNG)**

ARCHITECTURAL

16. **The applicant shall add columns on the second floor of the west elevation of the annex building to match the columns of the first floor of the same elevation and present the revised elevation to the Design Review Board as a staff report item prior to the issuance of a building permit. (DRB, PLNG)**
17. Rooftop equipment (HVAC, meters, refrigeration equipment, plumbing lines, ductwork and transformers), shall not extend above the building parapet and shall be screened from view on all sides with materials architecturally compatible with the main structure. Screening details shall be shown on the Building Plans and submitted for review and approval by the Planning Division, prior to the issuance of Building Permits and installed prior to occupancy approval. **(PLNG)**
18. Vents, gutters, downspouts, flashing, electrical conduits, etc., shall be painted to match the color of the adjacent surface, unless otherwise approved by the Planning Division. **(PLNG)**

LANDSCAPING

19. Submit Final Landscape Plans prepared by a Landscape Architect, registered by the State of California, for review and approval with the Grading, Improvement, or Building Plans, whichever comes first. The Plan shall be drawn on or consistent with the Grading, Improvement, Utility, and Stormwater Plans prepared by the Civil Engineer, with the following information:
 - a) A legend that lists all plant species (Latin and common name), including size, quantities, spacing, and ultimate height and width.
 - b) Specifications and details for planting, including staking of trees and planting in bio-retention or other stormwater treatment areas. Plants for bio-retention facilities should be compatible with temporarily flooded conditions.
 - c) Utility and Grading information on the base map, screened back.
 - d) Existing **Protected** trees to be saved and identification of all replacement trees.
 - e) Trees (minimum size 24-inch box) and shrubs (minimum 5-gallon; accent or sub-shrubs may be 1-gallon).
 - f) Root control barriers and four-inch perforated pipes for parking lot trees, street trees, and trees within 3 feet of any paved area or curb.
 - g) Six-inch vertical concrete curbs around landscaped areas.
 - h) A soils and plant laboratory analysis with recommendations for fertilization and mulching to be incorporated into the planting specifications.
 - i) A Layout/Hardscape Plan showing the location and details of all non-plant improvements, with dimensions and call outs, showing finished grades, hardscape/paving treatment, planter details, arbors, trellis', fences, walls, trash enclosures, and other features.
 - j) Details for street trees in accordance with City Standard Plan S-38, "Street Tree Planting Detail". **(PLNG, ENGR)**
20. Irrigation Plans shall be submitted with the Final Landscape Plans in compliance with the requirements of CMC Chapter 114 "Water Conservation in Landscaping". All Irrigation Plans shall include the following standards:
 - a) All landscaped areas shall have a fully automatic irrigation system.

- b) High water pressure areas shall have pressure regulation devices on the irrigation system.
- c) Valves and circuits shall be separated based on water use.
- d) Trees shall be watered with drip or bubbler irrigation systems with circuits on their own control valve.
- e) Drip and bubbler systems shall not discharge water in excess of 1.5 gallons per minute per device.
- f) Sprinkler heads shall have matched precipitation rates within each control valve circuit.
- g) Serviceable check valves shall be required where elevation differential may cause low head drainage.
- h) Sprinkler head spacing shall be designed for head-to-head coverage or closer due to high wind conditions.
- i) Design sprinkler head orientation and throw for minimum runoff and for minimum overspray onto non-irrigated areas.
- j) Be equipped with a controller capable of dual or multiple programming. Controllers shall have multiple-cycle start capacity and a flexible calendar program. Water shall be timed between the hours of 3:00 a.m. and 10:00 a.m. unless a “water smart” ET based controller which adjusts controller programs based upon the current evapo-transpiration rate is used.
- k) Provide a rain shut off device if the controller is not an ET based controller.
- l) Sprinkler heads used on slopes exceeding 15 percent shall have a precipitation rate that does not exceed 0.85 inches per hour.
- m) Sprinkler heads used on slopes exceeding 10 percent and located within 10 feet of any hardscape shall have a precipitation rate that does not exceed 0.85 inches per hour. **(PLNG)**

21. The Landscape Plans shall include a water usage program with the following:

- a) Estimated annual water use (in gallons) and the area (in square feet) to be irrigated.
- b) Precipitation rate(s) for each valve circuit.
- c) Monthly irrigation schedule for each type of irrigation head showing the plant establishment period and the first year thereafter. **(PLNG) CMC**

22. All landscaping shall be installed prior to occupancy approval. Contact the Planning Division at least two weeks prior to Occupancy, to request a site inspection of all exterior improvements including buildings, driveways, parking lots, landscaping, irrigation, signs, lighting, walls, fences, and trash enclosures. **(PLNG)**

23. Prior to occupancy approval, the licensed Landscape Architect shall:

- a) Conduct a final field observation and an open trench examination of the irrigation system.
- b) Provide written certification that:
 - i) The landscaping and irrigation system were installed in conformance with the approved Landscape and Irrigation Plans.
 - ii) The landscaping has been installed in accordance with the CCWD Water Conservation Guidelines or the State of California Model Efficiency Water in Landscaping Ordinance.
 - iii) An irrigation audit was performed and deficiencies were listed which will be corrected within 30 days.

- iv) There will be a minimum 60-day maintenance period for all landscape improvements.
 - c) Provide a signed letter of compliance with the final construction documents stating that the Landscape Architect has met all State and City requirements. *(PLNG)*
24. Arrange for an irrigation water audit with the Contra Costa Water District during the 60-day maintenance period. The results of the audit shall be used to adjust the irrigation schedule. The schedule shall include a more water intensive plant establishment period during the first 12 months following installation, as well as a long-term irrigation schedule. The Landscape architect shall provide written verification to the Planning division of audit completion, adjustments to the schedule, and the long term schedule following plant establishment. *(PLNG)*
CMC
25. Any vegetation damaged or destroyed by construction activities shall be replaced with like or comparable plant materials, and if damage occurs off-site, the replacement plants shall be approved by the property owner and the Planning Division, prior to occupancy approval. *(PLNG)*

TREE PRESERVATION

26. The removal of Protected trees shall be mitigated by planting **three trees for every one Protected tree removed**. The size, species, and location of all replacement trees shall be identified on the Final Landscape plan, consistent with the Design Review approval. *(PLNG)*
27. Demolition, Grading, Utility, Landscape, and Building Plans shall show all Heritage trees to be preserved, with accurate trunk location, drip line, and existing grade. The Plans shall show the location and type of protective fencing, and the location of on-site construction materials storage. The protective fencing shall be installed and inspected prior to the issuance of any Demolition, Grading, or Building Permit. *(PLNG, ENGR, BLDG, PARKS)*
28. Comply with the Tree Preservation Guidelines contained in the Arborist Report. One year after occupancy, a Certified Arborist, retained by the applicant at their expense, shall evaluate tree health, vigor, and acclimation to the new environment. The Arborist shall identify any tree(s) that is found to be in poor condition due to the impact of construction. The Arborist shall identify measures to restore the tree's health. If the tree can't be restored, replacement trees shall be required at a ratio and size consistent with the value of the damaged tree, but no less than a minimum ratio of three to one 36-inch box trees or as otherwise determined by the City. *(PARKS, PLNG)*

LIGHTING

29. Show all exterior lighting including: building fixtures, walkway lighting, parking lot lighting, and street lights on the Site, Utility, Landscape, and Building Plans, prior to the issuance of any permits. The height and style of fixtures shall be shown. Energy-saving fixtures shall be used and noted on the plans. *(PLNG, ENGR, BLDG)*

30. All exterior building and parking lot lighting shall provide illumination for safety and shall be installed in a manner that is glare shielded and directed away from adjacent properties and right-of-ways. *(PLNG)*
31. Submit a Photometric Plan for review and approval, showing the location of all light sources, streetlight spacing, intensity of luminance, and uniformity ratio, in accordance with the City's specifications, with the Improvement, Utility, or Building Plans, whichever comes first. The photometric analysis shall be reviewed by Engineering Services for the determination of streetlight spacing. *(ENGR, TRANS, BLDG, PD)*

SIGNAGE

32. **A three foot tall curvilinear ground sign and water feature is approved at the north driveway, a three foot tall curvilinear ground sign is approved at the intersection of Concord Boulevard and Second Street, and a wall mounted identification sign is allowed on the east elevation of the annex building. The ground sign at the intersection of Concord Boulevard and Second Street shall be reoriented so that its primary orientation is toward Concord Boulevard.** Submit plans showing the dimensions, font style, logos, colors, materials, and construction details for Planning approval, prior to issuance of a Building Permit. *(PLNG)*
33. All signage shall comply with the City of Concord Sign Ordinance. *(PLNG) CMC*
34. The street address shall be incorporated on the ground sign. *(PLNG, BLDG)*
35. Construction plans showing details for installation, dimensions, font, logos, materials and colors, including a sample of all materials and colors shall submitted for review and approval prior to the issuance of a Sign Permit. *(PLNG)*

PARKING

36. **The Temple shall adhere to the terms of the Transportation Demand Management Plan to address parking and onsite vehicle circulation at all times.** *(PLNG, TRANS)*
37. **If on-street parking occurs in front of the residences on Second Street across from the temple to the dissatisfaction of the residents, the temple shall inform temple patrons to avoid parking in front of the residences via announcements and email/website notifications. Copies of these notices shall be provided to the City of Concord.** *(PLNG, TRANS)*
38. **Maintain a clear line of sight where the one-way drive aisle intersects the north parking lot by providing low-lying vegetation and no obstructive signs or screens, etc.** *(PLNG, TRANS)*
39. **Concord Disposal drivers shall be instructed to enter via the southern driveway, circulate northbound on the one-way drive aisle to access the trash enclosure, then exit via the north driveway.** *(PLNG, TRANS)*

40. **Signs shall be installed on the one-way drive aisle near the north lot intersection facing north that state “Do Not Enter” / “One Way” or similar wording. Signs shall be installed at the south parking lot driveway to Second Street that face west and state “Do Not Exit” or similar wording. (PLNG, TRANS)**
41. **A directional sign shall be installed stating “Exit” with an arrow pointing north located at the west side of the south parking lot near the entrance to the one-way drive aisle (facing east toward drivers in the south lot). (PLNG, TRANS)**
42. **Directional signs stating “One Way” with arrow shall be installed on the north and south ends of the one-way drive aisle. (PLNG, TRANS)**
43. **Directional arrow pavement markings shall be installed as shown on the project site plan. (PLNG, TRANS)**
44. **The proposed loading zone as shown on the project site plan shall be installed in order to provide adequate temporary parking space during special events. (PLNG, TRANS)**
45. **The informational campaign to notify patrons of the preferred travel route shall be continued with the new temple project by posting a notification on the temple website and through emails sent to temple members. Copies of these notices shall be provided to the City of Concord on a regular basis. (PLNG, TRANS)**
46. **A maximum of 28 percent of the required parking spaces may be compact. Compact stalls shall be clearly identified. (PLNG, ENGR) CMC**
47. **Parking shall comply with CMC §18.160.090, “Off-Street Parking Facilities” including motorcycle and bicycle parking spaces, drive aisle and parking space dimensions, turning radii, back-out dimensions, driveway clearances, landscape median dimensions, and other relevant information. (ENGR, PLNG) CMC**
48. **Short-term bicycle parking spaces shall be provided equal to five percent of the required vehicle spaces, with a minimum of two spaces per site. Short-term bicycle parking shall be located within 50 feet of the main entrance to the building it serves. Long-term bicycle parking shall be provided equal to a ratio of 10 percent of the required number of vehicle parking spaces. Secure long-term bicycle parking shall be located on the same lot as the use it serves and conveniently located, generally in close proximity to the main or an employee entrance. The location of bicycle parking facilities shall be shown on the Civil Site, Landscape, and Building Plans as approved by the Planning and Transportation Divisions, prior to issuance of a Grading or Building permit, whichever comes first. (PLNG, ENGR, TRANS)**
49. **Any vehicle that identifies a business by way of signage that is painted on or applied to the vehicle shall be parked in a delivery or storage area at the rear of the building or in an area screened from view from adjacent public right-of-way. (PLNG)**
50. **Handicapped parking spaces shall comply with Chapter 11 “Site Development Requirements for Handicapped Accessibility” of Title 24 of the California Code of Regulations, and be located as close as possible to the primary entrance. (BLDG)**

STREET IMPROVEMENTS

51. Dedicate a pedestrian easement to the City along **Concord Boulevard and Second Street** frontage **if it is required**, to accommodate the **public sidewalk**, prior to the **issuance of the site development permit**. *(ENGR)*
52. Construct improvements along the frontage on **Concord Boulevard and Second Street** including but not limited to: driveway removal; wheel chair ramps; construction of concrete curb, gutter and sidewalk; ADA compliant concrete driveway approach; storm drainage system; conforms to existing improvements; and repair/replacement of deficient frontage improvements as determined by the City Engineer, prior to occupancy approval or Acceptance of Improvements. *(ENGR)*
53. Any trenching for underground utilities shall comply with the modified City Standard Detail S-17 for pavement repair and possible slurry placement. **Concord Boulevard is under moratorium, trenching shall comply with the City of Concord specification and shall be coordinated with City staff prior to construction**. *(ENGR)*
54. Prohibit parking **along project frontage**. Paint curb face with red where parking is prohibited **per approved planning package**, prior to Acceptance of Improvements or the first Occupancy, whichever comes first. *(ENGR)*
55. Construct all public facilities in accordance with the current Americans with Disabilities Act (ADA), including driveways and curb ramps. *(ENGR)*
56. Show construction details for all pedestrian paths on the Improvement Plans and Final Landscape Plans. *(ENGR, PARKS)*

NOISE

57. Site preparation and construction activities shall be limited to the days and hours as set forth below:

Monday through Friday.....7:30 a.m. to 6:00 p.m.

Construction on Saturdays may be allowed only upon prior approval by the Building, Engineering, and Planning Divisions. No changes to these construction hours shall be allowed without the prior written consent of the City. A contact person shall be available during all construction activities in the evening and on weekends to respond to complaints and take actions necessary to reduce noise. *(BLDG, ENGR, PLNG)*

CONSTRUCTION ACTIVITIES

58. Contact Engineering Services to arrange for a Pre-Construction Meeting prior to issuance of Grading or Building Permits, whichever comes first. *(ENGR)*

59. Implement a dust and construction noise control plan. Submit the plan to Engineering Services for review and approval prior to issuance of the Grading Permit. **(ENGR)**
60. Construction equipment shall not be serviced at the site at any time. During construction no deliveries shall be made to the site and no delivery vehicles (including gasoline tanker trucks) shall enter the site between 6:00 p.m. and 7:30 a.m. on weekdays, and between 5:00 p.m. and 8:00 a.m. on weekends and federal holidays. Delivery vehicles shall have their engines turned off during unloading. **(BLDG, ENGR, PLNG)**
61. Employ the quietest construction equipment available, to muffle noise from construction equipment and keep all mufflers in good working order in accordance with State law. **(BLDG, ENGR, PLNG)**
62. Implement the following measures during construction:
 - a) Gather all construction debris on a regular basis and place them in a dumpster or other container that is emptied or removed on a weekly basis. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to storm water pollution.
 - b) Remove all dirt, gravel, rubbish, refuse, and green waste from the street pavement, and storm drains adjoining the project site. During wet weather, avoid driving vehicles off paved areas.
 - c) Broom sweep the public street pavement adjoining the project site on a daily basis. Caked-on mud or dirt shall be scraped from these areas before sweeping.
 - d) Install filter materials (e.g., sandbags and filter fabric) at the storm drain inlet nearest the downstream side of the site in order to preclude any debris or dirt from flowing into the City storm drain system. Filter materials shall be maintained and/or replaced as necessary to ensure effectiveness and to prevent street flooding. Dispose of filter particles in an approved trash receptacle.
 - e) Create a contained and covered area on the site for the storage of bags, cement, paints, flammable, oils, fertilizers, pesticides, or any other materials used on the site that have the potential for being discharged to the storm drain system by being windblown or in the event of a material spill.
 - f) Never clean items such as machinery, tools, and brushes or rinse containers in a street, gutter, or storm drain.
 - g) Ensure that concrete, gunite, plaster, or similar supply trucks do not discharge wash water into street gutters or drains. **(ENGR, BLDG)**
63. No equipment shall be started or staging area be established on the streets or the site before or after the specified hours of construction. **(ENGR, BLDG)**
64. Ensure that no debris or construction scrap material is placed on any adjoining lot, open space area, or street, and that any such material stored on an adjoining site shall be completely removed and the site cleaned, prior to occupancy approval. **(ENGR, BLDG)**
65. At no time shall campers, trailers, motor homes, or any other vehicle be used as living or sleeping quarters on the construction site unless authorized for site security. **(ENGR, BLDG)**

66. There shall be no parking of construction equipment or construction worker's vehicles on residential streets **or adjacent streets** at any time; all vehicles shall be maintained on-site. **(ENGR, BLDG)**
67. Portable toilets used during construction shall be kept as far as possible from adjacent properties and shall be emptied on a regular basis as necessary to prevent odor. **(ENGR, BLDG)**
68. Identify truck routes for the import or export of cut/fill material and/or construction debris for review and approval by the City Engineer prior to the issuance of permits. Repair any damage to City streets (private and public) caused by activity associated with this project. **(ENGR)**
69. In the event of the encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading and/or excavation shall cease, the find shall be left untouched, and the City Planning Division shall be immediately notified. The County Coroner and the Native American Heritage Commission shall also be notified and the procedures required in CEQA §15064.5 shall be followed. This requirement shall be noted on the Grading and Building Plans, prior to issuance of permits. **(PLNG, ENGR, BLDG)**
70. In the above event, retain a qualified professional archaeologist certified by the Register of Professional Archaeologists or paleontologist with a degree(s) in paleontology or geology, to evaluate and make recommendations as to disposition, mitigation and/or salvage. The recommendation shall be implemented before work may proceed. The applicant shall be responsible for all costs associated with the professional investigation and implementation. **(PLNG, ENGR, BLDG)**

CONSTRUCTION PLAN REVIEW/PRE-PERMIT REQUIREMENTS

71. Submit **an electronic copy** of a Preliminary Title Report, prepared within three months prior to plan submittal. **(ENGR)**
72. The proposed buildings are within the 100-year Floodplain Zone X. At a minimum, comply with the City of Concord Municipal Code requirements in establishing building finished floor elevations. The Grading Plan shall be referenced to the same elevation datum as the FEMA map, and shall show the finished floor elevations of the proposed buildings, 100-year Base Flood Elevations (BFE), and building setback line per CMC. **(ENGR) CMC**
73. The Improvement Plans shall show frontage improvements including but not limited to: drainage improvements, curb, gutter and sidewalk per City Standard Detail S-10, and driveway construction per City Standard Detail S-14 and repair/replacement of deficient frontage improvements as determined by the City Engineer. Any unusable existing driveway shall be replaced with standard curb, gutter, and sidewalk per S-10 above. Any trenching for utility installation shall comply with the modified City Standard Detail S-17 for pavement repair and possible slurry placement. **(ENGR)**
74. The Improvement Plans shall show plan and profile of all proposed street, drainage and sewer improvements and details for curb, gutter, sidewalk, and driveway construction. **(ENGR)**

75. Design improvements in accordance with the City Standard Plans S-34 and S-36 for sight distance, sidewalk, back up, fencing, geometrics at intersection and corner setback requirements, prior to the Acceptance of Improvements. Plans shall be subject to review and approval by Engineering Services. **(ENGR)**
76. Obtain an Encroachment Permit from the City prior to performing any work within the public right-of-way or public easements. **(ENGR) CMC**

SUBDIVISIONS/SITE DEVELOPMENT PLANS

77. The applicant shall apply for and receive approval of an application to merge all four parcel prior to issuance of any construction permits. **(ENGR)**
78. Submit Grading, Erosion Control, Improvement, Stormwater Pollution Prevention Plans (SWPPP), and Stormwater Control Plans prepared by a Registered Civil Engineer to Engineering Services for review and approval prior to issuance of an Encroachment Permit, Grading **or Building** Permit. **(ENGR)**
79. If building occupancy occurs in phases, all physical improvements shall be in place prior to occupancy per an approved phasing plan. No individual unit/**building** shall be occupied until the adjoining area is made safe, accessible, provided with all reasonable services and amenities, and completely separated from any remaining construction-related activity. **(BLDG, PLNG, ENGR)**

GRADING/EROSION CONTROL/GEOLOGIC

80. Submit a geologic investigation to demonstrate that proposed buildings will not be constructed across active faults. A licensed geologist must prepare an evaluation and written report. If an active fault is found, a structure for human occupancy cannot be placed over the trace of the fault and must be set back from the fault (generally 50 feet). **(ENGR)**
81. Submit a Geotechnical Report with the Grading Plans and Building Plans, pursuant to CMC Section 94-51 and Section 86-73 that addresses and provides recommendations for grading, drainage, walls, building foundations, and pavement structural sections. **(ENGR)**
82. All grading shall require a Grading and Drainage Plan prepared by a registered Civil Engineer, a Soils Report prepared by a registered Geotechnical Engineer and receipt of a Grading Permit approved by the City Engineer. The Grading Plans and Soils Report shall require review by the City's Geotechnical consultant with all costs to be borne by the applicant. **(ENGR)**
83. Contour grading techniques shall be employed throughout the project to achieve a more natural appearance, even where this will increase the amount of grading. Tops of cuts or toes of fills adjacent to existing public rights-of-way or easements shall be set back two feet minimum from said rights-of-way and easements. All cut-and-fill slopes in excess of five feet in height shall be rounded both horizontally and vertically. **(ENGR)**
84. Grading on adjacent properties shall require written approval from the affected property owners. **(ENGR)**

85. On-site finish grading work shall require drainage to be directed away from all building foundations at a minimum slope of 2 percent and a maximum slope of 20 percent toward approved drainage facilities or swales. Non-paved drainage swales shall have a minimum slope of 1 percent. *(ENGR)*
86. The project engineer shall inspect the finished grading and certify that it conforms to the compaction and elevations shown on the Grading Plan and Soils Report. *(ENGR) CMC*
87. At all times seasonally appropriate erosion control measures shall be implemented per plans approved by the City Engineer for all grading work at all times. Wet season measures shall be in place October through April at a minimum and when rain is otherwise predicted. At the time of approval of the Improvement and/or Grading Plans, an approved Erosion Control Plan prepared by a registered Civil Engineer shall be filed with the City Engineer. *(ENGR)*
88. All graded slopes and stockpiles of loose soil shall be hydromulched/hydroseeded by October of any given year. During grading work between October and April, if rain is forecast, stop all grading work two days before the rain forecast and implement BMPs to insure that the site is protected from erosion. *(ENGR)*
89. Submit Grading, Erosion Control, Improvement, **State Water Discharge Identification (WDID) number verifying the submittal of a** Stormwater Pollution Prevention Plan (SWPPP) **to the Regional State Water Board**, and Stormwater Control Plans to Engineering Services for review and approval prior to the issuance of Grading, Encroachment, and Building Permits. Where applicable, evidence of compliance with the State General Construction Permit shall be provided. *(ENGR) CMC*
90. Comply with the applicable provisions of the Grading Ordinance and the Storm Water Management and Discharge Control Ordinance. *(ENGR) CMC*

UTILITIES

91. New electrical transformers shall be placed underground or screened from view. *(PLNG, ENGR)*
92. No above ground utility facilities/structures shall be located between the face of curb and back of sidewalk in the public right-of-way. *(ENGR)*
93. Install streetlights along the **project** frontage(s) **if determined necessary by City staff**. Submit streetlight plans in accordance with the City Standard Specifications showing pole type, luminaries type, conductor and wiring schedule, connection points, lamp wattage and pull box locations, at the time of submittal of improvement plans. Streetlights shall be completely installed and operational prior to occupancy approval. *(ENGR)*
94. All new utilities shall be constructed underground prior occupancy approval. *(ENGR)*
95. Undergrounding of all existing overhead utilities along **Second Street** including aerial street crossings shall be required pursuant to CMC Section 110-93. All new utilities shall be constructed underground prior to issuance of occupancy approval. *(ENGR)*

96. Comply with the City of Concord sewer design flow criteria and sewer construction requirements of the Central Contra Costa Sanitary District. **(ENGR)**
97. Submit to Engineering Services sanitary sewer calculations with the Improvement Plans stamped and signed by a Registered Civil Engineer for review. **(ENGR)**
98. Any property presently served by a sewer line shall be provided a side sewer connected to the sewer system with no interruption of service. Necessary rights-of-entry shall be obtained from the affected property owners. **The existing sewer laterals to remain shall be tested under the City's observation before connection and be replaced if failed. (ENGR)**
99. Submit to Engineering Services a sewer fixture count and square footage of the existing buildings for possible fee credit purposes, prior to demolition. **(ENGR)**
100. Coordinate all facility adjustments, relocations, or additions to utility services with the appropriate utility companies. **(ENGR)**
101. Utility areas, electrical and gas meters shall be architecturally screened from view. **(PLNG)**
102. The location of all outdoor, above-ground and/or at-grade pad mounted transformers, utility equipment, electrical and gas meters, vaults, irrigation control boxes, back flow prevention devices, and the like shall **remain outside of the sight visibility triangle per City of Concord Development Code Section 18.150.170 and shall** be subject to approval by Planning and Engineering Services prior to the issuance of the Grading or Building Permit, whichever comes first. All such equipment shall be screened from view either architecturally or with landscaping and painted forest green or other approved color as approved by the Planning Division. Any changes to the approved Utility Plans, including location or screening details shall be reviewed and approved by the Planning Division. **(PLNG, ENGR)**
103. Provide cable companies a set of approved site diagrams in electronic format showing the joint trench layout for dry utilities for cable service to be provided to the site. **(ENGR)**
104. Connect all buildings to the sanitary sewer collection facilities of the City, and pay all current sewer connection and service fees prior to occupancy approval. **(ENGR) CMC**
105. Submit proof acceptable to Engineering Services that all work within the existing (new) private waterline easement(s) are reviewed and approved by the easement owner of record. **(ENGR)**

DRAINAGE/STORMWATER C.3 REQUIREMENTS

106. Submit a Stormwater Control Plan (SWCP) prepared in accordance with the current Contra Costa Clean Water Program Stormwater C.3 Guidebook for review and approval by Engineering Services prior to issuance of any permit. The SWCP shall be prepared and certified by a Civil Engineer, registered in the State of California, demonstrating an understanding of the design of treatment measures for water quality and groundwater protection principles applicable to the project site. **(ENGR)**

107. Prior to issuance of permits for building, site improvements, or landscaping, applicant shall submit a permit application consistent with the applicant's approved Stormwater Control Plan (SWCP), and include drawings and specifications necessary for construction of site design features, measures to limit directly connected impervious area, pervious pavements, self-retaining areas, treatment BMP's, permanent source control BMP's, and other features that control stormwater flow and potential stormwater pollutants. The Contra Costa Clean Water Program permit application shall include a completed "Construction Plan C.3 Checklist" as described in the Stormwater C.3 Guidebook, and a detailed draft Stormwater BMP Operation and Maintenance Plan consistent with the general O&M plan included in the applicant's approved Stormwater Control Plan. Guidelines for the preparation of Stormwater BMP Operation and Maintenance Plans are in Appendix F of the Stormwater C.3 Guidebook. *(ENGR)*
108. Construct stormwater treatment measures per the approved SWCP prior to occupancy approval. *(ENGR)*
109. Submit a final Stormwater BMP Operation and Maintenance Plan (O&M Plan) in accordance with City of Concord Guidelines, for review and approval by Engineering Services, prior to **the site development permit issuance**. This O&M Plan shall incorporate City comments on the draft O&M Plan and any revisions resulting from changes made during construction. The implementation of the O&M Plan shall be the responsibility of the property owner or the HOA where one exists. *(ENGR)*
110. Execute **O&M** agreements identified in the SWCP which pertain to the transfer of ownership, right-of-entry for inspection or abatement, and long-term maintenance of stormwater treatment or hydrograph modification BMPs, prior to occupancy approval. *(ENGR)*
111. Prevent site drainage from draining across sidewalks and driveways in a concentrated manner. *(ENGR)*
112. Collect and convey all stormwater entering and/or originating from the site to an adequate downstream drainage facility. Submit hydrologic and hydraulic calculations for a 10-year storm with the Improvement Plans to Engineering Services for review and approval. *(ENGR)*
113. Install City of Concord "No Dumping, Drains to Creek" curb marker (English and Spanish version) on all catch basins. *(ENGR)*
114. Submit a Construction Best Management Practice (BMP) Program for review and approval by the Engineering Development Services Department prior to issuance of a Building and/or Grading Permit. The general contractor and all subcontractors and suppliers of materials and equipment shall implement these BMPs. Construction site cleanup and control of construction debris shall also be addressed in this program. Failure to comply with the approved construction BMP may result in the issuance of correction notices, citations, or a project stop work order. *(ENGR)*

115. Sweep or vacuum the parking lot(s) **and adjacent streets** a minimum of once a month and prevent the accumulation of litter and debris on the site. Corners and hard to reach areas shall be swept manually. If sidewalks and/or the parking lot are pressure washed, debris must be trapped and collected to prevent entry into the storm drain system. No cleaning agent may be discharged into the storm drain. If any cleaning agent or degreaser is used, wash water shall be collected and discharged to the sanitary sewer, subject to the approval of the Central Contra Costa Sanitary District). (*ENGR*)
116. Ensure that the area surrounding the project such as the streets stay free and clear of construction debris such as silt, dirt, dust, and tracked mud coming in from or in any way related to project construction. Areas that are exposed for extended periods shall be watered regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular basis. All trucks shall be covered. (*ENGR*)
117. Clean all on-site stormdrain facilities a minimum of twice a year, once immediately prior to October 15 and once in January. Additional cleaning may be required if found necessary by the City Engineer/Director of Building Inspection. (*ENGR, BLDG*)

SOLID WASTE/RECYCLING

118. Comply with CMC Chapter 82, Solid Waste, Article V, Construction and Demolition (C&D) Waste Recycling, Sections 82-114 through 82-126, as applicable. (*BLDG*)
119. Design and implement City approved Source Reduction/Recycling Plan and demonstrate that interior and exterior refuse enclosures have been sufficiently designed and located for the storage and pick up of recyclable materials in accordance with CMC Section 82-83, Source Reduction and Recycling, prior to issuance of a Building Permit. (*PW*)
120. Trash bins and refuse shall be stored within approved trash enclosure and the doors shall be closed at all times except when the bins are being emptied. (*CE*)
121. Comply with the provisions of the CMC, Central Contra Costa Sanitary District and the disposal service regarding enclosure design, access requirements, and the number of required individual refuse receptacles based upon waste pickup schedules. Trash enclosures shall incorporate the following features:
 - a) A concrete pad to prevent damage to asphalt paving.
 - b) A roof and sanitary sewer cleanout, designed to prevent rainwater from penetrating the interior of the enclosure and preclude trash from being blown outside of the bins.
 - c) The cleanout shall connect to a sanitary sewer to prevent contaminated water from entering the storm drain system.
 - d) If any cleaning agent or degreaser is used, wash water must be collected and discharged to the sanitary sewer, subject to the approval of the Central Contra Costa Sanitary District. (*CCCS, ENGR*)
122. Trash enclosures shall incorporate the same architectural treatment, and use the same exterior materials and colors as the main building and shall comply with the Community Design Guidelines, including the following:
 - a. A roof or trellis.

- b. Masonry, steel or heavy timber walls.
- c. An interior, poured-in-place curb to prevent damage to the screen walls.
- d. Doors with external hinges to prevent damage from the receptacle.
- e. Doors of solid metal or with a metal frame with self-closing latch.
- f. The height of the enclosure walls and door shall be the same height or higher than the bins within the enclosure. *(PLNG)*

AGREEMENTS, FEES, BONDS

123. All fees noted below are the fees currently in effect as of **July 11, 2016** per the Resolution of Fees and Charges. The fees and charges are reviewed annually as part of the budget public hearing process. Fee adjustments are based on a number of factors and vary depending on the type of fee:

Service-based fees are adjusted annually based on the San Francisco-San Jose-Oakland Area Consumer Price Index;

Improvement based fees (also called impact fees) are adjusted annually based on Engineering News Record Construction Cost Index (San Francisco Bay Area); and the

Parkland Fee is adjusted per Section 78-95 of the Concord Municipal Code.

The fees become effective as of the date set forth in Exhibit A of Resolution No. 78-6042, Fees and Charges for Various Municipal Services, as most recently amended and approved by the City Council. Persons interested in how a particular fee is calculated should contact the City Department administering the fee or the Finance Department. *(ENGR)*

124. Provide a **\$5,000.00** cash deposit to the Planning Division to cover Condition Compliance costs, at the time of submittal of plans and documents to Engineering Services or the Building Division for plan check. Planning staff's time will be charged to this deposit for work performed to implement the Conditions of Approval, from the time of project approval to occupancy approval. The deposit will be placed in a refundable account and any unused funds will be returned upon completion. If the initial deposit is insufficient to cover actual costs, an additional deposit will be required. *(PLNG)*
125. Pay a Document Imaging fee to reimburse the City for implementation of the Document Imaging and File Retention programs, prior to issuance of Grading or Building Permits. *(PLNG)*
126. All improvement agreements required in connection with said plans shall be submitted to and approved by the City and other agencies having jurisdiction over said project prior to issuance of the Building or Grading Permit, whichever comes first. *(ENGR)*
127. All required faithful performance bonds and labor materials bonds in a penal amount equal to 100 percent of the approved estimates of construction costs of improvements shall be submitted to and approved by the City and other agencies having jurisdiction prior to issuance of the Building Encroachment or Grading Permit, whichever comes first. *(ENGR)*

128. Encroachment Permit Application:

- a) Pay the Filing Fee at the time of submittal of permit application, improvement plans and supporting documents to City Engineering Services for review. The current fee is **\$66.00**.
- b) Provide a restoration security before issuance of the Encroachment Permit. The security shall be in an amount sufficient to restore existing public improvements to a serviceable condition should development improvement activity cause damage. The amount of the security shall be determined by, and be in a form acceptable to the City Engineer.
- c) Provide a \$10,000 cash deposit to cover Condition Compliance/Mitigation Monitoring costs at the time of submittal of plans and documents to Engineering Services for review. The deposit will be placed in a refundable account. Condition Compliance/Mitigation Monitoring costs will be charged to this deposit over the life of the project permit and mitigation requirements. Any unused funds will be returned at project completion. If the initial deposit is insufficient to cover actual costs, an additional deposit in an amount determined by the City Engineer will be required. *(ENGR)*

129. Grading Permit Application:

- a) Pay Grading Permit Fees at submittal of a Grading Permit application. The current fee is determined based on cubic yardage of cut and fill combined, or at the hourly rate of **\$238.00** if the hourly rate is used.
- b) Provide a \$10,000 cash deposit for Erosion Control prior to issuance of Grading Permit. The deposit will be placed in a refundable account. Any unused funds will be returned at project completion. If the initial deposit is insufficient to cover actual costs, an additional deposit in an amount determined by the City Engineer will be required.
- c) Pay Stockpile and Erosion Control Monitoring fee prior to issuance of Grading Permit. The stockpile and erosion control monitoring fee is currently **\$38.00** per calendar day and is collected for the life of the Grading Permit activity. *(ENGR)*

130. Improvement Plans:

- a) Pay the Improvement Plan review fee at the time of submittal of Improvement Plans and supporting documents to Engineering Services for review. **All plan review fees include one initial submittal and two revisions. Any additional plan review required will be charged at an hourly rate of \$238.00 and will require an adequate deposit to a trust account prior to commencement.**
- b) Pay the Construction Inspection fee prior to issuance of the Construction Permits or scheduling the Subdivision Agreement for consideration by the City. The current fee is based on 9% of the estimated cost of constructing the required improvements to support the subdivision.
- c) Pay the Drainage Acreage Fee prior to **issuance of the building permit**. The current fee is **\$3,414.00/acre. (Drainage Area 90)**
- d) Provide a **\$1,000.00** deposit for archiving permanent records.
- e) Provide a \$5,000 deposit for specialty inspections prior to **the site development permit**.
- f) **Pay applicable fees for review of stormwater control and O&M agreement and bio-retention inspection. (ENGR)**

131. Sewer Connection Permit:

- a) Pay Sanitary Sewer connection fee. The current sewer connection fee is **\$1,009.00 per fixture**.
- b) Pay the current sewer service fee prior to **occupancy**. The current fee is **based on the water usage per year. (ENGR)**

OTHER/MISCELLANEOUS

- 132. Contact local postal authorities to get their requirements for mail facilities for the project. The design and location of mail receptacles shall be reviewed and approved by the Planning Division and shown on the Utility, Landscape, and Building Plans, prior to issuance of Grading or Building Permits, whichever comes first. Mail facilities shall be installed prior to occupancy approval. **(PLNG)**
- 133. Comply with the requirements of the Contra Costa County Health Department for the abandonment of existing septic tanks or wells. **(ENGR) CMC**
- 134. Comply with the requirements of the Contra Costa Fire Protection District. Submit complete sets of plans and specifications to the Fire District for review and approval at:

Contra Costa County Fire Protection District
2010 Geary Road
Pleasant Hill, CA 94523

Plan review fees are assessed at that time. The City is not responsible for the collection of fees or enforcement of requirements imposed by the Fire District. **(CCCFPD)**

- 135. The applicant shall defend, indemnify and hold harmless the City, its agents, officials, and employees from any claim, action or proceeding brought by a third party to set aside, annul, attack or otherwise void the permit. **(PLNG)**
- 136. The permit and approval shall expire in **one** year from the date on which they became effective unless construction permits are obtained and work has begun. The effective date of the permit and approval is **October 4, 2016. (PLNG)**
- 137. A request for a time extension from the expiration date of **October 4, 2017** can be considered if an application with required fee is filed at least 10 days before the original expiration date, otherwise a new application is required. A public hearing will be required for all extension applications, except those involving only Design Review. Extensions are not automatically approved. Changes in conditions, City policies, surrounding neighborhood, and other factors permitted to be considered under the law, may require, or permit denial. **(PLNG)**

PROPOSED SHIVA MURUGAN CULTURAL CENTER

RECEIVED

OCT - 7 2015

PLANNING



LOCATION

1803 Second St.
Concord, CA-94519

Owner

Shaiva Siddhanta Ashram
A Non-Profit Organization

Temple Architect (Stapathy)

K. Dakshinamoorthy
Vivek Vedic Architects
Chennai, India

ARCHITECT

SKL ASSOCIATES, INC.

08-28-2015

Background

The Shiva Murugan Temple has been operating in Concord since moving from San Francisco in 1988. The original temple was established in San Francisco in 1957 and is the oldest Hindu temple in North America. Currently, the temple is operated in a church building with a social hall in the basement and an adjacent single story building which serves as the temples administration building. Over the years the temple has acquired adjacent parcels which have single family homes where the temple priests reside.

There has been a steady rise in devotees attending the temple, with many families attending from as far as the Silicon Valley and Sacramento. The main attraction of the Concord temple is the intimate size and the quality of the rituals conducted by the priests. The temple activities include a vast array of services from daily worship (Puja), religious and social ceremonies and religious festivals that occur throughout the year.

The current temple facility including the social hall, are inadequate to meet the needs of the growing congregation. Social activities often are held in the temple disrupting the religious services that are conducted there. Therefore, the temple Board proposes a new larger temple building and annex that will provide separate venues for religious and social activities. The construction of the new building will be phased so that the existing temple will remain in place until the new building is completed. The annex building and completion of the south parking lot will be done in the second phase.

Hindu temple design is based on architectural principles of ancient vedic text Shilpa Shastras and is rooted in ancient body of knowledge know as Vastu Shastras, which is still practiced today. Temples built on these principles can be seen in India and other parts of Asia such as the Angkor Wat temple in Cambodia, which is one of the world's largest Hindu temple. The temple Board has appointed a renowned Temple Architect (Sthapathy) K. Dakshinamoorthy of Vivek Vedic Architects to provide the design concept of the new temple and annex building.

The temple design was presented to the City Planning Department for preliminary review in the fall of 2014. Based on comments made by the Design Review Board and other City departments, the architects have revamped the overall design of the buildings. The design of the temple building now incorporates exterior and interior features that vastly improves the massing, form, texture and visual appeal of the exterior. Stepped volumes have been added to enhance the experience of the interior spaces too. The annex building also incorporates the style and motifs of the temple so that the two form a cohesive cultural facility.

Site Design

The site is located centrally on the edge of Concord's historic district. It is bounded by Second Street on the east, at the intersection of Concord Boulevard, which lies to the south. The Safeway shopping center is on the west and the Western Federal Credit Union is located on the north.



View of existing building

The four lots on which the new temple and annex is proposed is occupied by temple building and various single story buildings owned by the temple. These lots will be combined into one parcel.

A sewer line easement runs west to east across the lot thereby limiting the options for building placement. Since the existing temple operations have to continue during

construction of the new building the portion of the parcel available for the temple lies between the existing building and the sewer easement.

The primary vehicular access to the temple parking lot is provided on Second Street. Another driveway is provided from Concord Boulevard, however this is intended to be for exiting the temple parking lot. Parking areas are placed along both north and south side of the temple. On the northerly portion of the lot a two story annex building is located which will house the administrative offices, restrooms, social hall and kitchen. Access to the temple property will be controlled by automatic gates which will be left open during service hours.

Pedestrian access to the temple is provided by means of a ceremonial gate feature, which leads into a front plaza area of the temple. Two kiosks flank the main entrance the purpose of these is to store devotees footwear, as no footwear is allowed inside the sanctuary. The entire site will have an wrought iron fence to secure the premises during off-hours. This was deemed necessary as the current temple facilities have been the target of many vandal attacks.

Parking Requirements

During initial consultation with Planning staff the temple representatives were made aware that parking count must be based on City of Concord Zoning Code – Parking Standards. As the temple activities and nature of operations differs considerably from a typical Church, staff recommended that the occupancy of the building may be determined by deriving an occupant load based on actual seating area that the Fire Department would accept. An exhibit demarcating the seating areas and the clear aisles was presented to the Fire Department with a projected occupant load of 336 persons. This was reviewed by Fire Department staff and approved. A copy of the signed exhibit is attached.

Parking is provided for 50 vehicles along with 16 bicycle parking and 2 motorcycle parking spaces. A shuttle service will also be provided for on special festival days. Additional parking is available on the adjacent parking lot which the temple has an agreement to use during weekends.

The mode of attendance of a Hindu temple is significantly different when compared to other religious facilities. Below is a table sampling of typical attendance pattern of the current temple for various days of worship and festivals. This information gives a good picture of the peak hourly demand for various days and events.

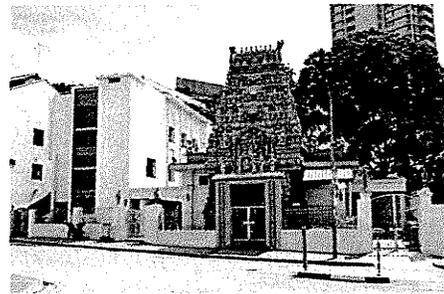
TYPE OF ACTIVITY	TIMING	HOURLY ATTENDANCE	TOTAL ATTENDANCE
Week Day Worship	10:00 AM - 12:00 NOON	10-30	30
	6:00 PM - 9:00 PM	15-50	50
Week End Worship	10:00 AM - 9:00 PM	35	300
New Year Day Worship	7:00 AM - 9:30 AM	75	150
	10:00 AM - 12:00 NOON	75	250
	12:00 NOON Cultural Event	75	200
Thaipusam Day Worship (Jan. or Feb.)	8:00 AM - 9:00 AM	100	300
	10:00 AM - 12:00 NOON	150	400
	12:00 NOON Cultural Event	150	200
	2:00 PM - 4:00 PM Murugan Wedding	150	200
Thai Pongal Day Worship (Jan.)	10:00 AM - 12:00 NOON	75	200
	12:00 NOON Cultural Event	75	200
Thai Krithhigai Worship (Jan.)	10:00 AM - 12:00 NOON	50	125
	12:00 NOON Cultural Event	50	100
Maha Shiva Ratri Worship (Feb. or Mar.)	5:00 PM - 8:00 PM	125	500
	8:00 PM - 9:30 PM	125	600
	9:30 PM - 10:15 PM Cultural Event	125	600
	10:30 PM	125	600

The temple is located near to the Concord BART station and bus-stops allowing attendees to use these modes of transport for special occasions. The required parking for the facility is based on using the seating area of the temple excluding aisles and dividing by a factor of 50. The resultant projected parking count of 47 spaces (50 provided) should adequately satisfy the facilities parking needs except for special festive days. The temple Board plans to address these days by arranging for shuttle service for attendees to and from BART and public garages. In addition, on these days traffic management and street closures on Second street may have to be implemented.

Building Design

The design of the new temple building is based on the building design principles of Vastu, which dictates the geometries and placement of features of the building. The main entrance of the temple needs to be facing east as the most desirable directions. The aspects such as placement of water features, cooking areas and other amenities are also determined by the most auspicious placement.

The new temple building consists of 7075 square feet of building. The main feature of the temple is a 47 feet entrance tower or "Rajagopuram" which is a richly sculptured element that rises in diminishing tiers and announces the temples presence. A smaller tower (Gopuram) is placed over the main diety towards the west side of the building. In between the two towers a faceted dome is located on the roof. The facades of the temple will be faced with ornamental pilasters and decorative window trims and overhangs and cornices which are traditional design elements of a temple.



Example of temple, Singapore

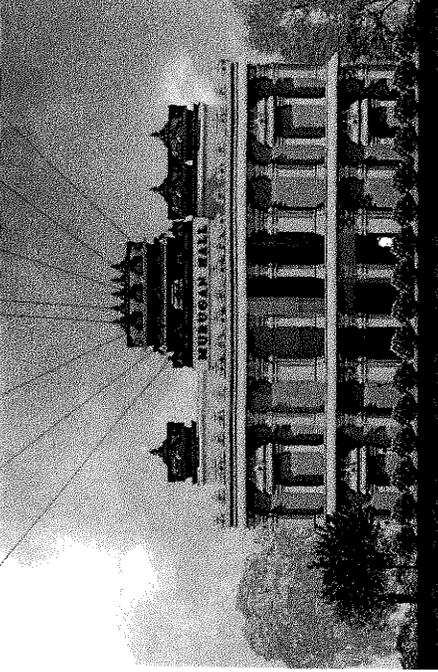
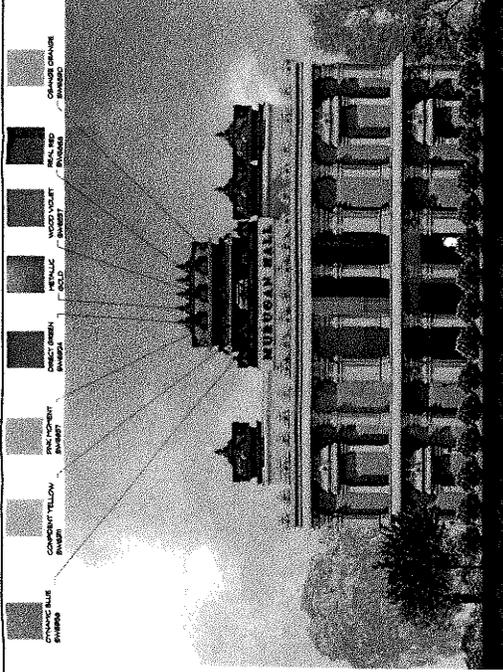
The temple annex is a two story building of 6700 square feet that will house the temple administrative offices and restrooms on the lower level. A social hall and kitchen are located on the second floor. The exterior design of the annex has pilasters and cornices that take the cue from the temple, however to distinguish this building from the temple the ornamentation as extensive as the temple building.

Exterior materials consist of cement plaster and precast cement pilaster, moldings, cornices and ornaments. The colors of the temple have not been finalized yet, but an example is shown in the picture above.

Conclusion

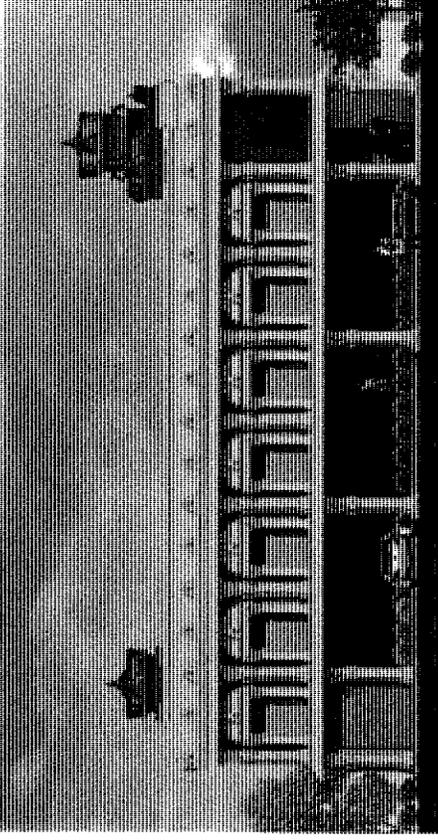
The Shiva Murugan temple of Concord has become an endeared place of worship to the devotees from throughout the Bay area. The new building built on the ancient principles will transform it to a place of pilgrimage, as well as a place that visitors and residents of Concord would enjoy viewing.

Prepared by:
Sharad Lal, AIA, LEED AP BD+C
Architect

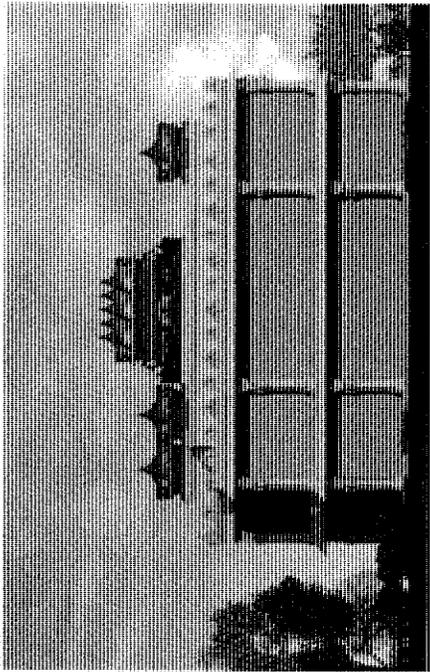


1 EAST ELEVATION
NOT TO SCALE

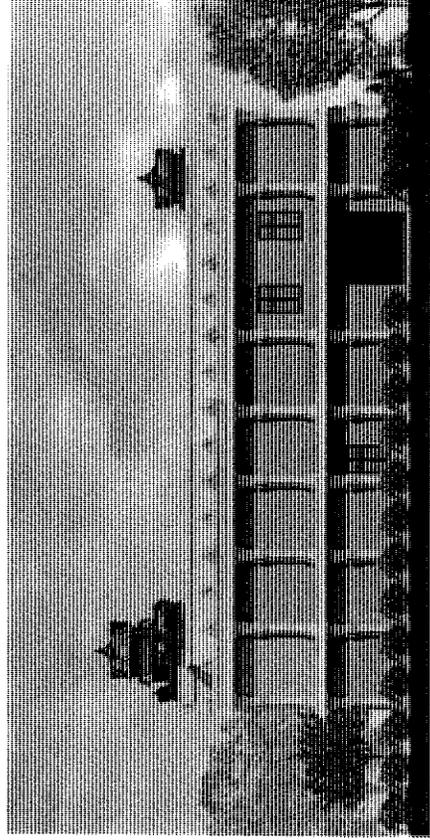
SEE SHEET T-2 FOR EXTERIOR COLOR PALLETTE



2 SOUTH ELEVATION
NOT TO SCALE



3 WEST ELEVATION
NOT TO SCALE



4 NORTH ELEVATION
NOT TO SCALE

PROPOSED NEW BUILDINGS
SHIVA MURUGAN
 CULTURAL CENTER
 1803 SECOND ST.
 CONCORD, CA 94519



Architectural Rendering & Animation
 www.skla.com
 SKLA ASSOCIATES, INC.
 1700 W. 17th St.
 Los Angeles, CA 90024
 Tel: 310.407.1111
 Fax: 310.407.1112

PRELIMINARY
 SUBJECT TO CHANGE
USE PERMIT APPLICATION
 BOARD FOR

MARK	DATE	DESCRIPTION

COLORLED ELEVATIONS - ANNEX

T-3

PROJECT NO. 0909
 MODEL FILE: SPEC
 DRAWING: 01
 DATE: 08/11/11
 DRAWN BY: JH
 CHECKED BY: JH
 PROJECT LOCATION: 1803 SECOND ST., CONCORD, CA 94519
 PROJECT ARCHITECT: SKLA ASSOCIATES, INC.

Planting Legend

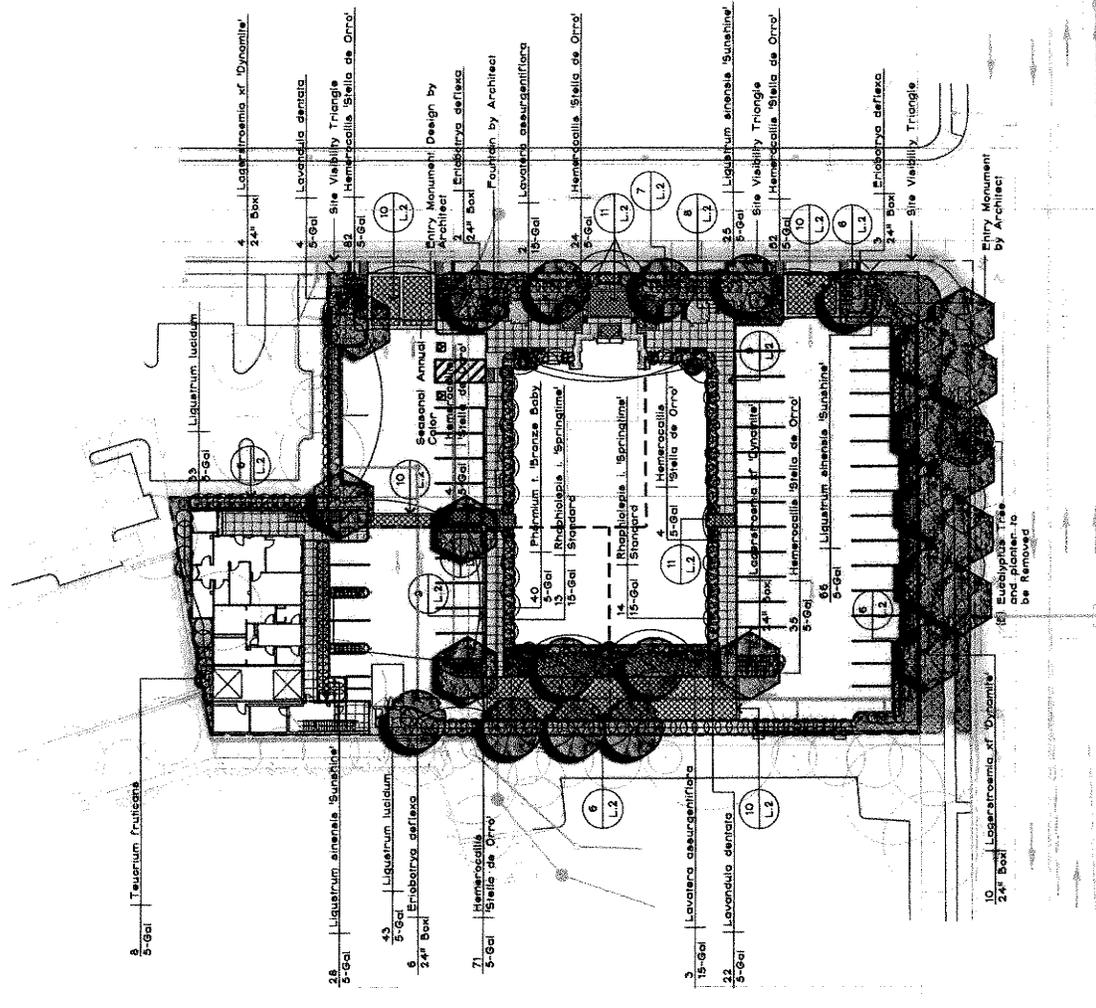
QUANT.	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE
TREES:				
11	24" Box	<i>Embrya deflexa</i>	BRONZE LOQUAT	Moderate
15	24" Box	<i>Lagerstroemia x 'Dynamite'</i>	CRAPE MYRTLE	Low
SHRUBS:				
272	1-Gal	<i>Hemerocallis 'Stella de Oro'</i>	NCN	Moderate
25	5-Gal	<i>Lavandula dentata</i>	FRENCH LAVENDER	Low
23	15-Gal	<i>Lavatera assurgensiflora</i>	TREE MALLOW	Low
76	5-Gal	<i>Ligustrum lucidum</i>	Glossy Privet	Low
121	5-Gal	<i>Ligustrum s. 'Sunshine'</i>	NCN	Low
40	5-Gal	<i>Phoradendron t. 'Bronze Baby'</i>	NCN	Low
27	15-Gal	<i>Rhododendron t. 'Springtime'</i>	INDIA HAWTHORN 'Standard'	Low
5	5-Gal	<i>Taxodium truncatum</i>	NCN	Low
GROUND COVER:				
1-Gal		Carex nummularis sp. 8245cc	BERKLEY SEDGE	Low
1-Gal		<i>Arctostaphylos u. 'Normal 94"</i>	NCN	Low

Planting Notes:

- Quantities of plant materials shall be furnished to complete the work as shown by symbols on the planting plan. Plant legend quantities are for reference only. Final quantities shall be determined by the contractor. The contractor shall contact the landscape architect for further clarification as may be necessary.
- Contractor to install root barriers per detail on sheet L.3 on all trees within 4' of concrete paving and parking strips.
- See sheet L.2 and L.3 for Landscape Details and Specifications.
- All planting areas shall receive a minimum 3" of bank.
- TOTAL LANDSCAPE AREA: 8,331sf**

General Notes:

- All equipment and work shall be installed as per manufacturer's written specifications and local codes. Contractor shall be responsible for obtaining all necessary permits.
- Drainage:**
 - Contractor shall insure positive drainage to all drain inlets as indicated on the plan.
 - All roof drains shall be connected to drainage system in back of house.
 - Contractor shall verify existing drainage system. Contractor to verify location of existing drain lines on site.
- Landscape Elements:**
 - Blue Rock:**
 - Available from: DuMar Blue Rock
 - Catalogue No.: 150-20
 - Color: Black
 - Address: Santa Rosa, California 95404
 - Phone: 707.538.3800
 - Beach:**
 - Available from: Rose Recreation
 - Item: DuMar Bench
 - Catalogue No.: 143-60PL
 - Address: 100 Bush Creek Road #206
 - Phone: Santa Rosa, California 95404
 - 707.538.3800
 - Permeable Pavers:**
 - Available from: Napa Concrete Paver
 - Item: 13" Concrete Paver
 - Color: Grey
 - Address: 888.442.8811
 - Phone: San Rafael, California 94901
 - 415.257.6353
 - Extractor/Travertine Tile:**
 - Available from: Home Depot
 - Item: Travertine Tile
 - Color: Cream
 - Address: 89 Concrete Edge
 - Address: Concord, CA
 - Color: Medium Brown Finish w/ Heavy Score Jnts
 - Color: Davis Color #5084 Omaha Tan



SKLA

PROPOSED NEW BUILDINGS
SHIVA MURUGAN
CULTURAL CENTER
1803 SECOND ST. CONCORD, CA 94519

PROJECT NUMBER: _____
 MODEL FILED IN: _____
 DRAWN BY: _____
 CHECKED BY: _____
 DATE: _____
 SCALE: _____
 SHEET: _____ OF _____

PLANTING PLAN

L.1

PRELIMINARY REVIEW
SUBJECT TO CHANGE

PRELIMINARY REVIEW
ISSUED FOR

REVISION

MARK	DATE	DESCRIPTION

ZONING SUMMARY

GENERAL PLAN COMMERCIAL MIXED-USE (CMU)

ZONING DISTRICT COMMERCIAL MIXED-USE (CMU)
TRANSIT STATION OVERLAY DISTRICT

LOT AREA 38,888 S.F. (0.89 AC)
(M) BLDG. (B) (C)
(N) BLDG. AREA 19,778 S.F.
TEMPLE
(M) BLDG. AREA 6,728 S.F.
ANNEX
TOTAL AREA 13,808 S.F.
FASE C88
COVERAGE 28%
LANDSCAPE % 21.4% (4,531 S.F.)

SETBACKS REQUIRED PROVIDED
FRONT SIDE 7' 7'
REAR / SIDE 5' 1' 5'

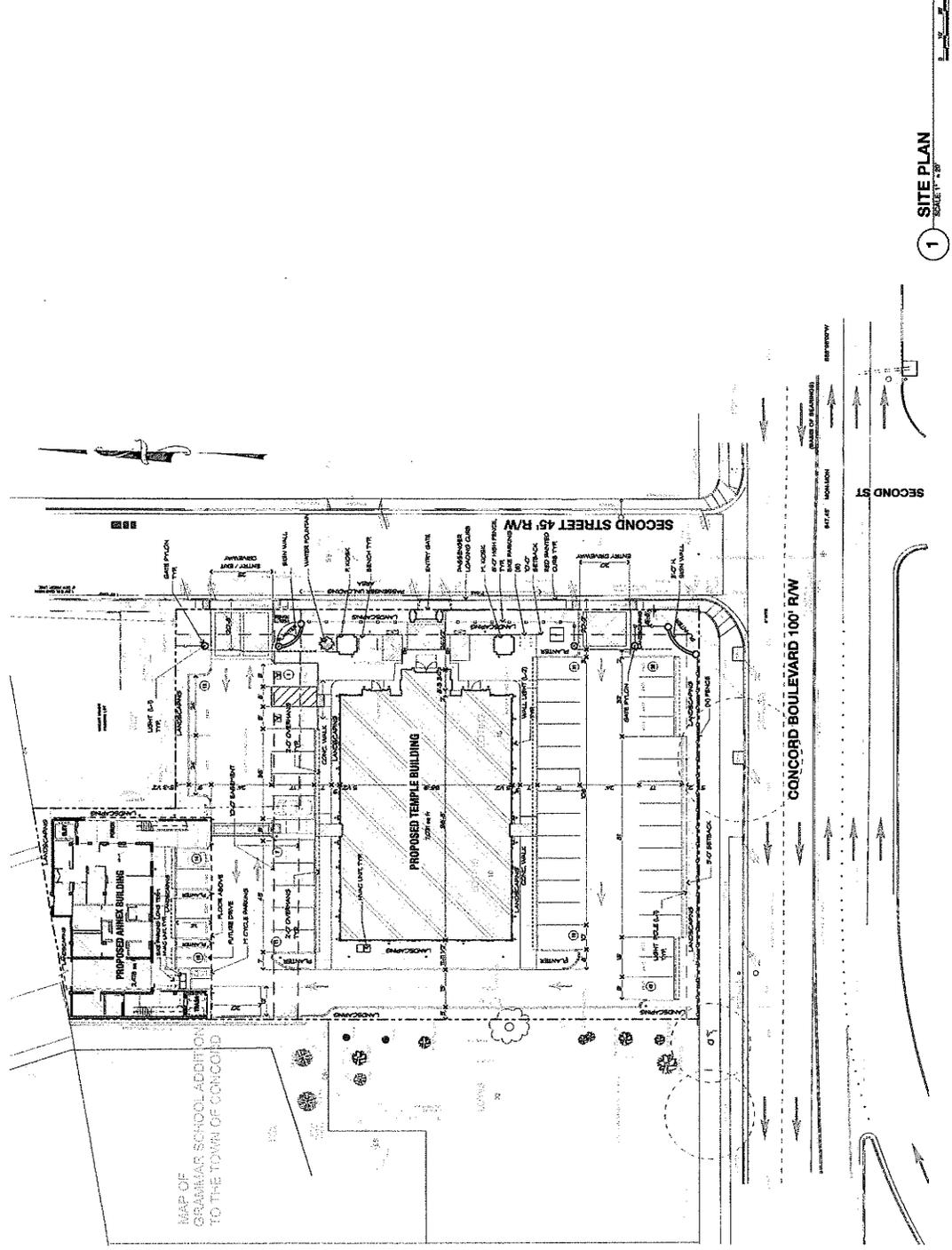
BUILDING HT. 37'-0"
(TRIPLE) 22'-0" (TRIPLE)
43'-0" (SINGLE)
BUILDING HT. (ANNEX) 30'-0" (TRIPLE)
42'-0" (TRIPLE)

PARKING-REQD. PER 1 SPACE / 4 SEATS PER 1 SPACE / 50 S.F. GROSS NON-REQD. CODE 2345 MAX PER OCCUPANTS 2345-7 = 338 PARKING REQD. 2345-90 = 47 PARKING PROVIDED 47 (1 MOTORCYCLE 30 = STANDARD 13 CONTRACT 2 ACCESSIBLE)

LIGHTING LEGEND

L1 POLE LIGHT PULLING LED VASCO 18'-0" POLE
L2 WALL MOUNT LIGHT AVAL B/HALL SCALE WALL
ALUSCO

SEE CIVIL PLANS FOR ALL INHERENT MARKERS AND SIGNAGE



1 SITE PLAN SCALE 1" = 20'

AS-I

PROJECT NO. 1803
SHEET NO. 1803-1
DATE: 12/20/20
DRAWN BY: [Name]
CHECKED BY: [Name]

SITE PLAN

DATE	BY	DESCRIPTION

PRELIMINARY
SUBJECT TO CHANGE
USE PERMIT APPLICATION
NEED FOR

SKIN

PROPOSED NEW BUILDINGS
SHIVA MURUGAI
CULTURAL CENTER
1803 SECOND ST.
CONCORD, CA-94519

18/03/2020/Document/Arch/CA/1803-1/PROJECTS/SMT/1803-1

SITE DETAILS

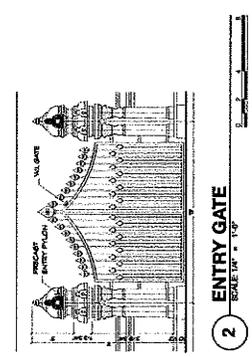
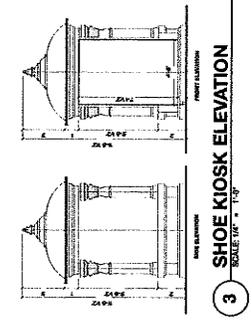
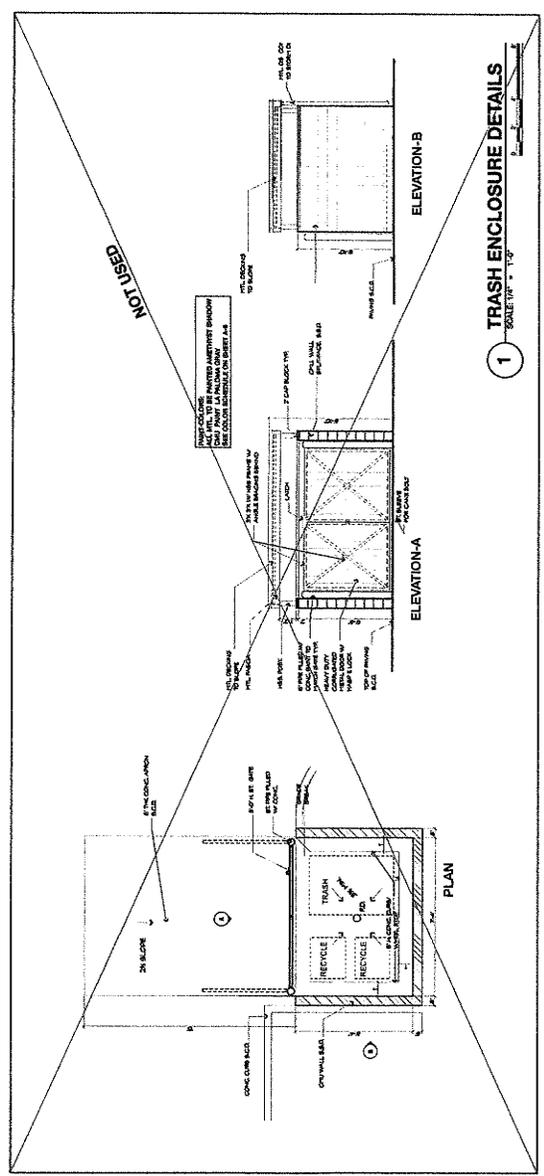
MARK	DATE	DESCRIPTION

PRELIMINARY
SUBJECT TO CHANGE
USE PERMIT APPLICATION
STAMP FOR

ARCHITECT: SHIVA MURUGAI
SKM ASSOCIATES, INC.
11111 BAYVIEW
VAN NUYS, CA 91411



PROPOSED NEW BUILDINGS
SHIVA MURUGAI
CULTURAL CENTER
1803 SECOND ST.
CONCORD, CA-94519



PROJECT TEAM:

OWNER:
ASRAM SHIVA SODHANTHA / TRIPLE SHIVA MURUGAN
1803 2ND STREET
CONCORD, CA 94519

ARCHITECT:
SRI. WILSON PASE ROAD, SUITE 206
CONCORD, CA 94519
925-660-2711
WWW.WILSONPASE.COM

CIVIL ENGINEER:
2525 W. ANSELMO DRIVE, SUITE 200
CONCORD, CA 94520
925-308-1101
WWW.MILANI.COM

ARCHITECT:
2337 AMERICAN AVENUE
CONCORD, CA 94520
925-308-1101
WWW.MILANI.COM

SITE INFORMATION:

ADDRESS: 1803 2ND STREET, CONCORD, CA
A.P.N.'S: AM112-011-004, 113-011-016, 113-011-016 AND 113-011-017
EXISTING ZONING: RMF (22-30 UNITS PER ACRE)
PROPOSED ZONING: M 1.5
EXISTING USE: SINGLE FAMILY RESIDENTIAL
PROPOSED USE: RESIDOUS

TOTAL NUMBER OF LOTS: 1 LOT
TOTAL SITE AREA: 30,854 SF, 0.69 AC (GROSS & NET)
NET LOT COVERAGE: 24.7%

UTILITIES & SERVICES:
SEWER: CENTRAL COSTA WATER DEPARTMENT
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE: SBC
POLICE: CITY OF CONCORD
FIRE: CENTRAL COSTA COUNTY FIRE PROTECTION DISTRICT
DRAINAGE: CONTRA COSTA COUNTY FLOOD CONTROL & CONSERVATION DISTRICT (COPCORD)

LEGAL DESCRIPTION: SEE PRELIMINARY TITLE REPORT FOR PROPERTY DESCRIPTION.

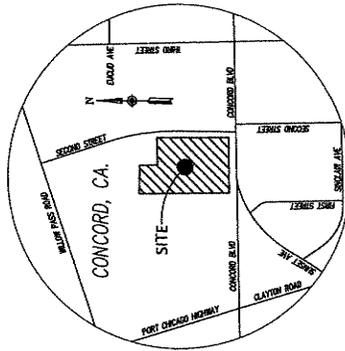
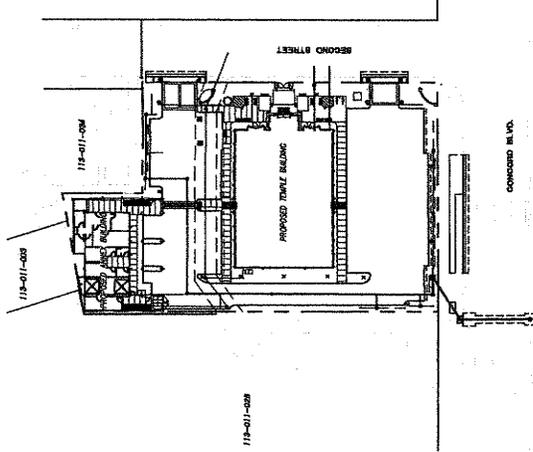
GENERAL NOTES:

- CITY OF CONCORD STANDARD DRAINAGE AND SPECIFICATIONS, SPECIFIC NOTES AND DETAIL DRAWINGS HEREIN AND IN THE GEOGRAPHICAL REPORT, TAKE PRECEDENCE OVER GENERAL DRAWINGS AND PLANS. UNLESS OTHERWISE NOTED, ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CONCORD STANDARD DRAINAGE AND SPECIFICATIONS, SPECIFIC NOTES AND DETAIL DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CONCORD AND THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CONCORD AND THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CONCORD AND THE STATE OF CALIFORNIA.
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- CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES, HAS REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, O.S.H.A., AND INDUSTRIAL ACCIDENT COMMISSION RELATING TO THE SAFETY AND CHARACTER OF WORK, EQUIPMENT, AND LABOR PERSONNEL.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF CONCORD SPECIFICATIONS, AND SHALL BE SUBJECT TO INSPECTION BY THE CITY OF CONCORD ENGINEERING DIVISION.
- THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE REQUIREMENTS OF THE DIVISION OF INDUSTRIAL SAFETY PERTAINING TO "CONFINED SPACES." ANY MANHOLE, DUCT, DRAIN, TUNNEL OR TRENCH (WHICH COULD BE A CONFINED SPACE) SHALL BE PROPERLY VENTILATED, AND SHALL BE CONSIDERED A "CONFINED SPACE."
- CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR PUBLIC WORKS, AMBULANCE, POLICE DEPARTMENT AND THE FIRE DEPARTMENT AT THE JOB SITE.

SHIVA MURUGAN

CULTURAL CENTER

CITY OF CONCORD, CONTRA COSTA COUNTY, CALIFORNIA



SHEET NUMBER	TITLE SHEET & GENERAL NOTES
1	GENERAL NOTES & APPROVALS
2	OVERALL SITE PLAN
3	EXISTING SITE CONDITIONS
4-5	DEMOLITION PLAN
6-7	FINE GRADING PLAN
8-9	LANDSCAPE PLAN
10	CONCRETE DETAILS
11	CROSS SECTIONS
12	STAIRING PLAN

APPLICABLE CITY OF CONCORD STANDARD PLANS

- 5-10 CURB-DUTCH AND SKEWAL
- 5-11 SIDEWALK CURB
- 5-12 SIDEWALK CURB
- 5-13 TRENCH, MANHOLE AND REPAIRS

BENCHMARK

LEVELINGS SHOWN HEREIN ARE BASED UPON CITY OF CONCORD BENCHMARK NO. 11, 2008, LOT "A", ROAD AND AVENUE E.L.M. AT THE ENTRANCE TO THE PARK & SHOP SUPERVISOR CENTER. ELEVATION = 5.71'. CITY OF CONCORD 1000' HORIZONTAL DATUM.

BASES OF BEARINGS

RETURNED TWO HOURS EXISTING STREET ADJUSTMENTS ON EXISTING LOTS TO BE ADJUSTED TO THE PROPOSED LOTS. THE ADJUSTMENTS SHALL BE MADE TO THE PROPOSED LOTS. THE ADJUSTMENTS SHALL BE MADE TO THE PROPOSED LOTS. THE ADJUSTMENTS SHALL BE MADE TO THE PROPOSED LOTS.

ABBREVIATIONS

ABBREVIATION	DESCRIPTION
AD	ASBESTOS CEMENT PIPE
AP	APPROVED
AR	ARMED REINFORCED CONCRETE
AS	ASBESTOS
AV	AVENUE
BL	BLIND
BR	BROWN
BU	BURIED
CA	CONCRETE
CB	CONCRETE BLOCK
CC	CONCRETE CURB
CD	CONCRETE DRAIN
CE	CONCRETE EDGE
CF	CONCRETE FINISH
CG	CONCRETE GROUND
CH	CONCRETE HATCH
CI	CONCRETE INTERIOR
CJ	CONCRETE JUNCTION
CK	CONCRETE KEY
CL	CONCRETE LAYOUT
CM	CONCRETE MASONRY
CO	CONCRETE OUTFLET
CP	CONCRETE PAVEMENT
CQ	CONCRETE QUANTITIES
CR	CONCRETE REINFORCEMENT
CS	CONCRETE SCHEDULE
CT	CONCRETE TYPING
CU	CONCRETE UTILITY
CV	CONCRETE VENT
CW	CONCRETE WALL
CX	CONCRETE X-CURB
CY	CONCRETE Y-CURB
CZ	CONCRETE Z-CURB
DA	DRAINAGE
DB	DRAINAGE BASIN
DC	DRAINAGE CHANNEL
DD	DRAINAGE DUCT
DE	DRAINAGE EDGE
DF	DRAINAGE FINISH
DG	DRAINAGE GROUND
DH	DRAINAGE HATCH
DI	DRAINAGE INTERIOR
DJ	DRAINAGE JUNCTION
DK	DRAINAGE KEY
DL	DRAINAGE LAYOUT
DM	DRAINAGE MASONRY
DN	DRAINAGE OUTLET
DO	DRAINAGE OUTFLET
DP	DRAINAGE PAVEMENT
DQ	DRAINAGE QUANTITIES
DR	DRAINAGE REINFORCEMENT
DS	DRAINAGE SCHEDULE
DT	DRAINAGE TYPING
DU	DRAINAGE UTILITY
DV	DRAINAGE VENT
DW	DRAINAGE WALL
DX	DRAINAGE X-CURB
DY	DRAINAGE Y-CURB
DZ	DRAINAGE Z-CURB
EA	EAST </td
EB	EAST SIDE
EC	EAST SIDE CURB
ED	EAST SIDE DRAIN
EE	EAST SIDE EDGE
EF	EAST SIDE FINISH
EG	EAST SIDE GROUND
EH	EAST SIDE HATCH
EI	EAST SIDE INTERIOR
EJ	EAST SIDE JUNCTION
EK	EAST SIDE KEY
EL	EAST SIDE LAYOUT
EM	EAST SIDE MASONRY
EN	EAST SIDE OUTLET
EO	EAST SIDE OUTFLET
EP	EAST SIDE PAVEMENT
EQ	EAST SIDE QUANTITIES
ER	EAST SIDE REINFORCEMENT
ES	EAST SIDE SCHEDULE
ET	EAST SIDE TYPING
EU	EAST SIDE UTILITY
EV	EAST SIDE VENT
EW	EAST SIDE WALL
EX	EAST SIDE X-CURB
EY	EAST SIDE Y-CURB
EZ	EAST SIDE Z-CURB
FA	FACED
FB	FACED BRICK
FC	FACED CONCRETE
FD	FACED DRAIN
FE	FACED EDGE
FF	FACED FINISH
FG	FACED GROUND
FH	FACED HATCH
FI	FACED INTERIOR
FJ	FACED JUNCTION
FK	FACED KEY
FL	FACED LAYOUT
FM	FACED MASONRY
FN	FACED OUTLET
FO	FACED OUTFLET
FP	FACED PAVEMENT
FQ	FACED QUANTITIES
FR	FACED REINFORCEMENT
FS	FACED SCHEDULE
FT	FACED TYPING
FU	FACED UTILITY
FV	FACED VENT
FW	FACED WALL
FX	FACED X-CURB
FY	FACED Y-CURB
FZ	FACED Z-CURB
GA	GAS
GB	GAS BRICK
GC	GAS CONCRETE
GD	GAS DRAIN
GE	GAS EDGE
GF	GAS FINISH
GG	GAS GROUND
GH	GAS HATCH
GI	GAS INTERIOR
GJ	GAS JUNCTION
GK	GAS KEY
GL	GAS LAYOUT
GM	GAS MASONRY
GN	GAS OUTLET
GO	GAS OUTFLET
GP	GAS PAVEMENT
GQ	GAS QUANTITIES
GR	GAS REINFORCEMENT
GS	GAS SCHEDULE
GT	GAS TYPING
GU	GAS UTILITY
GV	GAS VENT
GW	GAS WALL
GX	GAS X-CURB
GY	GAS Y-CURB
GZ	GAS Z-CURB
HA	HATCH
HB	HATCH BRICK
HC	HATCH CONCRETE
HD	HATCH DRAIN
HE	HATCH EDGE
HF	HATCH FINISH
HG	HATCH GROUND
HH	HATCH HATCH
HI	HATCH INTERIOR
HJ	HATCH JUNCTION
HK	HATCH KEY
HL	HATCH LAYOUT
HM	HATCH MASONRY
HN	HATCH OUTLET
HO	HATCH OUTFLET
HP	HATCH PAVEMENT
HQ	HATCH QUANTITIES
HR	HATCH REINFORCEMENT
HS	HATCH SCHEDULE
HT	HATCH TYPING
HU	HATCH UTILITY
HV	HATCH VENT
HW	HATCH WALL
HX	HATCH X-CURB
HY	HATCH Y-CURB
HZ	HATCH Z-CURB
IA	INTERIOR
IB	INTERIOR BRICK
IC	INTERIOR CONCRETE
ID	INTERIOR DRAIN
IE	INTERIOR EDGE
IF	INTERIOR FINISH
IG	INTERIOR GROUND
IH	INTERIOR HATCH
II	INTERIOR INTERIOR
IJ	INTERIOR JUNCTION
IK	INTERIOR KEY
IL	INTERIOR LAYOUT
IM	INTERIOR MASONRY
IN	INTERIOR OUTLET
IO	INTERIOR OUTFLET
IP	INTERIOR PAVEMENT
IQ	INTERIOR QUANTITIES
IR	INTERIOR REINFORCEMENT
IS	INTERIOR SCHEDULE
IT	INTERIOR TYPING
IU	INTERIOR UTILITY
IV	INTERIOR VENT
IW	INTERIOR WALL
IX	INTERIOR X-CURB
IY	INTERIOR Y-CURB
IZ	INTERIOR Z-CURB
JA	JUNCTION
JB	JUNCTION BRICK
JC	JUNCTION CONCRETE
JD	JUNCTION DRAIN
JE	JUNCTION EDGE
JF	JUNCTION FINISH
JG	JUNCTION GROUND
JH	JUNCTION HATCH
JI	JUNCTION INTERIOR
JJ	JUNCTION JUNCTION
JK	JUNCTION KEY
JL	JUNCTION LAYOUT
JM	JUNCTION MASONRY
JN	JUNCTION OUTLET
JO	JUNCTION OUTFLET
JP	JUNCTION PAVEMENT
JQ	JUNCTION QUANTITIES
JR	JUNCTION REINFORCEMENT
JS	JUNCTION SCHEDULE
JT	JUNCTION TYPING
JU	JUNCTION UTILITY
JV	JUNCTION VENT
JW	JUNCTION WALL
JX	JUNCTION X-CURB
JY	JUNCTION Y-CURB
JZ	JUNCTION Z-CURB
KA	KEY
KB	KEY BRICK
KC	KEY CONCRETE
KD	KEY DRAIN
KE	KEY EDGE
KF	KEY FINISH
KG	KEY GROUND
KH	KEY HATCH
KI	KEY INTERIOR
KJ	KEY JUNCTION
KK	KEY KEY
KL	KEY LAYOUT
KM	KEY MASONRY
KN	KEY OUTLET
KO	KEY OUTFLET
KP	KEY PAVEMENT
KQ	KEY QUANTITIES
KR	KEY REINFORCEMENT
KS	KEY SCHEDULE
KT	KEY TYPING
KU	KEY UTILITY
KV	KEY VENT
KW	KEY WALL
KX	KEY X-CURB
KY	KEY Y-CURB
KZ	KEY Z-CURB
LA	LAYOUT
LB	LAYOUT BRICK
LC	LAYOUT CONCRETE
LD	LAYOUT DRAIN
LE	LAYOUT EDGE
LF	LAYOUT FINISH
LG	LAYOUT GROUND
LH	LAYOUT HATCH
LI	LAYOUT INTERIOR
LJ	LAYOUT JUNCTION
LK	LAYOUT KEY
LL	LAYOUT LAYOUT
LM	LAYOUT MASONRY
LN	LAYOUT OUTLET
LO	LAYOUT OUTFLET
LP	LAYOUT PAVEMENT
LQ	LAYOUT QUANTITIES
LR	LAYOUT REINFORCEMENT
LS	LAYOUT SCHEDULE
LT	LAYOUT TYPING
LU	LAYOUT UTILITY
LV	LAYOUT VENT
LW	LAYOUT WALL
LX	LAYOUT X-CURB
LY	LAYOUT Y-CURB
LZ	LAYOUT Z-CURB
MA	MASONRY
MB	MASONRY BRICK
MC	MASONRY CONCRETE
MD	MASONRY DRAIN
ME	MASONRY EDGE
MF	MASONRY FINISH
MG	MASONRY GROUND
MH	MASONRY HATCH
MI	MASONRY INTERIOR
MJ	MASONRY JUNCTION
MK	MASONRY KEY
ML	MASONRY LAYOUT
MM	MASONRY MASONRY
MN	MASONRY OUTLET
MO	MASONRY OUTFLET
MP	MASONRY PAVEMENT
MQ	MASONRY QUANTITIES
MR	MASONRY REINFORCEMENT
MS	MASONRY SCHEDULE
MT	MASONRY TYPING
MU	MASONRY UTILITY
MV	MASONRY VENT
MW	MASONRY WALL
MX	MASONRY X-CURB
MY	MASONRY Y-CURB
MZ	MASONRY Z-CURB
NA	NOT APPROVED
NB	NOT APPROVED BRICK
NC	NOT APPROVED CONCRETE
ND	NOT APPROVED DRAIN
NE	NOT APPROVED EDGE
NF	NOT APPROVED FINISH
NG	NOT APPROVED GROUND
NH	NOT APPROVED HATCH
NI	NOT APPROVED INTERIOR
NJ	NOT APPROVED JUNCTION
NK	NOT APPROVED KEY
NL	NOT APPROVED LAYOUT
NM	NOT APPROVED MASONRY
NN	NOT APPROVED OUTLET
NO	NOT APPROVED OUTFLET
NP	NOT APPROVED PAVEMENT
NQ	NOT APPROVED QUANTITIES
NR	NOT APPROVED REINFORCEMENT
NS	NOT APPROVED SCHEDULE
NT	NOT APPROVED TYPING
NU	NOT APPROVED UTILITY
NV	NOT APPROVED VENT
NW	NOT APPROVED WALL
NX	NOT APPROVED X-CURB
NY	NOT APPROVED Y-CURB
NZ	NOT APPROVED Z-CURB
OA	OPEN AREA
OB	OPEN AREA BRICK
OC	OPEN AREA CONCRETE
OD	OPEN AREA DRAIN
OE	OPEN AREA EDGE
OF	OPEN AREA FINISH
OG	OPEN AREA GROUND
OH	OPEN AREA HATCH
OI	OPEN AREA INTERIOR
OJ	OPEN AREA JUNCTION
OK	OPEN AREA KEY
OL	OPEN AREA LAYOUT
OM	OPEN AREA MASONRY
ON	OPEN AREA OUTLET
OO	OPEN AREA OUTFLET
OP	OPEN AREA PAVEMENT
OQ	OPEN AREA QUANTITIES
OR	OPEN AREA REINFORCEMENT
OS	OPEN AREA SCHEDULE
OT	OPEN AREA TYPING
OU	OPEN AREA UTILITY
OV	OPEN AREA VENT
OW	OPEN AREA WALL
OX	OPEN AREA X-CURB
OY	OPEN AREA Y-CURB
OZ	OPEN AREA Z-CURB
PA	PAVEMENT
PB	PAVEMENT BRICK
PC	PAVEMENT CONCRETE
PD	PAVEMENT DRAIN
PE	PAVEMENT EDGE
PF	PAVEMENT FINISH
PG	PAVEMENT GROUND
PH	PAVEMENT HATCH
PI	PAVEMENT INTERIOR
PJ	PAVEMENT JUNCTION
PK	PAVEMENT KEY
PL	PAVEMENT LAYOUT
PM	PAVEMENT MASONRY
PN	PAVEMENT OUTLET
PO	PAVEMENT OUTFLET
PP	PAVEMENT PAVEMENT
PQ	PAVEMENT QUANTITIES
PR	PAVEMENT REINFORCEMENT
PS	PAVEMENT SCHEDULE
PT	PAVEMENT TYPING
PU	PAVEMENT UTILITY
PV	PAVEMENT VENT
PW	PAVEMENT WALL
PX	PAVEMENT X-CURB
PY	PAVEMENT Y-CURB
PZ	PAVEMENT Z-CURB
QA	QUANTITIES
QB	QUANTITIES BRICK
QC	QUANTITIES CONCRETE
QD	QUANTITIES DRAIN
QE	QUANTITIES EDGE
QF	QUANTITIES FINISH
QG	QUANTITIES GROUND
QH	QUANTITIES HATCH
QI	QUANTITIES INTERIOR
QJ	QUANTITIES JUNCTION
QK	QUANTITIES KEY
QL	QUANTITIES LAYOUT
QM	QUANTITIES MASONRY
QN	QUANTITIES OUTLET
QO	QUANTITIES OUTFLET
QP	QUANTITIES PAVEMENT
QQ	QUANTITIES QUANTITIES
QR	QUANTITIES REINFORCEMENT
QS	QUANTITIES SCHEDULE
QT	QUANTITIES TYPING
QU	QUANTITIES UTILITY
QV	QUANTITIES VENT
QW	QUANTITIES WALL
QX	QUANTITIES X-CURB
QY	QUANTITIES Y-CURB
QZ	QUANTITIES Z

GENERAL NOTES CONTINUED.

- 6. NOISE-REDUCING CONSTRUCTION AND GRADING OPERATIONS SHALL BE LIMITED TO NEIGHBORS (MUNICIPALITY THROUGH PRIVATE) EXCEPT CITY HOURS AND FROM THE HOURS OF 7:30 P.M. TO 8:00 P.M. ALL EQUIPMENT OPERATIONS SHALL BE LIMITED TO THE HOURS OF 7:30 A.M. TO 5:00 P.M. UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS. ALL NOISE REDUCING MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY AND TO MAINTAIN TRAFFIC CONTROL AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL BEFORE ANY WORK IS PERFORMED IN THE STREET. A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET.

- 10. IT SHALL BE UNDERSTOOD THAT THE TERM "CITY ENGINEER" AS USED HEREIN IS THE CITY ENGINEER OF THE CITY OF CONCORD OR HIS AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL PROVIDE FOR ACCESS AND EGRESS TO ANY PRIVATE PROPERTY ADJACENT TO THE WORK AREA THROUGHOUT THE PERIOD OF CONSTRUCTION. BY THE CONTRACTOR. OPERATIONS ARE REQUIRED FOR WORK WITH PUBLIC RIGHTS OF WAY AND SHALL BE OBTAINED BY THE CONTRACTOR. OPERATIONS ARE REQUIRED FOR WORK WITH PUBLIC RIGHTS OF WAY AND SHALL BE OBTAINED BY THE CONTRACTOR. OPERATIONS ARE REQUIRED FOR WORK WITH PUBLIC RIGHTS OF WAY AND SHALL BE OBTAINED BY THE CONTRACTOR.

- 11. OPERATIONS ARE REQUIRED FOR WORK WITH PUBLIC RIGHTS OF WAY AND SHALL BE OBTAINED BY THE CONTRACTOR. OPERATIONS ARE REQUIRED FOR WORK WITH PUBLIC RIGHTS OF WAY AND SHALL BE OBTAINED BY THE CONTRACTOR. OPERATIONS ARE REQUIRED FOR WORK WITH PUBLIC RIGHTS OF WAY AND SHALL BE OBTAINED BY THE CONTRACTOR.

- 12. OPERATIONS ARE REQUIRED FOR WORK WITH PUBLIC RIGHTS OF WAY AND SHALL BE OBTAINED BY THE CONTRACTOR. OPERATIONS ARE REQUIRED FOR WORK WITH PUBLIC RIGHTS OF WAY AND SHALL BE OBTAINED BY THE CONTRACTOR. OPERATIONS ARE REQUIRED FOR WORK WITH PUBLIC RIGHTS OF WAY AND SHALL BE OBTAINED BY THE CONTRACTOR.

- 13. OPERATIONS ARE REQUIRED FOR WORK WITH PUBLIC RIGHTS OF WAY AND SHALL BE OBTAINED BY THE CONTRACTOR. OPERATIONS ARE REQUIRED FOR WORK WITH PUBLIC RIGHTS OF WAY AND SHALL BE OBTAINED BY THE CONTRACTOR. OPERATIONS ARE REQUIRED FOR WORK WITH PUBLIC RIGHTS OF WAY AND SHALL BE OBTAINED BY THE CONTRACTOR.

- 14. OPERATIONS ARE REQUIRED FOR WORK WITH PUBLIC RIGHTS OF WAY AND SHALL BE OBTAINED BY THE CONTRACTOR. OPERATIONS ARE REQUIRED FOR WORK WITH PUBLIC RIGHTS OF WAY AND SHALL BE OBTAINED BY THE CONTRACTOR. OPERATIONS ARE REQUIRED FOR WORK WITH PUBLIC RIGHTS OF WAY AND SHALL BE OBTAINED BY THE CONTRACTOR.

- 15. OPERATIONS ARE REQUIRED FOR WORK WITH PUBLIC RIGHTS OF WAY AND SHALL BE OBTAINED BY THE CONTRACTOR. OPERATIONS ARE REQUIRED FOR WORK WITH PUBLIC RIGHTS OF WAY AND SHALL BE OBTAINED BY THE CONTRACTOR. OPERATIONS ARE REQUIRED FOR WORK WITH PUBLIC RIGHTS OF WAY AND SHALL BE OBTAINED BY THE CONTRACTOR.

GENERAL NOTES CONTINUED.

- 33. REMOVE CUT AND FILL SLOPES INTO EXISTING CONTOURS TO ACHIEVE A NATURAL EFFECT. IF ANY CONSTRUCTION WORK SHALL BE SCHEDULED AT LEAST WITHIN SEVEN DAYS IN ADVANCE OF COMMENCEMENT OF ANY CONSTRUCTION WORK, THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER, CONTRACTOR, CITY ENGINEER, CONSTRUCTION INSPECTOR OR THEIR AUTHORIZED REPRESENTATIVE. PRIOR TO ISSUANCE OF A GRADING PERMIT FOR EACH PHASE OF THE DEVELOPMENT, THE LANDSCAPE ARCHITECT SHALL PREPARE A LANDSCAPE ARCHITECTURE PLAN THAT SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER. THE PLAN SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. THE PLAN SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.

- 34. THE CONTRACTOR SHALL MAINTAIN A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET. A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET. A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET.

- 35. THE CONTRACTOR SHALL MAINTAIN A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET. A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET. A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET.

- 36. THE CONTRACTOR SHALL MAINTAIN A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET. A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET. A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET.

- 37. THE CONTRACTOR SHALL MAINTAIN A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET. A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET. A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET.

- 38. THE CONTRACTOR SHALL MAINTAIN A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET. A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET. A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET.

- 39. THE CONTRACTOR SHALL MAINTAIN A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET. A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET. A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL, BEFORE ANY WORK IS PERFORMED IN THE STREET.

STORM DRAIN NOTES.

- 1. THE CONTRACTOR SHALL PROVIDE SUFFICIENT PROVISIONS TO PROTECT NEIGHBORS FOR ALL EXCHANGES IN ACCORDANCE WITH LOCAL ORDINANCES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT PROVISIONS TO PROTECT NEIGHBORS FOR ALL EXCHANGES IN ACCORDANCE WITH LOCAL ORDINANCES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT PROVISIONS TO PROTECT NEIGHBORS FOR ALL EXCHANGES IN ACCORDANCE WITH LOCAL ORDINANCES.

TRAFFIC CONTROL NOTES.

- 1. TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "TRAFFIC CONTROL IN CONSTRUCTION AND MAINTENANCE ROAD WORK" BY THE I.T.S. DEPARTMENT OF TRANSPORTATION. TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "TRAFFIC CONTROL IN CONSTRUCTION AND MAINTENANCE ROAD WORK" BY THE I.T.S. DEPARTMENT OF TRANSPORTATION. TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "TRAFFIC CONTROL IN CONSTRUCTION AND MAINTENANCE ROAD WORK" BY THE I.T.S. DEPARTMENT OF TRANSPORTATION.

SEWER UTILITIES INSTALLATION NOTES.

- 1. ALL SEWER UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "SEWER UTILITIES INSTALLATION" BY THE I.T.S. DEPARTMENT OF TRANSPORTATION. ALL SEWER UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "SEWER UTILITIES INSTALLATION" BY THE I.T.S. DEPARTMENT OF TRANSPORTATION. ALL SEWER UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "SEWER UTILITIES INSTALLATION" BY THE I.T.S. DEPARTMENT OF TRANSPORTATION.

CENTRAL COSTA COUNTY FIRE DISTRICT (CCCFD) NOTES.

- 1. THE FIRE DEPARTMENT CONNECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "FIRE DEPARTMENT CONNECTION" BY THE I.T.S. DEPARTMENT OF TRANSPORTATION. THE FIRE DEPARTMENT CONNECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "FIRE DEPARTMENT CONNECTION" BY THE I.T.S. DEPARTMENT OF TRANSPORTATION. THE FIRE DEPARTMENT CONNECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "FIRE DEPARTMENT CONNECTION" BY THE I.T.S. DEPARTMENT OF TRANSPORTATION.

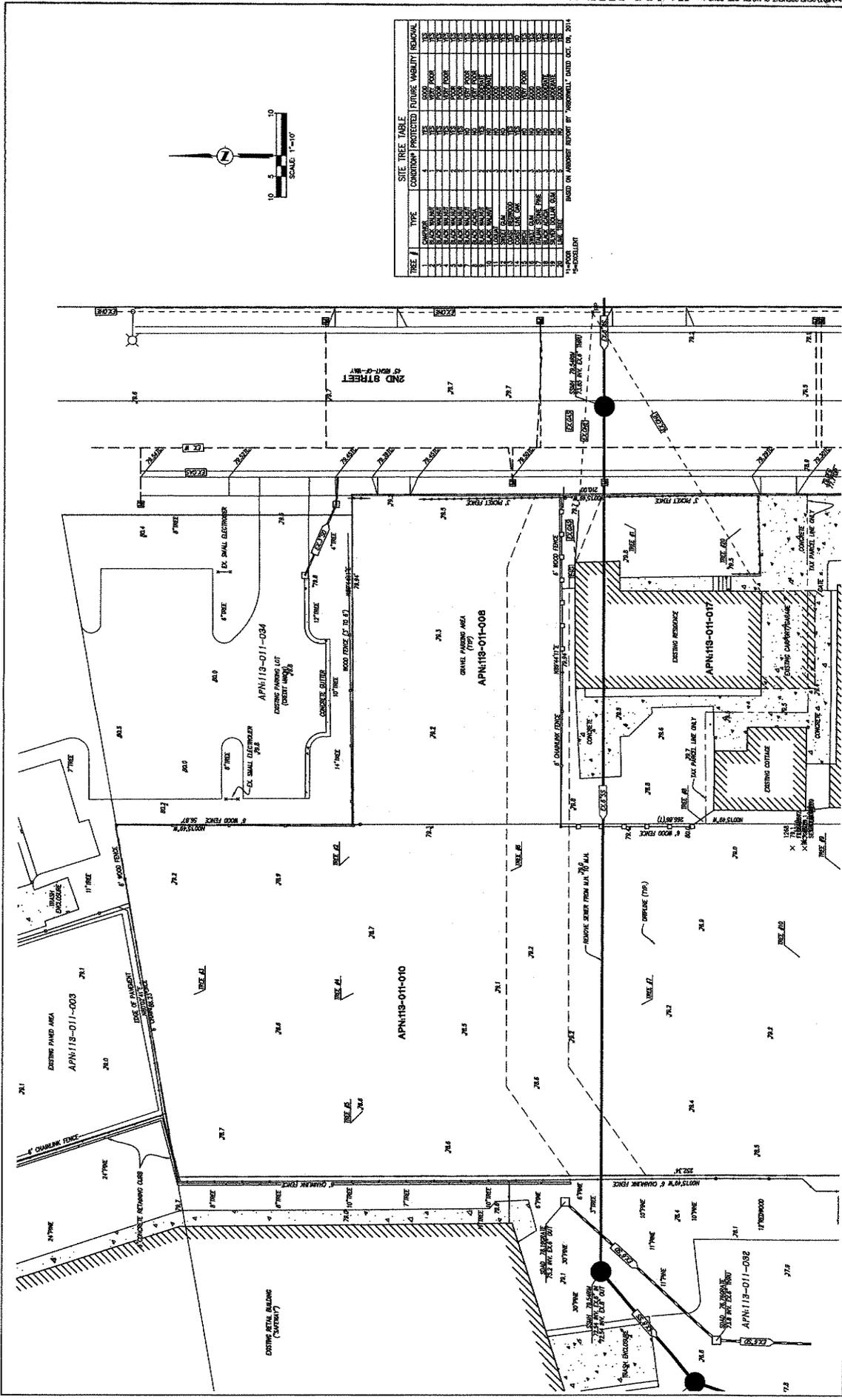
REVIEW COPY SUBJECT TO REVISION NOT FINAL

Table with columns: REVISIONS, NO., DATE, BY, APP, DATE, SHEET. Includes revision details for the project.

Professional Engineer Seal for Shiva Murugan, License No. 13, State of California.

SHIVA MURUGAN CULTURAL CENTER NOTES & APPROVALS CONTRA COSTA COUNTY

MILANI & Associates Land Development Engineering, 2520 Samuel Davis, Suite 250, Concord, CA 94502.



SITE TREE TABLE
 CONDITION PROTECTED FUTURE VIABILITY REMOVAL

TREE #	TYPE	CONDITION	PROTECTED	FUTURE VIABILITY	REMOVAL
1	SMALL TREE	GOOD	YES	NO	NO
2	SMALL TREE	GOOD	YES	NO	NO
3	SMALL TREE	GOOD	YES	NO	NO
4	SMALL TREE	GOOD	YES	NO	NO
5	SMALL TREE	GOOD	YES	NO	NO
6	SMALL TREE	GOOD	YES	NO	NO
7	SMALL TREE	GOOD	YES	NO	NO
8	SMALL TREE	GOOD	YES	NO	NO
9	SMALL TREE	GOOD	YES	NO	NO
10	SMALL TREE	GOOD	YES	NO	NO
11	SMALL TREE	GOOD	YES	NO	NO
12	SMALL TREE	GOOD	YES	NO	NO
13	SMALL TREE	GOOD	YES	NO	NO
14	SMALL TREE	GOOD	YES	NO	NO
15	SMALL TREE	GOOD	YES	NO	NO
16	SMALL TREE	GOOD	YES	NO	NO
17	SMALL TREE	GOOD	YES	NO	NO
18	SMALL TREE	GOOD	YES	NO	NO
19	SMALL TREE	GOOD	YES	NO	NO
20	SMALL TREE	GOOD	YES	NO	NO
21	SMALL TREE	GOOD	YES	NO	NO
22	SMALL TREE	GOOD	YES	NO	NO
23	SMALL TREE	GOOD	YES	NO	NO
24	SMALL TREE	GOOD	YES	NO	NO
25	SMALL TREE	GOOD	YES	NO	NO
26	SMALL TREE	GOOD	YES	NO	NO
27	SMALL TREE	GOOD	YES	NO	NO
28	SMALL TREE	GOOD	YES	NO	NO
29	SMALL TREE	GOOD	YES	NO	NO
30	SMALL TREE	GOOD	YES	NO	NO
31	SMALL TREE	GOOD	YES	NO	NO
32	SMALL TREE	GOOD	YES	NO	NO
33	SMALL TREE	GOOD	YES	NO	NO
34	SMALL TREE	GOOD	YES	NO	NO
35	SMALL TREE	GOOD	YES	NO	NO
36	SMALL TREE	GOOD	YES	NO	NO
37	SMALL TREE	GOOD	YES	NO	NO
38	SMALL TREE	GOOD	YES	NO	NO
39	SMALL TREE	GOOD	YES	NO	NO
40	SMALL TREE	GOOD	YES	NO	NO
41	SMALL TREE	GOOD	YES	NO	NO
42	SMALL TREE	GOOD	YES	NO	NO
43	SMALL TREE	GOOD	YES	NO	NO
44	SMALL TREE	GOOD	YES	NO	NO
45	SMALL TREE	GOOD	YES	NO	NO
46	SMALL TREE	GOOD	YES	NO	NO
47	SMALL TREE	GOOD	YES	NO	NO
48	SMALL TREE	GOOD	YES	NO	NO
49	SMALL TREE	GOOD	YES	NO	NO
50	SMALL TREE	GOOD	YES	NO	NO

BASED ON AMBIENT REPORT BY "MORROW" DATED OCT. 09, 2014
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DESIGNED UNDER THE DIRECTION OF
 MICHAEL E. MILANI
 P.O. BOX 38117
 CONCORD, CA 94520
 PHONE: (925) 874-8778
 FAX: (925) 874-8778
 WWW: www.milaniassociates.com

DEVELOPMENT PLAN
 SHIVA MURUGAN
 CULTURAL CENTER
 EXISTING SITE CONDITIONS
 CONTRA COSTA COUNTY
 CITY OF CONCORD

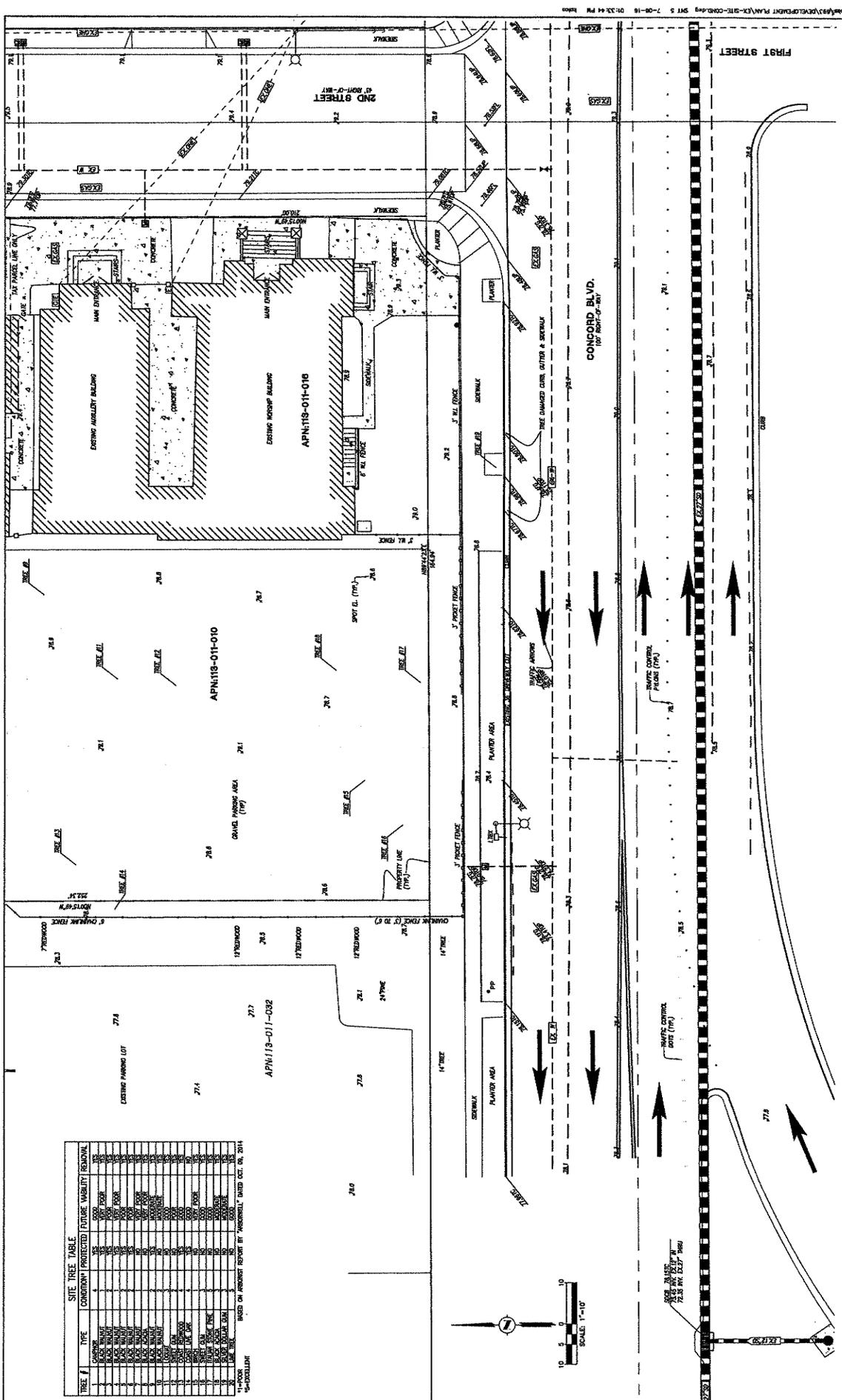
1803 SECOND STREET

2350 Shawell Drive, Suite 200
 Concord, CA 94520
 Phone: (925) 874-8778
 Fax: (925) 874-8778
 Web: www.milaniassociates.com

MILANI
 & Associates
 Surveying & Mapping
 Land Development Engineering
 Municipal Engineering
 Construction Management

NO. REVISIONS BY APP DATE SHEET
 4 OF 13 SHEETS

TREE #	TYPE	CONDITION	PROTECTED	FUTURE	VIABILITY	REMOVAL
1
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MILANI & Associates
 Planning & Mapping
 Land Development Engineering
 Municipal Engineering
 Construction Staging
 Construction Management

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 Fax: (925) 674-4072
 Web: www.milaniconsulting.com

SHIVA MURUGAN CULTURAL CENTER
 EXISTING SITE CONDITIONS

1000 SECOND STREET
 CITY OF CONCORD
 CONTRA COSTA COUNTY, CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. JULIAN
 R.C.E. No. 3913 (REGISTRATION EXP. 8-30-17)
 DESIGN: MSA
 CHECKED: MSA
 SCALE: 1/8" = 1' 0"

DATE: JULY 2014

5 OF 13 SHEETS

SITE TREE TABLE

TREE #	TYPE	CONTOUR	PROTECTED	FUTURE	VARIETY	REMOVAL
1	1" TREE	10			WALNUT	X
2	1" TREE	10			WALNUT	X
3	1" TREE	10			WALNUT	X
4	1" TREE	10			WALNUT	X
5	1" TREE	10			WALNUT	X
6	1" TREE	10			WALNUT	X
7	1" TREE	10			WALNUT	X
8	1" TREE	10			WALNUT	X
9	1" TREE	10			WALNUT	X
10	1" TREE	10			WALNUT	X
11	1" TREE	10			WALNUT	X
12	1" TREE	10			WALNUT	X
13	1" TREE	10			WALNUT	X
14	1" TREE	10			WALNUT	X
15	1" TREE	10			WALNUT	X
16	1" TREE	10			WALNUT	X
17	1" TREE	10			WALNUT	X
18	1" TREE	10			WALNUT	X
19	1" TREE	10			WALNUT	X
20	1" TREE	10			WALNUT	X
21	1" TREE	10			WALNUT	X
22	1" TREE	10			WALNUT	X
23	1" TREE	10			WALNUT	X
24	1" TREE	10			WALNUT	X
25	1" TREE	10			WALNUT	X
26	1" TREE	10			WALNUT	X
27	1" TREE	10			WALNUT	X
28	1" TREE	10			WALNUT	X
29	1" TREE	10			WALNUT	X
30	1" TREE	10			WALNUT	X
31	1" TREE	10			WALNUT	X
32	1" TREE	10			WALNUT	X
33	1" TREE	10			WALNUT	X
34	1" TREE	10			WALNUT	X
35	1" TREE	10			WALNUT	X
36	1" TREE	10			WALNUT	X
37	1" TREE	10			WALNUT	X
38	1" TREE	10			WALNUT	X
39	1" TREE	10			WALNUT	X
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47	1" TREE	10			WALNUT	X
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51	1" TREE	10			WALNUT	X
52	1" TREE	10			WALNUT	X
53	1" TREE	10			WALNUT	X
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57	1" TREE	10			WALNUT	X
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74	1" TREE	10			WALNUT	X
75	1" TREE	10			WALNUT	X
76	1" TREE	10			WALNUT	X
77	1" TREE	10			WALNUT	X
78	1" TREE	10			WALNUT	X
79	1" TREE	10			WALNUT	X
80	1" TREE	10			WALNUT	X
81	1" TREE	10			WALNUT	X
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84	1" TREE	10			WALNUT	X
85	1" TREE	10			WALNUT	X
86	1" TREE	10			WALNUT	X
87	1" TREE	10			WALNUT	X
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89	1" TREE	10			WALNUT	X
90	1" TREE	10			WALNUT	X
91	1" TREE	10			WALNUT	X
92	1" TREE	10			WALNUT	X
93	1" TREE	10			WALNUT	X
94	1" TREE	10			WALNUT	X
95	1" TREE	10			WALNUT	X
96	1" TREE	10			WALNUT	X
97	1" TREE	10			WALNUT	X
98	1" TREE	10			WALNUT	X
99	1" TREE	10			WALNUT	X
100	1" TREE	10			WALNUT	X

BASED ON AIRBORNE REPORT BY "NATIONAL UNITED INC. 08. 2014"

DEMOLITION LEGEND

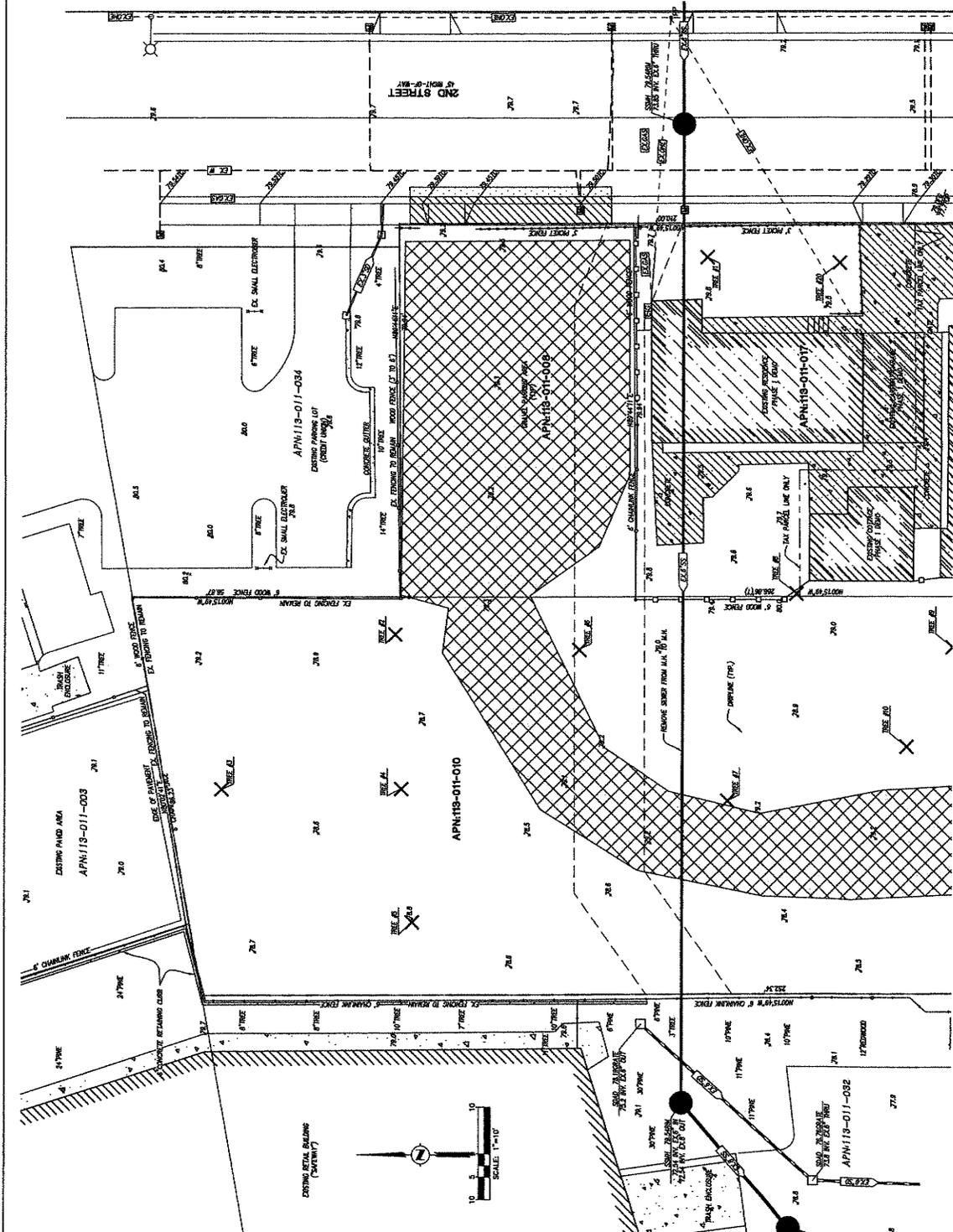
- X EXISTING TREE TO BE REMOVED
- [Diagonal lines] EXISTING CONCRETE TO BE REMOVED
- [Cross-hatch] EXISTING GRASS TO BE REMOVED
- [Dotted] EXISTING PAVEMENT TO BE REMOVED
- [Vertical lines] EXISTING FENCE TO BE REMOVED
- [Horizontal lines] EXISTING BRICK TO BE REMOVED

DEMOLITION NOTES

1. EXISTING SITE GRASSES TO BE REMOVED EXCEPT AS NOTED.
2. EXISTING SITE TREES TO BE DEMOLISHED EXCEPT AS NOTED.

DEMOLITION QUANTITIES

- REMOVING REMOVAL (INCLUDING CAR PORT) 5,000 SF
- REMOVING REMOVAL 2,000 SF
- REMOVING REMOVAL 4,000 SF
- REMOVING REMOVAL 8,000 SF
- REMOVING REMOVAL 20 TOTAL
- REMOVING REMOVAL 180 LF
- REMOVING REMOVAL 180 LF
- REMOVING REMOVAL 40 LF
- REMOVING REMOVAL 100 LF
- REMOVING REMOVAL 200 LF



SHIVA MURUGAN CULTURAL CENTER DEMOLITION & TREE REMOVAL PLAN

1803 SECOND STREET CITY OF CONCORD CONTRA COSTA COUNTY CALIFORNIA

DESIGNED UNDER THE DIRECTION OF: MICHAEL E. MILANI, P.E. No. 9111 REGISTRATION NUMBER 8-26-17

DATE: _____ JOB NO. 093 DESIGN: M.E.M. CHECKED: M.E.M. SCALE: 1"=10' SHEET 6 OF 13

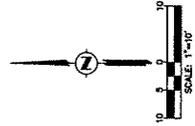
2530 Diamond Drive, Suite 250 Concord, CA 94520 Phone: (925) 339-8822 Fax: (925) 339-8278 Web: www.milaniassociates.com

MILANI & Associates
 Surveying & Mapping
 Land Development Engineering
 Municipal Engineering
 Construction Staking
 Construction Management

SITE TREE TABLE

TREE #	TYPE	CONSTRAINT	PROTECTED	FUTURE	VARIABILITY	REMOVAL
1
2
3
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BASED ON ARBORIST REPORT BY "MORROWELL" DATED OCT. 10, 2014
 1-2-2014
 1-2-2014



DEMOLITION LEGEND

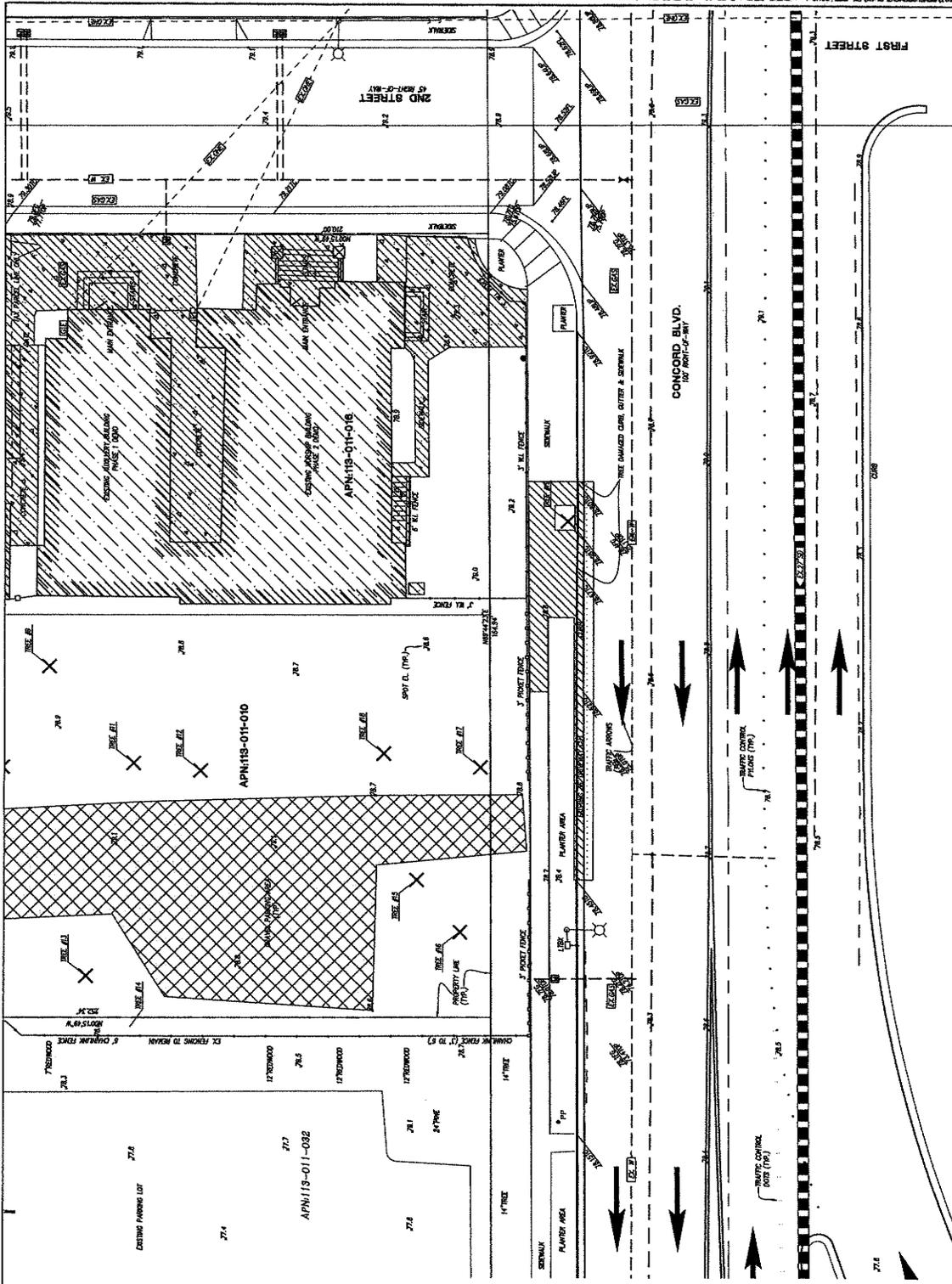
- X EXISTING TREE TO BE REMOVED
- [Diagonal hatching] EXISTING CONCRETE TO BE REMOVED
- [Cross-hatching] EXISTING CHALK TO BE REMOVED
- [Dotted pattern] EXISTING PAINTBOY TO BE REMOVED
- [Horizontal hatching] EXISTING BRICKS TO BE REMOVED

DEMOLITION NOTES

1. EXISTING SITE UTILITIES TO BE DEMOLISHED EXCEPT AS NOTED.
2. EXISTING SITE SIGN FENCING TO BE DEMOLISHED EXCEPT AS NOTED.

DEMOLITION QUANTITIES

- BRICKS REMOVAL (INCLUDING CURB PART) 4,500 SF
- CONCRETE REMOVAL 4,350 SF
- AS PHASIDRY REMOVAL 250 SF
- CHALK REMOVAL 8,000 SF
- TOTAL 17,100 SF
- PAINTBOY REMOVAL 191 LF
- 1" CHALKING BRICK REMOVAL 40 LF
- RECENT ASPH FENCE REMOVAL 150 LF



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 Concord, CA 94520
 Phone: (925) 874-5275
 Fax: (925) 874-5276
 Web: www.milaniamobile.com

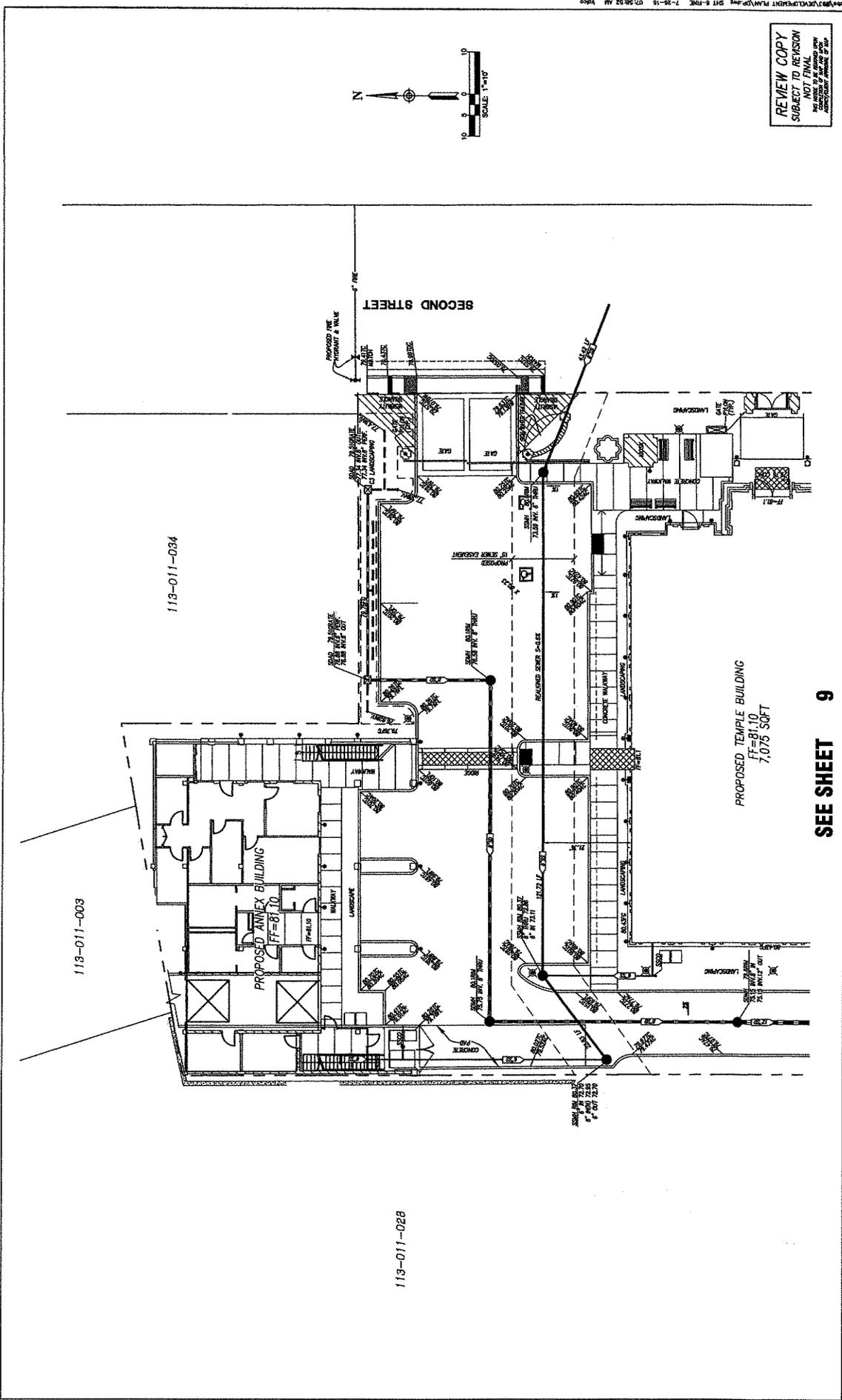
MILANI
 & Associates
 Land Development Engineering
 Municipal Engineering
 Construction Management

1803 SECOND STREET
 SHIVA MURUGAN
 CULTURAL CENTER
 DEMOLITION & TREE REMOVAL PLAN
 CONTRA COSTA COUNTY
 CITY OF CONCORD

DEVELOPMENT PLAN
 REVISIONS UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 A.C.E.P. No. 3117 (REGISTRATION NUMBER E-2817)
 DESIGN: M.E. MILANI
 CHECKED: M.E. MILANI
 DATE: JULY 2015
 SCALE:

NO.	REVISIONS	BY	APP	DATE
7				

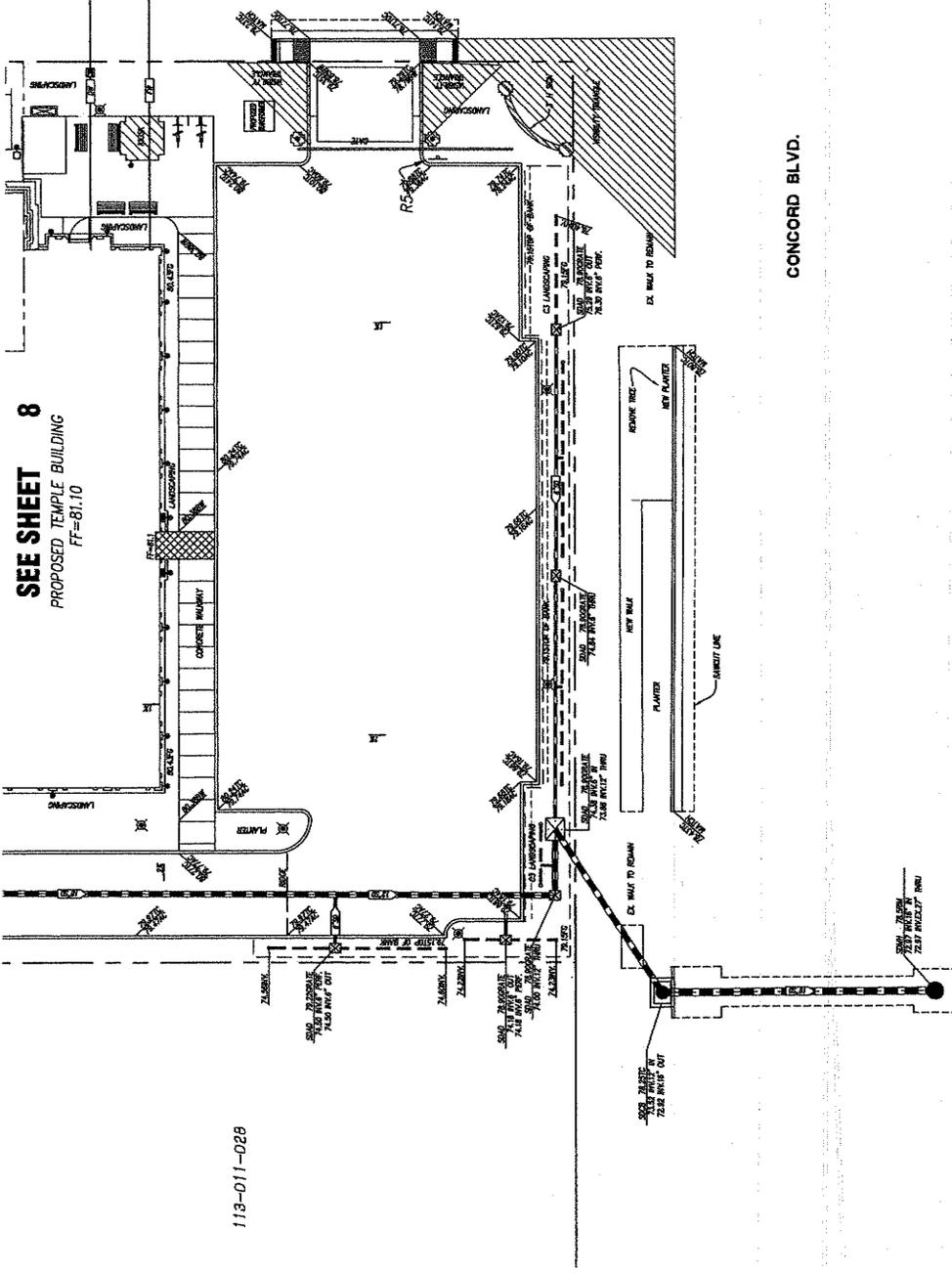
7 OF 13 SHEETS



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Planning & Mapping Surveying & Mapping Land Development Engineering Architectural Engineering Construction Management	 MILANI & Associates	2520 Stewart Drive, Suite 250 Concord, CA 94520 Phone: (925) 671-4800 Fax: (925) 671-8278 Web: www.milaniamc.com	1683 SECOND STREET CITY OF CONCORD CALIFORNIA	SHIVA MURUGAN CULTURAL CENTER SITE PLAN	DEVELOPMENT PLAN 9	DESIGNED UNDER THE DIRECTION OF ARCHITECT: S. MILANI P.E. No. 3713 (RESUBMITTAL LICENSE 8-20-11) DRAWN: MS CHECKED: MSB SCALE: 1" = 10'		REVISIONS NO. BY DATE 8	SHEET 13 OF
			113-011-003 113-011-028 113-011-034						

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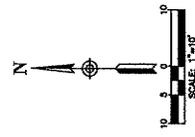


SEE SHEET 8
 PROPOSED TEMPLE BUILDING
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113-011-028

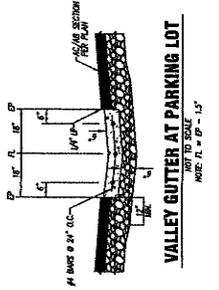
CONCORD BLVD.

SECOND STREET

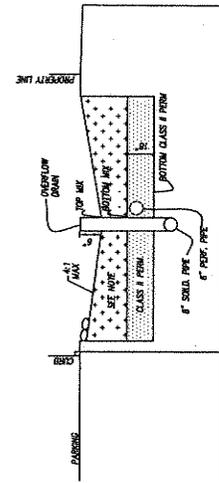


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Planning & Mapping Land Development Engineering Municipal Engineering Construction Management	 MILANI & Associates	2530 Bennett Drive, Suite 200 Concord, CA 94520 Phone: (925) 674-8888 Fax: (925) 674-8771 Web: www.milaniland.com	CITY OF CONCORD CONTRA COSTA COUNTY CALIFORNIA	DEVELOPMENT PLAN SHIVA MURUGAN CULTURAL CENTER SITE PLAN	DESIGNED UNDER THE DIRECTION OF: MICHAEL E. MILANI P.E. No. 51511 REGISTRATION NUMBER 8-30-17 DESIGN: ERM CHECKED: MRA SCALE: 1" = 12'		NO.	REVISIONS	BY	APP	DATE	SHEET
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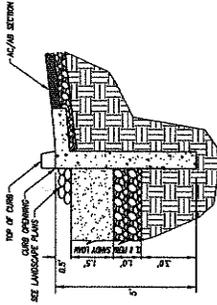


VALLEY GUTTER AT PARKING LOT
NOT TO SCALE
NOTE: 1/4" = 1'-0"

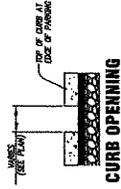


TYPICAL BIO-SWALE SECTION
N.T.S.

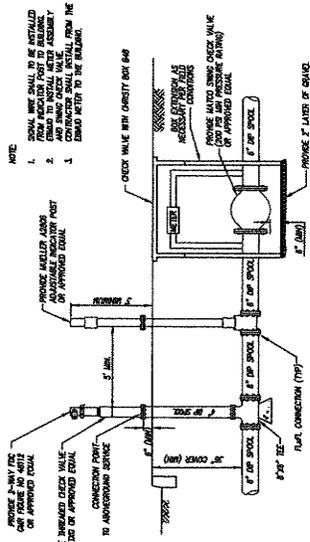
NOTE:
1. SWALE SHALL MEET REQUIREMENTS OF THE CONTRA COSTA COUNTY
UNIFORM DEVELOPMENT ORDINANCE, SECTION 17.04.010
APPENDIX B



CURB DETAIL AT C3 PLANTER
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(SEE PLAN FOR LOCATION)



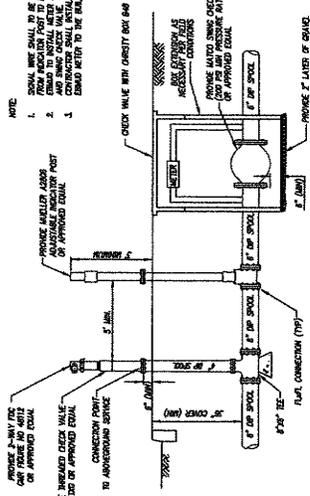
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CV / PIV / FDC ASSEMBLY DETAIL
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NOTE:

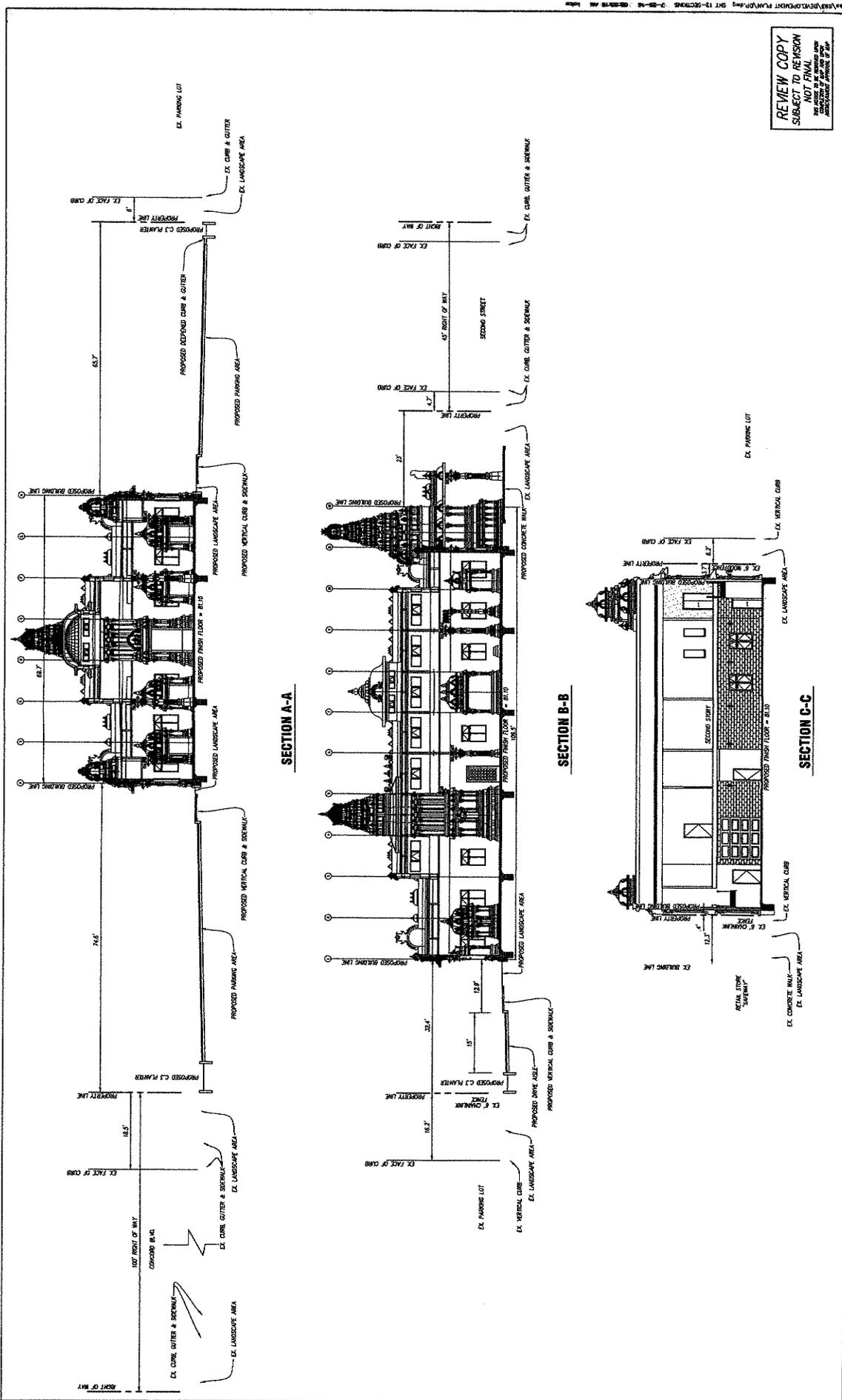
1. ALL METALS SHALL BE INSTALLED FROM MANUFACTURER'S RECOMMENDATIONS.
2. ALL METALS SHALL BE INSTALLED FROM MANUFACTURER'S RECOMMENDATIONS.
3. ALL METALS SHALL BE INSTALLED FROM MANUFACTURER'S RECOMMENDATIONS.



TYPICAL RAMP DETAIL
NOT TO SCALE

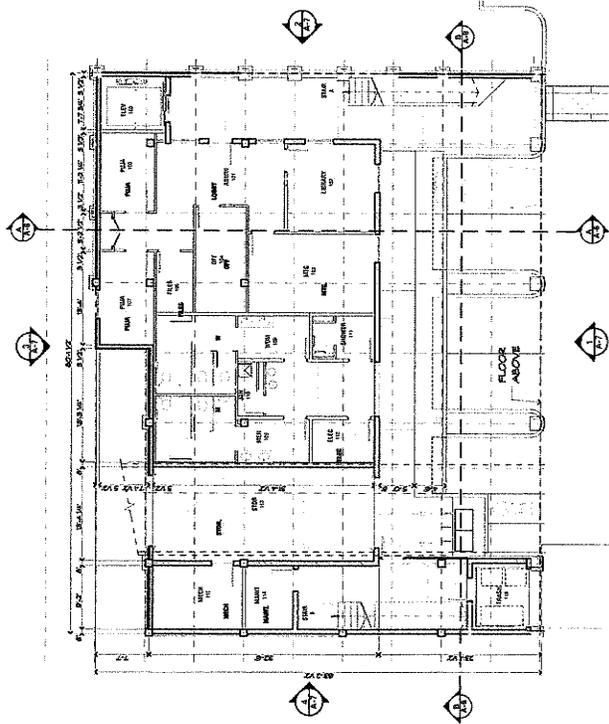
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	DESIGNED UNDER THE DIRECTION OF	DEVELOPMENT PLAN	NO.	REVISIONS	BY	DATE	SHEET
	MICHAEL E. NOLAN LICENSE NO. 36117 (REGISTRATION EXPIRES 6-30-17) CIVIL ENGINEER STATE OF CALIFORNIA CHECKED: MSA SCALE: AS SHOWN	1803 SECOND STREET	SHIVA MURUGAN CULTURAL CENTER MISC. DETAILS				
	CITY OF CONCORD	CONTRA COSTA COUNTY	CALIFORNIA				13
Planning & Mapping Land Development Engineering Municipal Engineering Construction Management	2350 Rimwell Drive, Suite 250 Concord, CA 94503 Phone: (925) 674-8278 Fax: (925) 674-8279 Web: www.milanonline.com						

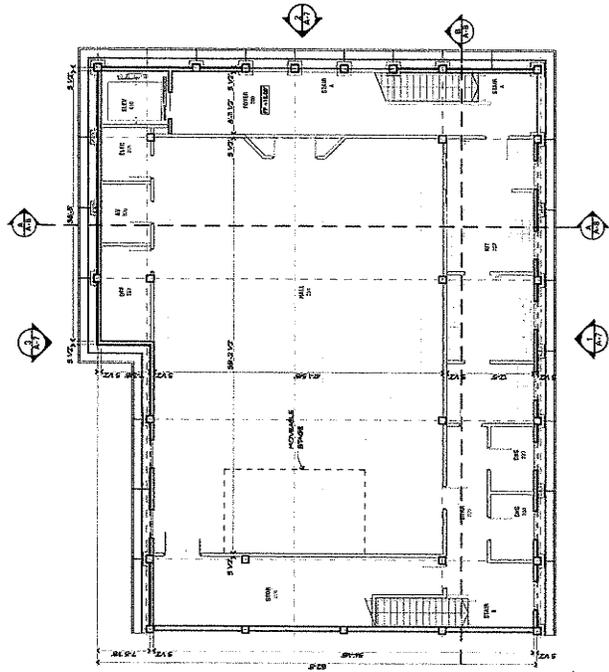


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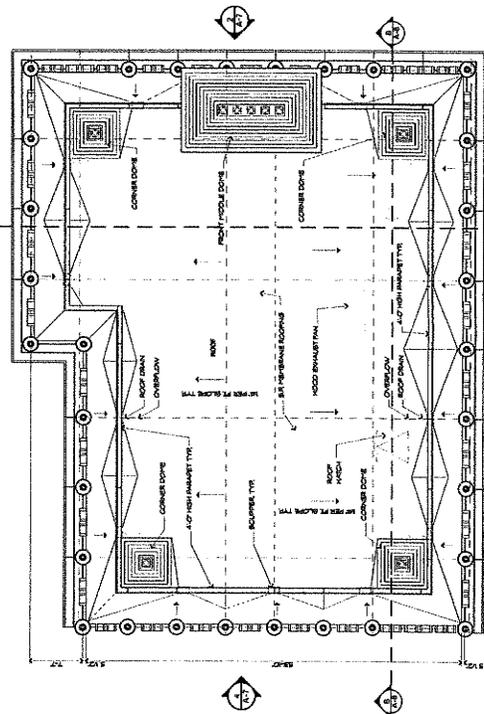
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						12
DEVELOPMENT PLAN SHIVA MURUGAN CULTURAL CENTER CROSS SECTIONS CONTRA COSTA COUNTY CITY OF CONCORD						
DESIGNED UNDER THE DIRECTION OF: MICHAEL E. MILANI P.E. No. 3111 REGISTRATION NUMBER 8-88-17 DESIGN: DVA CHECKED: MRM DATE: MAY 2016 JOB NO. 693 SCALE: 1" = 12'-0"						
2250 Diamond Drive, Suite 250 Concord, CA 94520 Phone: (925) 771-8888 Fax: (925) 774-8278 Web: www.milaniamilani.com						
Planning & Mapping Land Development Engineering Municipal Engineering Surveying Construction Management						



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



3 ROOF PLAN
SCALE: 1/8" = 1'-0"

PROPOSED NEW BUILDINGS
SHIVA MURUGAI
CULTURAL CENTER
1803 SECOND ST.
CONCORD, CA 94519



Author: Shiva Murugai
www.skl.com
SKL Architects, Inc.
10001
1803 SECOND ST.
CONCORD, CA 94519

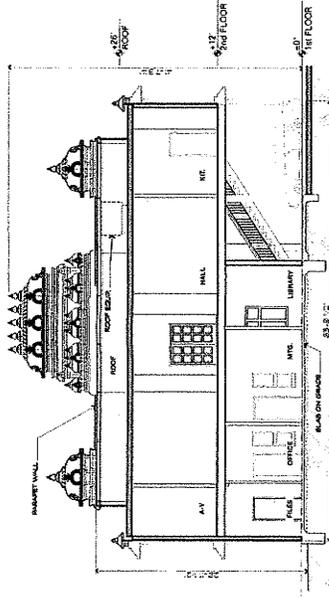
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DATE	REVISION

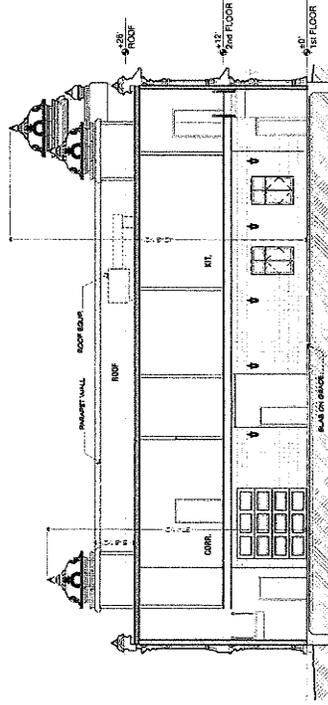
FLOOR PLANS -
ANNEX

PROJECT NO. 1007
PROJECT TITLE: 1803
DATE: 07/11/19
SCALE: 1/8" = 1'-0"
DRAWN BY: JLM
CHECKED BY: JLM
DATE: 07/11/19
SCALE: 1/8" = 1'-0"
PROJECT LOCATION: 1803 SECOND ST., CONCORD, CA 94519
PROJECT ARCHITECT: SKL ARCHITECTS, INC.

A-2



1 SECTION A-A
SCALE 1/4" = 1'-0"



2 SECTION B-B
SCALE 1/4" = 1'-0"

PROJECT NO.	1000
DATE	05/12/10
SCALE	AS SHOWN
DATE	05/12/10
SCALE	AS SHOWN
DATE	05/12/10
SCALE	AS SHOWN

ANNEX SECTIONS

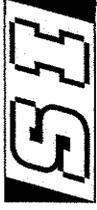
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PRELIMINARY
SUBJECT TO CHANGE
USE PERMIT APPLICATION
SEAL FOR

Author: [Name] / [Title]
[Company Name]
[Address]
[City, CA]



PROPOSED NEW BUILDINGS
SHIYA MURUGAI
CULTURAL CENTER
1803 SECOND ST.
CONCORD, CA 94519



STERLING INNOVATIONS LLC
8950 W. OLYMPIC BLVD., #420
BEVERLY HILLS, CA. 90211

WWW.STERLINGINNOVATIONS.NET

SITE PHOTOMETRY PLAN

PROJECT:
SMCC - Concord

DWG. NO. S1100415-R2A

SCALE N/A

SHEET

SIZE FSCM NO.

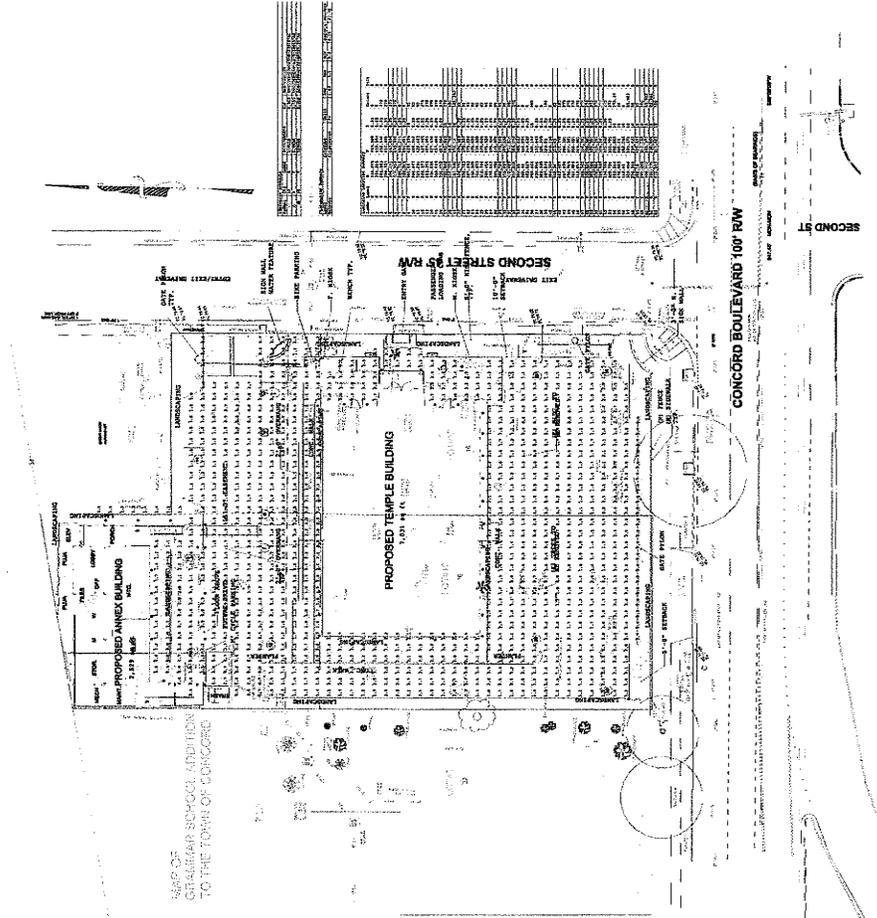
DRAWN BY: RSB

REVISIONS

REV. DATE BY

NOTES:

LP-1



BASED ON THE INFORMATION PROVIDED BY THE CLIENT, THE ENGINEER HAS CONDUCTED VISUAL VERIFICATION OF THE BUILDING AND LUMINAIRE LAYOUT. THE ENGINEER HAS CONDUCTED VISUAL VERIFICATION OF THE BUILDING AND LUMINAIRE LAYOUT. THE ENGINEER HAS CONDUCTED VISUAL VERIFICATION OF THE BUILDING AND LUMINAIRE LAYOUT.

Based on the information provided, all dimensions and luminaire locations shown represent recommended placement and luminaire orientation. The engineer on/for architect must determine applicability of the layout to relevant field conditions. The depicted illumination results are based upon illumination measurements as calculated by an independent laboratory. Luminaire characteristics data was measured under controlled conditions. In accordance with approved Illuminating Engineering Society (IES) photometric data, any variations in luminaire characteristics may vary from laboratory test results due to variations in electrical voltage, ambient temperature, and other site-specific conditions.

This photometric analysis may be based on the data files that were provided or recommended by the manufacturer or product reader and that it is beyond the control of the creator of this report to ensure that the data files utilized in this report represent the actual product provided. Due to this fact, the creator of this report makes no expressed or implied warranty that the results of this report will occur at the project site. If existing luminaires are included in this report, their illumination characteristics are based upon a combination of customer provided specifications and our best estimations. Due to this fact, the resulting footcandle accuracy may be compromised.

With the one exception of the gagepole ramp, the footcandle readings on this report depict all of the readings as being on the same vertical plane. If the site contains multiple elevations, please notify Sterling Innovations LLC and request an updated report that includes the additional elevation based photometry. This plan is based on an original non-scaled CAD drawing. By virtue of that fact, the scale of the drawing will have been compromised and thus the resulting figures and calculations on this document will also be compromised.

**PARKING ANALYSIS
FOR THE PROPOSED**

**SHIVA MURUGAN
CULTURAL CENTER
REBUILDING PROJECT
CONCORD, CA**

July 27, 2016 Update

Prepared by:
Omni-Means, Ltd.
Engineers & Planners
1901 Olympic Blvd., Suite 120
Walnut Creek, CA 94596

R2146TIA004 / 35-2272-45



**SHIVA MURUGAN CULTURAL CENTER REBUILDING PROJECT
PARKING ANALYSIS**

PREPARED FOR:

THE CITY OF CONCORD

July 27, 2016 Update

PREPARED BY:

**OMNI-MEANS, LTD.
ENGINEERS & PLANNERS
1901 OLYMPIC BOULEVARD, SUITE 120
WALNUT CREEK, CALIFORNIA 94596
(925) 935-2230
www.omnimeans.com**

**35-2272-45
(R2146TIA004.DOC)**

1. INTRODUCTION

This report presents the findings of a focused parking and circulation analysis conducted for the proposed Shiva Murugan Temple Cultural Center reconstruction project at 1803 Second Street in the City of Concord, CA. The proposed project would consist of replacing the existing temple building with a new temple building, annex building, and provide 47 paved off-street automobile parking spaces. The analysis consisted of parking demand surveys of existing conditions at the project site as well as the surrounding street network. The project's demand was compared to the City's zoning regulations as well as the survey findings in order to determine if the project demand would be accommodated.

Based on discussions with City Planning and Transportation Engineering staff, the issues for this development relate to the project's net vehicle parking demand and supply as follows:

- Existing parking supply and demand and net change in parking with the proposed project.
- Parking conditions associated with typical daily use and special events.
- Compliance with Concord Municipal Code parking space requirements.
- Project parking lot access, onsite circulation, and parking plan layout.

The project vicinity is shown in Figure 1.

2. EXECUTIVE SUMMARY

Parking surveys were conducted to identify the existing temple demand in the temple's existing onsite parking lot as well as offsite demand in public street spaces and private off-street parking lots for typical days and during a special event. The existing temple provides approximately 11 unstriped onsite spaces for typical days. The existing temple was found to have a peak demand of 23 vehicles (10 onsite + 13 offsite) for a typical weekday and up to 38 vehicles for a typical weekend (11 onsite + 27 offsite). The new parking lot with 47 automobile spaces would accommodate all temple parking demand for typical days, which reflects conditions most of the time. The new parking lot would beneficially eliminate the need to park offsite. The temple anticipates an increase of five percent in future attendance growth with the project. Based on this projection, peak parking demand would increase to 24 vehicles on weekdays and 40 vehicles on the weekend, which would also be accommodated onsite.

The proposed parking supply of 47 automobile spaces was compared to the City of Concord's Municipal Zoning Code requirements. The project site is located within the BART Transit Station Overlay District which allows a 25% reduction from base code levels. The base code requirement for the project would be 47 spaces without the transit district reduction. Therefore, the project requires 35 spaces with the transit district reduction. The project site will provide 12 spaces more than the code requirement. In light of the surplus parking supply onsite, the City of Concord will provide a credit of 12 spaces to be applied to special event offsite parking demand.

The temple holds 10 special events per year, with one special event occurring on two days, for a total of 11 special event days per year. Parking surveys were conducted during the temple's highest parking demand event (Thaipusam Festival). The surveys found the parking demand to be contained within one block of the temple site, consisting of the temple parking lot and the Western Federal Credit Union parking lots on Second Street (which the temple has permission to use), but also occupied all of the street spaces on Second Street between Willow Pass Road and Concord Boulevard and ten vehicles were observed in the Safeway parking lot west of the temple.

Accounting for potential future attendance growth of five percent and the offsite parking demand credit, the highest special event parking demand is calculated to be 130 spaces (47 onsite + 83 offsite). (All of the other special events would have lower parking demand.)

In order to accommodate the maximum offsite parking demand of 83 spaces, the project applicants have submitted a Transportation Demand Management (TDM) Plan to the City of Concord to address parking on special event days, which we have reviewed. The TDM Plan adequately addresses special event parking by providing up to 90 off-street parking spaces at two locations with shuttle service; providing onsite traffic control personnel; providing directional parking signs at the temple and offsite locations; and providing parking instructions on the temple's website and in email announcements to Temple members prior to events.

The proposed site plan was evaluated for vehicle circulation. The design would provide adequate vehicle circulation for attendee's vehicles and garbage service trucks.



Project Site Vicinity



omni-means



figure 1

3. EXISTING PARKING CONDITIONS

EXISTING PARKING SUPPLY

The project site is located on the west side of Second Street at the corner of Concord Boulevard. The existing onsite parking supply consists of an unpaved/unstriped area accessed via a single driveway on the north side of the temple which can accommodate approximately 10 vehicles. One additional space is provided by a driveway to a garage on the temple property fronting Second Street. There is an additional gated unpaved area on the west side of the temple that can be made available for the special events which can accommodate approximately 35 vehicles. Therefore, the existing onsite supply consists of approximately 11 spaces with unrestricted access and approximately 46 total spaces including the gated area.

The temple has recently renewed contractual agreements to use parking spaces provided at two off-site locations. These include a written agreement to use all available parking spaces provided in two nearby Western Federal Credit Union parking lots located on Second Street during non-business hours (weekday evenings and on weekends), which provide up to 40 spaces. The temple also has a written agreement for a minimum of 50 parking spaces at the First Lutheran Church located at 4000 Concord Boulevard. The temple also has access to a gated undeveloped lot on Third Street.

Parking surveys were conducted of public street spaces within the project vicinity. The surveys evaluated the area encompassed by Willow Pass Road, Sinclair Avenue, Parkside Drive, and East Street. The supply of spaces and posted time limits were identified. On streets where the spaces were not physically demarcated, the number of spaces was estimated based on measurements of available curb length.

EXISTING PARKING DEMAND

Based on discussions with temple personnel, there are two kinds of temple activities: typical worship days which reflect conditions most of the time, and ten special events/festivals per year.

The temple's operating hours are 10:00 a.m. to Noon and 6:00 p.m. to 9:00 p.m. Monday through Friday. Weekend and special event hours are 10:00 a.m. to 9:00 p.m. Representatives of the temple have stated that attendance patterns typically do not have a specific arrival time when all attendees arrive at once. Rather, attendance is spread throughout the day with patrons arriving and leaving on their own schedule during the temple's open hours. This results in lower parking demand compared to religious facilities that have fixed start times when all attendees arrive and leave at the same time. The steady attendance pattern, spread throughout the day, was confirmed by our surveys. The temple representatives have prepared an attendance table showing typical attendance patterns which is attached as Table A-5.

The parking surveys were conducted during typical weekday and weekend conditions as well as during a special event.¹ The surveys identified parking demand for the on-site spaces, offsite locations, and street spaces. Additionally, the surveys included the two public parking garages near Todos Santos Plaza, approximately 5-7 blocks west of the temple. The weekend surveys recorded parking demand every two hours between 8:00 a.m. and 8:00 p.m. The weekday survey recorded demand every hour between 5:00 p.m. and 9:00 p.m. on a Monday evening, which reflects the busiest weekday of the week for the temple. The special event survey was conducted during the two-day Thaipusam Festival (Saturday and Sunday). The survey area and parking conditions are shown in Figure A-1 and Tables A-1 to A-4 attached.

¹ *Omni-Means, Parking surveys conducted for typical weekday (2/8/16), weekend (1/31/16), and special event (1/23-24/16) conditions.*

Typical Weekday Survey: The temple's typical weekday parking demand was found to be 11-23 vehicles (peak demand of 23 vehicles at 7:00 p.m.). The peak demand consisted of 5 vehicles parked onsite, 5 in the Credit Union Lots, and 13 on Second Street fronting the temple site or across the street. "Background" parking demand (non-temple-related parking demand) on Second Street was low, with 4 vehicles parked in street spaces on Second Street and zero vehicles parked in the Credit Union lots.

Typical Weekend Survey: The parking surveys of a typical weekend identified 5-16 vehicles (peak demand of 16 vehicles at 6:00 p.m.). The peak demand consisted of 1 onsite vehicle and 15 offsite vehicles all parked on Second Street. However, based on the provided attendance numbers, demand can be higher than was identified when our surveys were conducted, potentially reaching 38 vehicles. Similar to the weekday conditions, background parking demand was generally low (2-4 cars on Second Street and zero vehicles in the Credit Union lots).

Special Event Survey: The special event parking surveys were conducted during the Thaipusam Festival, which is a two day festival (Saturday and Sunday). This festival generates the highest parking demand of the special events. This festival also utilizes buses on one day (Saturday) to transport patrons who have walked to the temple from a starting location outside of the Concord City limits.

Parking demand for the special event on Saturday had a peak parking demand of 85 vehicles (4:00 p.m.) and an average demand of 47 vehicles. The Sunday demand represented the highest parking demand, with a peak demand of 135 vehicles (12:00 p.m.) and an average demand of 87 spaces. For the special event, the unpaved gated area on the temple grounds was open. The peak Sunday demand consisted of 44 vehicles onsite (full), 43 in the Credit Union Lots (full), and 33 on Second Street between Willow Pass Road and Concord Boulevard (full). These locations were able to accommodate all but 15 vehicles. Of these, approximately 5 vehicles were parked in public street spaces on Willow Pass Road and Concord Boulevard near Second Street. However, approximately ten vehicles were observed parked in the private Safeway grocery store parking lot located on the west side of the temple site. Additional parking capacity remained available in the Safeway lot (and it is noted several temple patrons purchased items from the store), but these spaces cannot be included in the available supply.

4. MUNICIPAL CODE PARKING REQUIREMENTS

The City of Concord Municipal Code describes off-street parking requirements for religious facilities (Zoning Ordinance 18.160.040). Because the project site is located within the BART Transit Station (TS) Overlay District, the base code requirement is reduced by 25% to account for a higher proportion of transit ridership in the TS district (Zoning Ordinance 18.160.050).

Given the unique use characteristics of the temple, which are different than typical Church facilities with fixed seating, the temple applicants, in consultation with City staff and Contra Costa County Fire District personnel, identified the usable area of the temple to be 2,348 square feet of non-fixed seating area. For religious facilities with non-fixed seating area the parking requirement is as follows.²

Religious Facility: 1 space per 50 square feet gross floor area for non-fixed seating.
2,348 square feet at 1 space per 50 square feet = 47 spaces.
T.S. District Adjustment (25% reduction) = -12 spaces
= 35 spaces required

² City of Concord, Municipal Code, 18.160.040, Parking Requirements.

The new onsite parking lot with 47 spaces would meet the code requirement of 35 spaces and provide a surplus of 12 spaces above the code level. Although the municipal code requirement is met for typical demand, in recognizing the occurrence of infrequent but ongoing special events that generate temporary higher demand, the City of Concord also requires the temple to have a written agreement for additional off-street spaces for special events. The temple has recently renewed written agreements to use parking spaces at two offsite locations for special events, providing 90 spaces. These consist of 40 spaces in the nearby UNIFY Western Federal Credit Union lots on Second Street and a minimum of 50 spaces at the First Lutheran Church located at 4000 Concord Boulevard.

5. PROJECT PARKING FINDINGS AND RECOMMENDATIONS

TYPICAL PARKING CONDITIONS

The project's new onsite parking lot of 47 spaces would accommodate existing and anticipated future peak demand for all of the temple's typical weekday and weekend activity (24-40 vehicles). Furthermore, the new lot would benefit existing conditions by allowing the current demand that must park on Second Street and in the Credit Union parking lots (approximately 13-27 total vehicles) to move onsite. The new lot would eliminate the need for parking on Second Street in front of the residences across the street from the temple. This assumes, however, that temple patrons will choose to park onsite instead of the adjacent street spaces which are conveniently located near the temple. Due to the convenient location of the street spaces in front of the residences, some patrons may still park on the street even with spaces available in the parking lot.

- **If onstreet parking occurs in front of the residences on Second Street across from the temple to the dissatisfaction of the residents, the temple shall inform temple patrons to avoid parking in front of the residences via announcements and email/website notifications. Copies of these notices shall be provided to the City of Concord.**

SPECIAL EVENT PARKING CONDITIONS

The expected parking demand for special events was calculated using the attendance levels provided in Table A-5 in proportion to our surveyed demand of the highest parked event (Thaipusam Festival). The calculated demands include anticipated attendance growth of five percent and the Transit Station District parking space credit of 12 spaces. The special event parking demand is calculated to range from 19 to 130 spaces as shown in column E of Table A-6 attached.

Parking demand for seven of the eleven annual special event days would be expected to be accommodated in the new temple parking lot. However, parking demand for four events would exceed the onsite supply of 47 spaces, with the largest event resulting in a demand for 83 offsite spaces.

To address event days with overflow parking demand, the temple applicants have prepared a Transportation Demand Management (TDM) Plan to address parking and onsite vehicle circulation. (The TDM plan is attached as item A-7.) We have evaluated the TDM plan and find it adequately addresses the special event conditions by providing the following items:

- The plan provides for 90 offsite parking spaces at two locations to accommodate overflow demand: 40 spaces at the UNIFY Western Federal Credit Union located on Second Street near the temple, and a minimum of 50 spaces at the First Lutheran Church located at 4000 Concord Boulevard 1.6 miles from the temple. The temple will provide shuttle service to the

church lot. With maximum offsite parking demand calculated to be 83 spaces, the offsite supply of 90 spaces would accommodate the parking demand. (Our surveys of the offsite parking locations confirmed the stated number of usable spaces is available.)

- Temple volunteers will provide traffic monitoring to direct traffic and parking at the temple site and the offsite locations. (The temple currently utilizes traffic control / parking monitoring personnel to monitor traffic conditions near the site on special event days, which we observed to be helpful in maintaining efficient traffic flow.)
- Signs will be posted on the special event days to guide visitors to the parking locations.
- The temple will provide directions and parking instructions on the temple's website and via email notifications to members prior to special event days.

6. PROJECT ACCESS / ONSITE VEHICLE CIRCULATION

The site plan for the proposed project was reviewed regarding vehicle access and onsite circulation. The site plan is shown in Figure 2. The site plan was reviewed in the context of having conducted parking surveys and field observations of typical daily activity levels and a larger festival event.

The design is acceptable based on the surveyed and anticipated traffic volumes in combination with the information regarding activities provided by the applicant.

It is noted that the north parking lot lacks a formal turn-around area. The north lot has a two-way drive aisle that ends at the internal intersection with the one-way northbound drive aisle. If all of the spaces in the north lot are full this will require any additional cars entering the north driveway to turn around somewhere in the drive aisle in order to exit.

The volumes are low enough that vehicles turning around in the drive aisle would not substantially affect onsite traffic flows and vehicles would be able to safely turn around where the one-way drive aisle meets the parking lot. However, in order to maximize sight distances, it is recommended that a clear line of sight be maintained as follows:

- **Maintain a clear line of sight where the one-way drive aisle intersects the north parking lot by providing low lying vegetation and no obstructive signs or screens, etc.**

The proposed site plan includes a trash enclosure located on the west side of the north parking lot. If garbage service trucks enter via the north driveway, they would be required to either back out or turn around in the north parking lot in order to exit. In consultation with City staff and Concord Disposal personnel, the trash enclosure doors have been designed to face south in order to facilitate garbage service trucks entering the south driveway and circulating north on the one-way drive aisle to the bin, then exiting via the north driveway. A truck turning template for a 28-foot garbage truck was applied to the site plan and adequate turning radius would be available for disposal trucks to use the one-way drive aisle. Therefore, the following travel route shall be utilized for the garbage service trucks:

- **Concord Disposal drivers shall be instructed to enter via the southern driveway, circulate northbound on the one-way drive aisle to access the trash enclosure, then exit via the north driveway.**

The site plan we have reviewed does not show directional/regulatory signs. If they are not included yet, the following signs should be installed to alert motorists of the proper travel directions:

- **Signs shall be installed on the one-way drive aisle near the north lot intersection facing north that state “Do Not Enter” / “One Way” or similar wording. Signs shall be installed at the south parking lot driveway to Second Street that face west and state “Do Not Exit” or similar wording.**

A directional sign shall be installed stating “Exit” with an arrow pointing north located at the west side of the south parking lot near the entrance to the one-way drive aisle (facing east toward drivers in the south lot).

Directional signs stating “One Way” with arrow shall be installed on the north and south ends of the one-way drive aisle.

Directional arrow pavement markings shall be installed as shown on the project site plan.

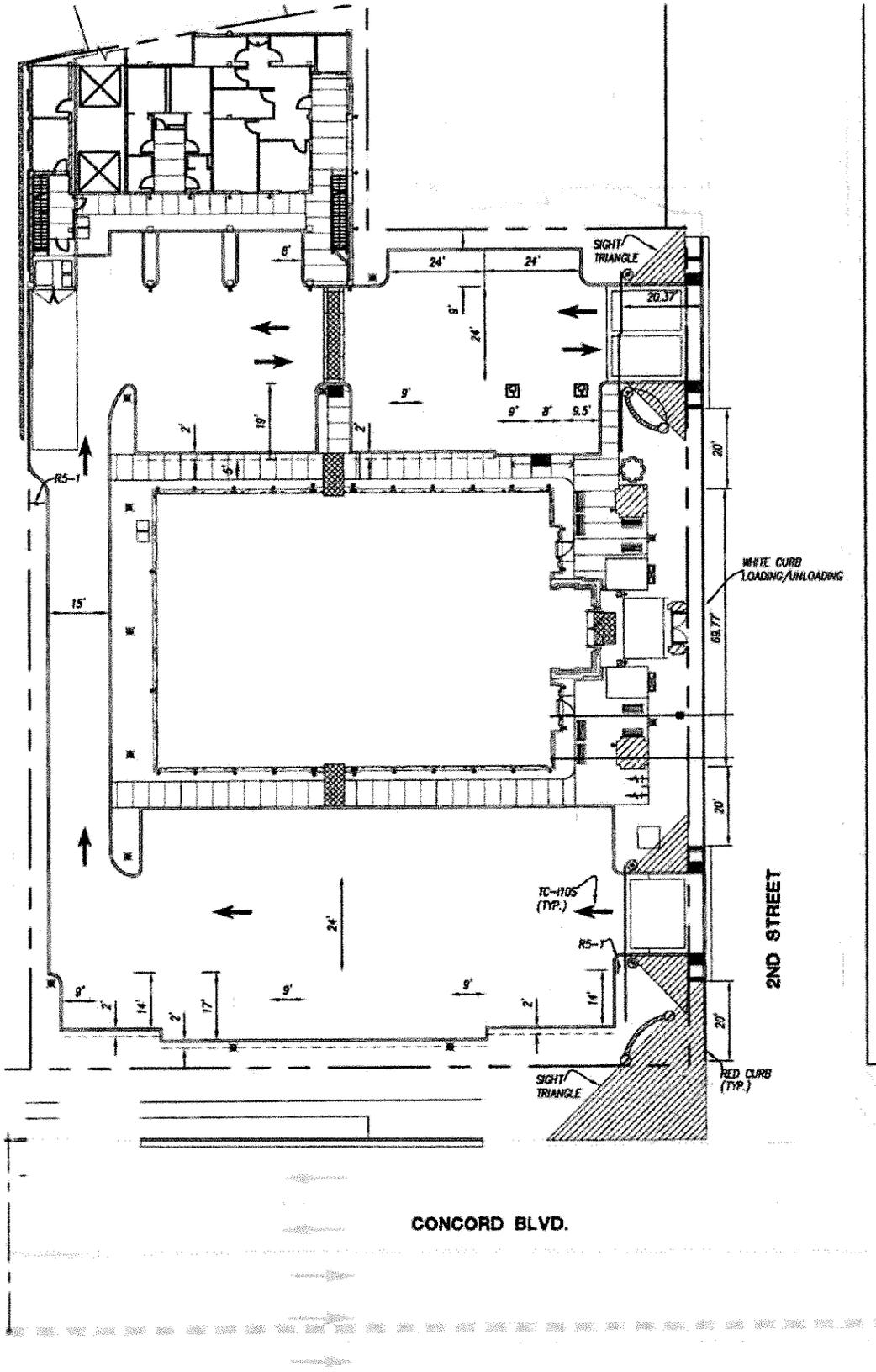
There is an existing passenger Loading Zone fronting the project site on Second Street that is 30 feet in length with white curb striping and a sign stating “Loading Zone”. The site plan shows a new Loading Zone will be provided in the same location that is approximately 70 feet long. This will facilitate pick-ups and drop-offs during typical periods and, importantly, provide for temporary bus parking during special events.

- **The proposed loading zone as shown on the project site plan shall be installed in order to provide adequate temporary parking space during special events.**

The project frontage, with two driveways and a longer loading zone, will remove approximately three parking spaces which currently front the existing building. However, the new parking lot will accommodate any displaced demand on typical days, and there is already no parking allowed in this segment on special event days.

Temple staff have evaluated the distribution of vehicle trips to/from the temple site. The primary travel routes are Willow Pass Road and Concord Boulevard. Most trips (79%) are to/from the west via I-680/SR 242, with approximately 58% using Willow Pass Road and 21% using Concord Boulevard. The preferred route to facilitate vehicle circulation and minimize conflicting turning movements is for these vehicles to approach the temple using Willow Pass Road, turn right onto Second Street, and leave by turning right onto Concord Boulevard. To encourage patrons to utilize this travel route, the temple has a notification on their website and sends emails to their members.

- **The informational campaign to notify patrons of the preferred travel route shall be continued with the new temple project by posting a notification on the temple website and through emails sent to temple members. Copies of these notices shall be provided to the City of Concord on a regular basis.**



Source: Milani & Associates



omni-means

Project Site Plan



figure 2

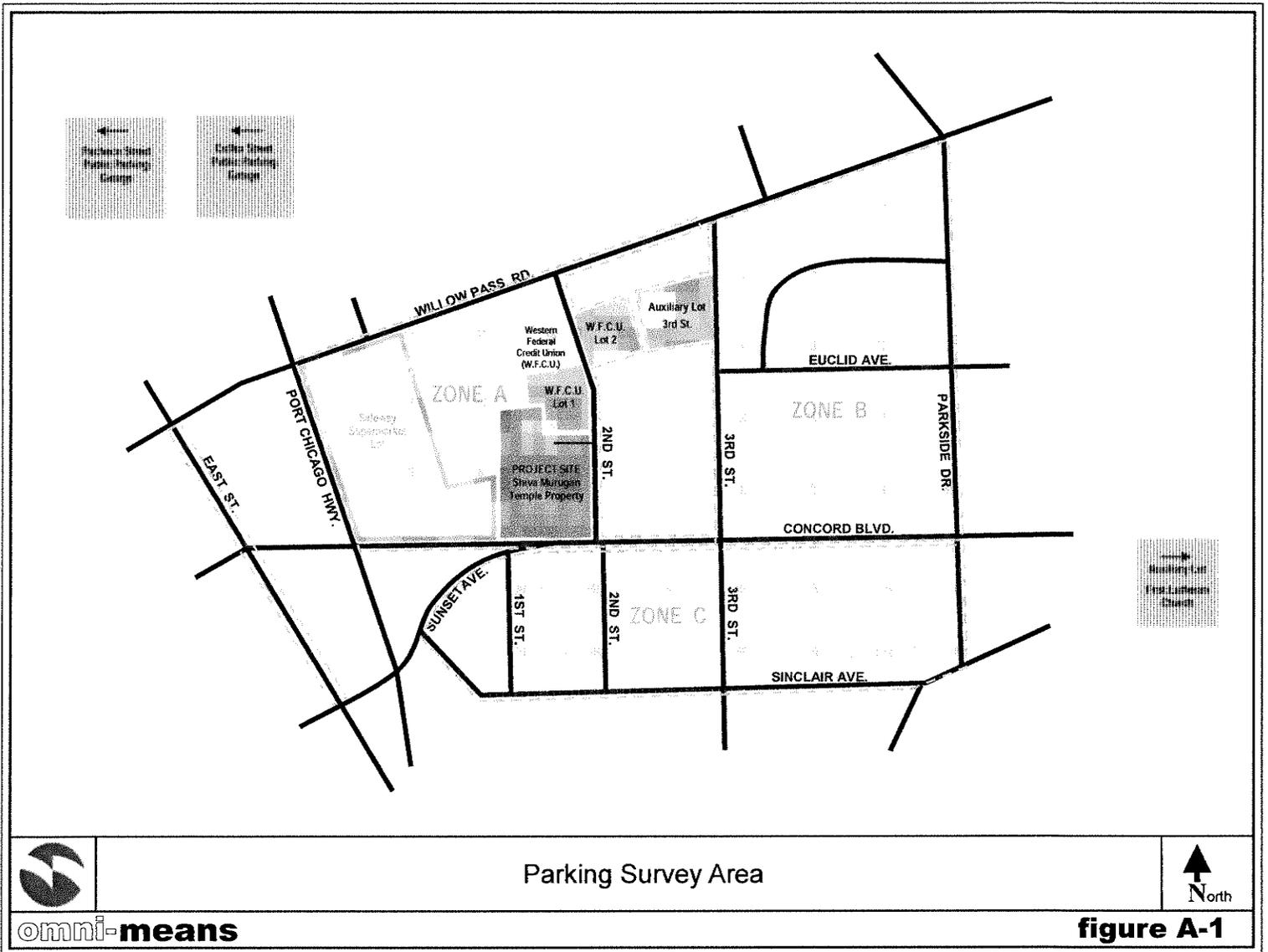


Table A-1: Parking Survey: Monday 2/8/16 (Typical Weekday)

ZONE A			Supply	5:00 pm	6:00 pm	7:00 pm	8:00 pm	9:00 pm
Temple Parking Lot	47	Demand		3	5	5	4	3
		Available		44	42	42	43	44
Credit Union Lot 1	15	Demand		0	1	3	4	1
		Available		15	14	12	11	14
Credit Union Lot 2	28	Demand		4	3	2	0	0
		Available		24	25	26	28	28
2nd Street (Willow Pass Rd. to Concord Bl.)	36	Background Demand		4	8	7	2	2
		Temple Demand		11	11	13	9	7
		Available		21	17	16	25	27
Willow Pass Rd. (Port Chicago Hwy. to 2nd St.)	2	Background Demand		1	0	0	0	0
		Temple Demand		0	0	0	0	0
		Available		1	2	2	2	2
Willow Pass Rd. (2nd to 3rd St)	4	Background Demand		2	3	2	1	1
		Temple Demand		0	0	0	0	0
		Available		2	1	2	3	3
Concord Blvd. (2nd to 3rd St)	5	Background Demand		0	0	0	0	0
		Temple demand		0	0	0	0	0
		Available		5	5	5	5	5
Zone A Total	Off-Street:	90	Temple Demand	7	9	10	8	4
			Available	83	81	80	82	86
	On-Street:	47	Background Demand	7	11	9	3	3
			Temple Demand	11	11	13	9	7
			Available	29	25	25	35	37
Combined:		137	Background Demand	5	3	3	3	3
			Temple Demand	18	20	23	17	11
			Available	114	114	111	117	123

ZONE B

Temple Auxiliary Lot on 3rd St.	40	Temple Demand	0	0	0	0	0
		Available	35	35	35	35	35
Zone B Total On-Street	88	Background Demand	51	50	48	49	51
		Temple Demand	0	0	0	0	0
		Available	37	38	40	39	37

ZONE C

Zone C Total On-Street	88	Background Demand	29	27	3	34	33
		Temple Demand	0	0	0	0	0
		Available	59	61	85	54	55

East Street

(Willow Pass Rd. to Sunset Ave.)	21	Background Demand	5	2	5	1	1
		Temple Demand	0	0	0	0	0
		Available	16	19	16	20	20

Safeway Parking Lot

		Temple Demand	0	0	0	0	0
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Public Garage Availability

Pacheco Street Garage	Available	274	248	265	288	321
Colfax Street Garage	Available	248	249	252	258	279
	Total Available	522	497	517	546	600

First Lutheran Church Lot

	Supply	111	111	111	111	111
	Demand	0	51	0	0	0
	Available	111	60	111	111	111

TOTAL TEMPLE DEMAND		18	20	23	17	11
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Table A-2: Parking Survey: Sunday 1/31/16 (Typical Weekend)

ZONE A			Supply	8:00 am	10:00 am	12:00 pm	2:00 pm	4:00 pm	6:00 pm	8:00 pm
Temple Parking Lot	47	Demand		1	1	3	2	2	1	2
		Available		46	46	44	45	45	46	45
Credit Union Lot 1	15	Demand		0	0	0	0	0	0	0
		Available		15	15	15	15	15	15	15
Credit Union Lot 2	28	Demand		0	0	0	0	0	0	0
		Available		28	28	28	28	28	28	28
2nd Street (Willow Pass Rd. to Concord Bl.)	36	Background Demand		2	2	2	2	2	1	1
		Temple Demand		4	10	9	6	5	15	12
		Available		30	24	25	28	29	20	23
Willow Pass Rd. (Port Chicago Hwy. to 2nd St.)	2	Background Demand		0	0	0	0	0	0	0
		Temple Demand		0	0	0	0	0	0	0
		Available		2	2	2	2	2	2	2
Willow Pass Rd. (2nd to 3rd St)	4	Background Demand		0	0	0	0	0	0	0
		Temple Demand		0	0	0	0	0	0	0
		Available		4	4	4	4	4	4	4
Concord Blvd. (2nd to 3rd St)	5	Background Demand		0	0	0	0	0	0	0
		Temple demand		0	0	0	0	0	0	0
		Available		5	5	5	5	5	5	5
Zone A Total	Off-Street:	90	Temple Demand	1	1	3	2	2	1	2
			Available	89	89	87	88	88	89	88
		47	Background Demand	2	2	2	2	2	1	1
On-Street:		Temple Demand	4	10	9	6	5	15	12	
		Available	41	35	36	39	40	31	34	
Combined:	137	Background Demand	5	3	3	3	3	4	4	
		Temple Demand	5	11	12	8	7	16	14	
		Available	127	123	122	126	127	117	119	

ZONE B

Temple Auxiliary Lot on 3rd St.	40	Temple Demand	0	0	0	0	0	0	0
		Available	35	35	35	35	35	35	35
Zone B Total On-Street	88	Background Demand	60	61	54	54	52	59	61
		Temple Demand	0	0	0	0	0	0	0
		Available	28	27	34	34	36	29	27

ZONE C

Zone C Total On-Street	88	Background Demand	30	28	31	30	28	33	36
		Temple Demand	0	0	0	0	0	0	0
		Available	58	60	57	58	60	55	52

East Street

(Willow Pass Rd. to Sunset Ave.)	21	Background Demand	4	1	6	7	0	0	0
		Temple Demand	0	0	0	0	0	0	0
		Available	17	20	15	14	21	21	21

Safeway Parking Lot

Temple Demand	0	0	0	0	0	0	0
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Public Garage Availability

Pacheco Street Garage	Available	358	345	278	255	229	265	305
Colfax Street Garage	Available	296	296	280	267	256	289	307
	Total Available	654	641	558	522	485	554	612

First Lutheran Church Lot

Supply	111	111	111	111	111	111	111
Demand	0	51	0	0	0	0	0
Available	111	60	111	111	111	111	111

TOTAL TEMPLE DEMAND	5	11	12	8	7	16	14
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Table A-3: Parking Survey: Saturday 1/23/16 (Special Event)

ZONE A		Supply	8:00 am	10:00 am	12:00 pm	2:00 pm	4:00 pm	6:00 pm	8:00 pm	
Temple Parking Lot	47	Demand	6	6	8	17	20	17	7	
		Available	41	41	39	30	27	30	40	
Credit Union Lot 1	15	Demand	2	7	15	8	15	11	6	
		Available	13	8	0	7	0	4	9	
Credit Union Lot 2	28	Demand	9	8	7	6	26	15	3	
		Available	19	20	21	22	2	13	25	
2nd Street (Willow Pass Rd. to Concord Bl.)	36	Background Demand	3	3	3	3	3	3	3	
		Temple Demand	16	21	15	12	22	13	8	
		Available	17	12	18	21	11	20	25	
Willow Pass Rd. (Port Chicago Hwy. to 2nd St.)	2	Background Demand	1	0	0	0	0	0	0	
		Temple Demand	0	0	0	0	0	0	0	
		Available	1	2	2	2	2	2	2	
Willow Pass Rd. (2nd to 3rd St)	4	Background Demand	1	0	0	0	0	1	1	
		Temple Demand	0	0	0	0	0	0	0	
		Available	3	4	4	4	4	3	3	
Concord Blvd. (2nd to 3rd St)	5	Background Demand	0	0	0	0	0	0	0	
		Temple demand	1	1	2	0	2	0	0	
		Available	4	4	3	5	3	5	5	
Zone A Total	Off-Street:	90	Temple Demand	17	21	30	31	61	43	16
			Available	73	69	60	59	29	47	74
	On-Street:	47	Background Demand	5	3	3	3	3	4	4
			Temple Demand	17	22	17	12	24	13	8
			Available	25	22	27	32	20	30	35
Combined:		137	Background Demand	5	3	3	3	3	4	4
			Temple Demand	34	43	47	43	85	56	24
			Available	98	91	87	91	49	77	109

ZONE B

Temple Auxiliary Lot on 3rd St.	40	Temple Demand	0	0	0	0	0	0	0
		Available	35	35	35	35	35	35	35
Zone B Total On-Street	88	Background Demand	55	55	51	43	54	51	57
		Temple Demand	0	0	0	0	0	0	0
		Available	33	33	37	45	34	37	31

ZONE C

Zone C Total On-Street	88	Background Demand	32	29	27	25	31	32	31
		Temple Demand	0	0	0	0	0	0	0
		Available	56	59	61	63	57	56	57

East Street

(Willow Pass Rd. to Sunset Ave.)	21	Background Demand	7	9	15	6	6	3	0
		Temple Demand	0	0	0	0	0	0	0
		Available	14	12	6	15	15	18	21

Safeway Parking Lot

		Temple Demand	0	0	0	0	0	0	0
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Public Garage Availability

Pacheco Street Garage	Available	318	298	246	210	221	192	168
Colfax Street Garage	Available	301	291	273	226	234	248	225
	Total Available	619	589	519	436	455	440	393

First Lutheran Church Lot

	Supply	111	111	111	111	111	111	111
	Demand	0	0	0	0	0	0	0
	Available	111	111	111	111	111	111	111

TOTAL TEMPLE DEMAND		34	43	47	43	85	56	24
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Table A-4: Parking Survey: Sunday 1/24/16 (Special Event)

ZONE A			Supply	8:00 am	10:00 am	12:00 pm	2:00 pm	4:00 pm	6:00 pm	8:00 pm	
Temple Parking Lot	47	Demand		21	33	44	29	9	6	2	
		Available		26	14	3	18	38	41	45	
Credit Union Lot 1	15	Demand		15	15	15	15	9	1	0	
		Available		0	0	0	0	6	14	15	
Credit Union Lot 2	28	Demand		27	28	28	27	10	0	0	
		Available		1	0	0	1	18	28	28	
2nd Street (Willow Pass Rd. to Concord Bl.)	36	Background Demand		3	3	3	3	3	3	2	
		Temple Demand		30	30	33	28	24	11	11	
		Available		3	3	0	5	9	22	23	
Willow Pass Rd. (Port Chicago Hwy. to 2nd St.)	2	Background Demand		0	0	0	0	0	0	0	
		Temple Demand		0	0	0	0	0	0	0	
		Available		2	2	2	2	2	2	2	
Willow Pass Rd. (2nd to 3rd St)	4	Background Demand		0	0	0	0	0	0	0	
		Temple Demand		3	3	1	2	0	0	0	
		Available		1	1	1	2	4	4	4	
Concord Blvd. (2nd to 3rd St)	5	Background Demand		1	1	1	1	0	0	0	
		Temple demand		3	2	1	2	0	0	0	
		Available		2	3	4	3	5	5	5	
Zone A Total	Off-Street:	90	Temple Demand		63	76	87	71	28	7	2
			Available		27	14	3	19	62	83	88
			On-Street:		47						
	Background Demand	4		4	4	4	4	3	3	2	
			Temple Demand		36	35	35	32	24	11	11
			Available		7	8	6	11	20	33	34
Combined:	137	Background Demand		4	4	4	4	3	3	2	
		Temple Demand		99	111	122	103	52	18	13	
		Available		34	22	11	30	82	116	122	

ZONE B

Temple Auxiliary Lot on 3rd St.	40	Temple Demand		0	0	0	0	0	0	0
		Available		35	35	35	35	35	35	35
Zone B Total On-Street	88	Background Demand		58	61	60	67	52	54	61
		Temple Demand		0	0	0	0	0	0	0
		Available		30	27	28	21	36	34	27

ZONE C

Zone C Total On-Street	88	Background Demand		31	31	29	31	33	33	31
		Temple Demand		0	2	3	1	1	0	0
		Available		57	55	56	56	54	55	57

East Street

(Willow Pass Rd. to Sunset Ave.)	21	Background Demand		2	0	3	1	3	2	0
		Temple Demand		0	0	0	0	0	0	0
		Available		17	19	16	18	16	17	19

Safeway Parking Lot

Temple Demand		0	6	10	8	5	0	0
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Public Garage Availability

Pacheco Street Garage	Available		345	334	301	285	294	260	322
Colfax Street Garage	Available		288	271	278	271	286	290	300
	Total Available		633	605	579	556	580	550	622

First Lutheran Church Lot

Supply		111	111	111	111	111	111	111
Demand		9	43	9	0	0	0	0
Available		102	68	102	111	111	111	111

TOTAL TEMPLE DEMAND		99	119	135	112	58	18	13
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TABLE A-5

ATTENDANCE TABLE			
A	B	C	D
Event	Hours of Operation	Est. Hourly Attendance	Est. Total Attendance for the duration in Column B (See Note 1)
Mondays	7.00 PM to 9.00 PM	40	80
Week Days, Tues. thro' Friday	10:00 AM – NOON 6:00 PM – 9:00 PM	20 20	40 60
Regular Week Ends	11:00 AM – 1:00 PM 1.00 PM - 6.00 PM 6.00 PM - 8.00 PM	50 30 75	100 150 150
Special Events:			
New Year Day Jan.1	7:00 AM – 10.00 AM 10:00 AM – NOON NOON – 9.00 PM	40 80 Avg. 50	120 160 450
Thaipusam Day Jan or Feb	8:00 AM – 10:00 AM 10:00 AM – NOON NOON – 2.00 PM 2:00 PM – 5:00 PM 5.00 PM – 9.00 PM	100 150 150 70 25	200 300 300 210 100
Panguni Uttiram Mar or Apr	9.00 AM - 3.00 PM	Avg. 30	180
Akshaya Tritiya Apr or May	11:00 AM – 1.00 PM	50	100
Maha Shiva Ratri (Feb. or Mar.)	10:00 AM – 5.00 PM 5:00 PM – 8:00 PM 8:00 PM – 9.00 PM	10-30 125 50	140 375 100
Vaikashi Vishakam Jun or Jul	10.00 AM to 3.00 PM	20	100
Navaratri 9 days in Oct	Wk days 7.00 PM to 9.00 PM Wknds 11.00 AM to 1.00 PM Wknds 6.00 PM to 8.00 PM	30 25 25	60 50 50
Sashti Oct or Nov	9.00 AM to 6.00 PM	30	270
Thanksgiving Day Nov	10.00AM to 1.00 PM	50	150
Tiru Karthigai Deepam, Nov.or Dec	10.00AM to 6.00 PM	20	160

Notes:

1. Total attendance in Column D is the product of hourly attendance in Column C and the duration in Column B.

Source: Statement on Temple Operation, Attendance, Traffic and Parking, provided by Shiva Murugan Cultural Center representatives to the City of Concord.

**TABLE A-6
Parking Demand**

ATTENDANCE TABLE				
A	B	C	D	E
Event	Hours of Operation	Est. Hourly Attendance	Est. Total Attendance for the duration in Column B (See Note 1)	Peak Parking Demand
Mondays	7.00 PM to 9.00 PM	40	80	24 cars
Week Days, Tues. thro' Friday	10:00 AM – NOON	20	40	13 cars
	6:00 PM – 9:00 PM	20	60	
Regular Week Ends	11:00 AM – 1:00 PM	50	100	17 cars
	1.00 PM - 6.00 PM	30	150	40 cars
	6.00 PM - 8.00 PM	75	150	
Special Events:				
New Year Day Jan.1	7:00 AM – 10:00 AM	40	120	64 cars* (17 offsite)
	10:00 AM – NOON	80	160	
	NOON – 9.00 PM	Avg. 50	450	
Thaipusam Day Jan or Feb	8:00 AM – 10:00 AM	100	200	Saturday 77 cars* (30 offsite)
	10:00 AM – NOON	150	300	
	NOON – 2.00 PM	150	300	Sunday 130 cars* (83 offsite)
	2:00 PM – 5:00 PM	70	210	
	5.00 PM – 9.00 PM	25	100	
Panguni Uttiram Mar or Apr	9.00 AM - 3.00 PM	Avg. 30	180	28 cars
Akshaya Tritiya Apr or May	11:00 AM – 1.00 PM	50	100	47 cars
Maha Shiva Ratri (Feb. or Mar.)	10:00 AM – 5.00 PM	10-30	140	107 cars* (60 offsite)
	5:00 PM – 8:00 PM	125	375	
	8:00 PM – 9.00 PM	50	100	
Vaikashi Vishakam Jun or Jul	10.00 AM to 3.00 PM	20	100	19 cars
Navaratri 9 days in Oct	Wk days 7.00 PM to 9.00 PM	30	60	28 cars
	PM	25	50	
	Wknds 11.00 AM to 1.00 PM	25	50	
Sashti Oct or Nov	Wknds 6.00 PM to 8.00 PM			28 cars
	9.00 AM to 6.00 PM	30	270	
Thanksgiving Day Nov	10.00AM to 1.00 PM	50	150	47 cars
Tiru Karthigai Deepam, Nov. or Dec	10.00AM to 6.00 PM	20	160	19 cars

Notes:

1. Total attendance in Column D is the product of hourly attendance in Column C and the duration in Column B.

Parking demand for the special events other than Thaipusam are calculated based on the ratio of hourly attendance to the surveyed parking demand of the Thaipusam Festival. Parking demand reflects 5% growth and Transit Station District parking space credit.

* Parking demand exceeds project's onsite supply of 47 spaces. Adequate offsite parking supply (90 spaces) to be provided.

Item A-7:

**Saiva Siddhantha Ashram
Shiva Murugan Cultural Center Project, Concord
Transportation Demand management Plan**

1.0 Introduction

The Shiva Murugan Temple (Temple) has been operating in Concord since moving from San Francisco in 1988. The original temple was established in San Francisco in 1957 and is the oldest Hindu temple in North America. Currently, the temple is operated in a church building with a social hall in the basement and an adjacent single story building which serves as the temples administration building. The temple Board of Directors, in an effort to enhance temple services to the Hindu community, decided to replace the existing structure with a new structure built in accordance with the classic architectural principles of ancient South Indian Temples. The temple membership is expected to remain at the current level.

2.0 Background

As a part of the permit process for the new construction, the City of Concord (City) engaged Omni-Means, Ltd. to perform a parking analysis. Based on the report submitted by Omni, and number of discussions held between the City and the Temple, the City requested the Temple to provide a Transportation Demand Management Plan, specifically focused on overflow parking needed for a few special events during the year.

3.0 Parking Demand

Based on Omni's report and subsequent meetings between the City and the Temple, following is a summary of the parking demand for the new facility:

1. The design for the new construction provides **47** new parking spaces on site. This is more than adequate for all normal week days, weekends and special events except as listed in item 2 below.
2. There are four events in a year when the temple needs to provide additional parking off-site. The City will treat these events as special events which will be addressed in the conditions of approval for the temple and will be allowed administratively each year. These events are:
 - a. Padayatra day
 - b. Thaipusam
 - c. Maha Shiva Ratri
 - d. New Year day
3. The City has determined that the temple needs to make arrangements for **83** off-site parking spaces based on the peak demand (Thaipusam).

4.0 Implementation of Off-Site Parking

- 3.1 Temple has signed agreements with two nearby facilities where temple members/visitors can park during special event days.
1. UNIFY Financial Credit Union, 1855, 2nd street, Concord CA94519, which is adjacent to the temple, for **40** parking spaces. This parking lot is about 100 yards away from the temple and hence within walking distance. A map of the parking spaces is included in **Attachment 3**.
 2. First Lutheran Church, 4000, Concord Blvd., CA 94519, for a minimum of **50** parking spaces. This parking lot is 1.6 miles from the temple and the temple will provide a shuttle service to and from the temple on an as needed basis. A map of the parking spaces is included in **Attachment 2**.
- 3.2 A map showing the location of the off-site parking facilities is included in **Attachment 1**.
- 3.3 Copies of the agreements with UNIFY Credit Union and the First Lutheran Church are included in **Attachments 4 and 5**
- 3.4 The Temple website, www.shivamurugantemple.org/directions.aspx, provides directions to the temple and will include clear instructions on off-site parking for special events. Our web site is actively managed and updated on a regular basis. Off-Site parking instructions shown in **Attachment 6** will be posted on the website.
- 3.5 In addition mass e-mails to our members include Off-Site parking instructions.
- 3.6 On the temple premises we have electronic bulletin boards as well as regular bulletin boards which will display clear instructions on off-site parking for special events
- 3.7 On major event days, temple volunteers direct traffic to ensure smooth flow in and out of the temple parking lot and avoid backups on Second Street. In addition on special events, monitors will be posted at both off-site locations to guide visitors to the appropriate parking spaces
- 3.8 On the event day, signs will be posted at the temple and at the off-site locations giving clear directions to the visitors. **Attachment 8** shows examples of the signage used.

5.0 Transportation on Padayatra day

On Thaipusam Padayatra Day, many devotees walk to the temple from their home towns following ancient tradition. Temple provides shuttle buses to take them back to their starting point. **Attachment 7** shows a typical bus schedule for that day.

6.0 Attachments

Attachment 1 – Off-Site Parking Locations

Attachment 2 – First Lutheran Church Parking Lot

Attachment 3 – UNIFY Financial Credit Union Parking Lot

Attachment 4 – First Lutheran Church, General Contract for Services

Attachment 5 – UNIFY Credit Union, Parking agreement

Attachment 6 – Off-Site Parking Instructions

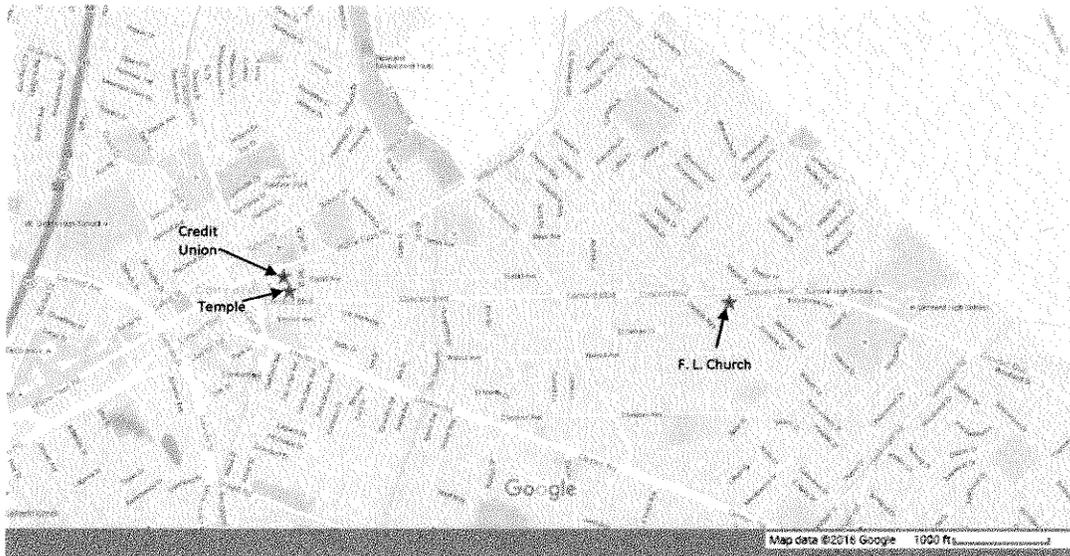
Attachment 7 – Padayatra Day Bus Schedule

Attachment 8 – Signage for Off-Site Parking

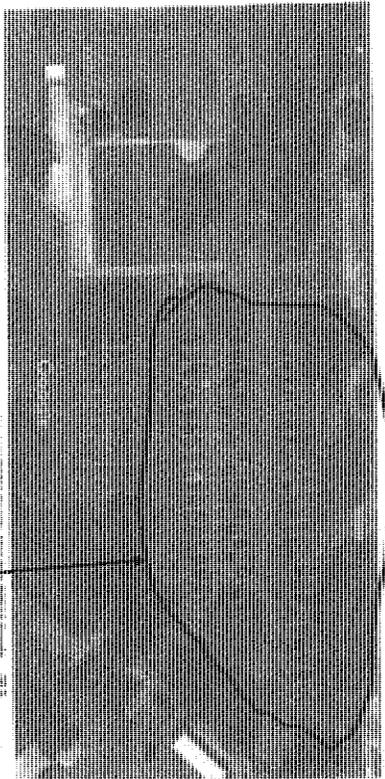
9/23/16

Google Maps

Google Maps



**TDMP Attachment 1
Off-Site Parking Locations**

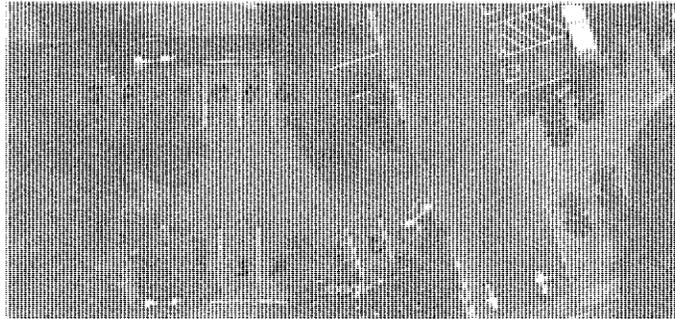


Google Maps

*by attached/attached 6/1/16
 Tridder Property Management
 First Lutheran Church*

61 Spaces identified by FLC

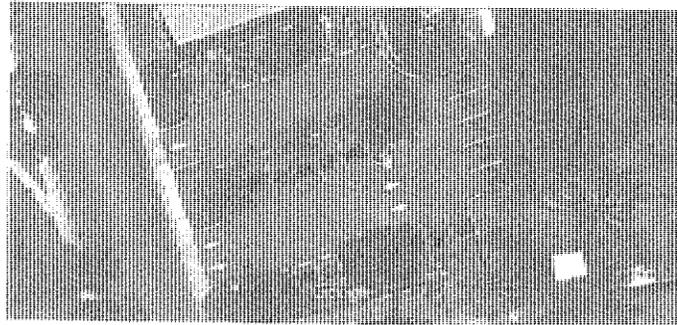
**TDMP Attachment 2
 First Lutheran Church Parking Lot**



Imagery ©2016 Google, Map data ©2016 Google 12.9

Google Maps

**Attachment 3, TDMP
Credit Union Lot**



Imagery ©2016 Google, Map data ©2016 Google 12.9

Google Maps

APPROVED BY
WESTERN FCU
1855 SECOND STREET
CONCORD, CA. 94519 * Braley Atelle
NAME DATE

GENERAL CONTRACT FOR SERVICES

This Contract (this "Contract") is made effective as of January 01, 2016, by and between the First Lutheran Church of 4000 Concord Blvd., Concord, California 94519, (Church), and the Shiva Murugan Temple of 1803 Second Street, Concord, California 94519, (Temple).

1. DESCRIPTION OF SERVICES. Beginning on January 01, 2016 the Church will provide to the Temple the following services (collectively, the "Services"):

A minimum of fifty (50) parking spaces as daily needed by the Temple for the Contract term of ten (10) years. This Contract is renewable at the end of each term upon mutual agreement between both parties.

2. PAYMENT. Payment shall be made to 4000 Concord Blvd., Concord, California 94519 within thirty (30) days as of the date of services rendered.

The Temple agrees to pay the Church as follows:

A payment will be made to the Church as a donation to their General Fund at a rate of \$5 (five USD) per parking space actually used per day up to the maximum amount of \$250/day. The Temple will also provide a current Certificate of Liability Insurance to the Church on an annual basis naming the Church as Also Insured under the insurance policy of the Temple.

In addition to any other right or remedy provided by law, if the Temple fails to pay for the Services when due, the Church has the option to treat such failure to pay as a material breach of this Contract, and may cancel this Contract and/or seek legal remedies.

3. WARRANTIES. The Church shall provide its services and meet its obligations under this Contract in a timely and workmanlike manner, using knowledge and recommendations for performing the services which meet generally acceptable standards in Church's community and region, and will provide a standard of care equal to, or superior to, care used by service providers similar to the Church on similar projects.

4. TERM. This Contract will terminate automatically upon completion by the Church of the Services required by this Contract.

5. DEFAULT. The occurrence of any of the following shall constitute a material default under this Contract:

- a. The failure to make a required payment when due.
- b. The insolvency or bankruptcy of either party.
- c. The subjection of any of either party's property to any levy, seizure, general assignment for the benefit of creditors, application or sale for or by any creditor or government agency.
- d. The failure to make available or deliver the Services in the time and manner provided for in this Contract.

1 of 4  

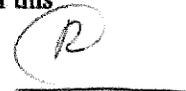
6. REMEDIES ON DEFAULT. In addition to any and all other rights a party may have available according to law, if a party defaults by failing to substantially perform any provision, term or condition of this Contract (including without limitation the failure to make a monetary payment when due), the other party may terminate the Contract by providing written notice to the defaulting party. This notice shall describe with sufficient detail the nature of the default. The party receiving such notice shall have 15 days from the effective date of such notice to cure the default(s). Unless waived by a party providing notice, the failure to cure the default(s) within such time period shall result in the automatic termination of this Contract.

7. FORCE MAJEURE. If performance of this Contract or any obligation under this Contract is prevented, restricted, or interfered with by causes beyond either party's reasonable control ("Force Majeure"), and if the party unable to carry out its obligations gives the other party prompt written notice of such event, then the obligations of the party invoking this provision shall be suspended to the extent necessary by such event. The term Force Majeure shall include, without limitation, acts of God, fire, explosion, vandalism, storm or other similar occurrence, orders or acts of military or civil authority, or by national emergencies, insurrections, riots, or wars, or strikes, lock-outs, work stoppages. The excused party shall use reasonable efforts under the circumstances to avoid or remove such causes of non-performance and shall proceed to perform with reasonable dispatch whenever such causes are removed or ceased. An act or omission shall be deemed within the reasonable control of a party if committed, omitted, or caused by such party, or its employees, officers, agents, or affiliates.

8. ARBITRATION. Any controversies or disputes arising out of or relating to this Contract shall be resolved by binding arbitration in accordance with the then-current Commercial Arbitration Rules of the American Arbitration Association. The parties shall select a mutually acceptable arbitrator knowledgeable about issues relating to the subject matter of this Contract. In the event the parties are unable to agree to such a selection, each party will select an arbitrator and the two arbitrators in turn shall select a third arbitrator, all three of whom shall preside jointly over the matter. The arbitration shall take place at a location that is reasonably centrally located between the parties, or otherwise mutually agreed upon by the parties. All documents, materials, and information in the possession of each party that are in any way relevant to the dispute shall be made available to the other party for review and copying no later than 30 days after the notice of arbitration is served. The arbitrator(s) shall not have the authority to modify any provision of this Contract or to award punitive damages. The arbitrator(s) shall have the power to issue mandatory orders and restraint orders in connection with the arbitration. The decision rendered by the arbitrator(s) shall be final and binding on the parties, and judgment may be entered in conformity with the decision in any court having jurisdiction. The agreement to arbitration shall be specifically enforceable under the prevailing arbitration law. During the continuance of any arbitration proceeding, the parties shall continue to perform their respective obligations under this Contract.

9. CONFIDENTIALITY. Church, and its employees, agents, or representatives will not at any time or in any manner, either directly or indirectly, use for the personal benefit of Church, or divulge, disclose, or communicate in any manner, any information that is proprietary to Temple. Church and its employees, agents, and representatives will protect such information and treat it as strictly confidential. This provision will continue to be effective after the termination of this Contract.

2 OF 4



10. NOTICE. Any notice or communication required or permitted under this Contract shall be sufficiently Given if delivered in person or by certified mail, return receipt requested, to the address listed above or to such other address as one party may have furnished to the other in writing. The notice shall be deemed received when delivered or signed for, or on the third day after mailing if not signed for.

11. ENTIRE CONTRACT. This Contract contains the entire agreement of the parties regarding the subject matter of this Contract, and there are no other promises or conditions in any other agreement whether oral or written. This contract supersedes any prior written or oral agreements between the parties.

12. AMENDMENT. This Contract may be modified or amended if the amendment is made in writing and signed by both parties.

13. SEVERABILITY. If any provision of this Contract shall be held to be invalid or unenforceable for any reason, the remaining provisions shall continue to be valid and enforceable. If a court finds that any provision of this Contract is invalid or unenforceable, but that by limiting such provision it would become valid and enforceable, then such provision shall be deemed to be written, construed and enforced as so limited.

14. WAIVER OF CONTRACTUAL RIGHT. The failure of either party to enforce any provision of this contract shall not be construed as a waiver or limitation of that party's right to subsequently enforce and compel strict compliance with every provision of this Contract.

15. APPLICABLE LAW. This Contract shall be governed by the laws of the State of California.

3 OF 4



Service Recipient:
SHIVA MURUGAN TEMPLE

By: R Nadesan 11/14/16

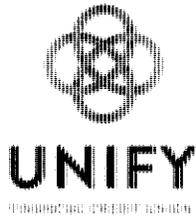
Ravi Nadesan
Date
Temple Operations

Service Provider:
First Lutheran Church

By: Stanley Forsstrom 1/14/16

Stan Forsstrom
Date
Trustee, Property Management

4 OF 4 df (P)



PO Box 10018 Manhattan Beach, CA 90267 | 877.254.9328 | unifyfcu.com

TDMP, Attachment 5

June 16, 2016

Ravi Nadesan
Shiva Murugan
1819 2nd Street
Concord, CA 94519

Re: Consent for Limited Use of Parking Lot

Dear Mr. Nadesan:

This letter is in regards to the Temple's request to use the UNIFY Financial Federal Credit Union ("UNIFY") parking lot property on a limited basis after normal Credit Union business hours for the purpose of providing your devotees a source of parking during scheduled services and events at the Temple.

UNIFY is happy to accommodate this request for the next twelve (12) months from the date of this letter under the following conditions:

- The Temple maintains in force at all times during this period a commercial general liability policy from Travelers, with coverage of at least \$1,000,000 for each occurrence and \$2,000,000 aggregate.
- The Temple takes all necessary steps to insure that no devotees park in front of or in any way impede access to UNIFY's ATM.
- The Temple's use of the parking lot is limited to overflow parking for services and Temple events and only after UNIFY's normal business hours.

No charges associated with the use of UNIFY's parking lot are presently contemplated during this period, however UNIFY reserves the right to institute fees or charges should it identify unusual wear and tear on the property or a higher concentration of debris requiring cleanup.

We look forward to a continued friendly and cordial relationship with our community neighbor.

Sincerely,

Scott Johnson
CIO

Cc: Susan Osa, AVP, Administration

Shiva Murugan Temple, Concord
Off-Site Parking facilities

Temple has agreement with the Credit Union on 2nd street and First Lutheran Church at 4000, Concord Blvd. for parking spaces to be used on some of our special event days, in addition to the Temple parking lot.

In advance of these special event days, Temple will make announcements on our web site, by e-mail, and on our bulletin boards, advising members of the availability of these facilities.

When these are made available, members are strongly urged to use these facilities.

The Credit Union is adjacent to the Temple. Temple will provide a shuttle service from the church parking lot on days they are in use. Shuttle schedule will be announced ahead of time.

There is a drop-off and pick up spot right in front of the Temple.

- ***Thanks for your cooperation***

TDMP Attachment 6



Saiva Siddhantha Ashram
SHIVA MURUGAN TEMPLE



1803 Second Street, Concord, CA 94519-2623
Tel: (925) 827-0127 Web Site: www.Temple.Org
Non-Profit Organization Tax ID: 68-0351133

Board of Directors

President

Meena Ravi Annamalai

Vice-President

Muthuraman Alagappan

Vice-President – Temple Operations

Ravi Nadesan

Secretary

Nallakumar Meiyappan

Festival Chair

Ramu Malaiyandi

Public Relations

Muthuraman Alagappan

Web Co-ordinator

Nallappan Athappan

Volunteer Co-ordinator

Palani Annamalai

Religious Co-ordinator

Uday Meyyappan

Treasurer

V.S. Odaiyappan

Office Holders

Temple Priests

Ananth Sivachariar
Vishwanathan Narayanan
Sathish Balasubramanian

Associate Treasurer

Kuppe Srinivasan

PAADAYATRA TRANSPORT SCHEDULE

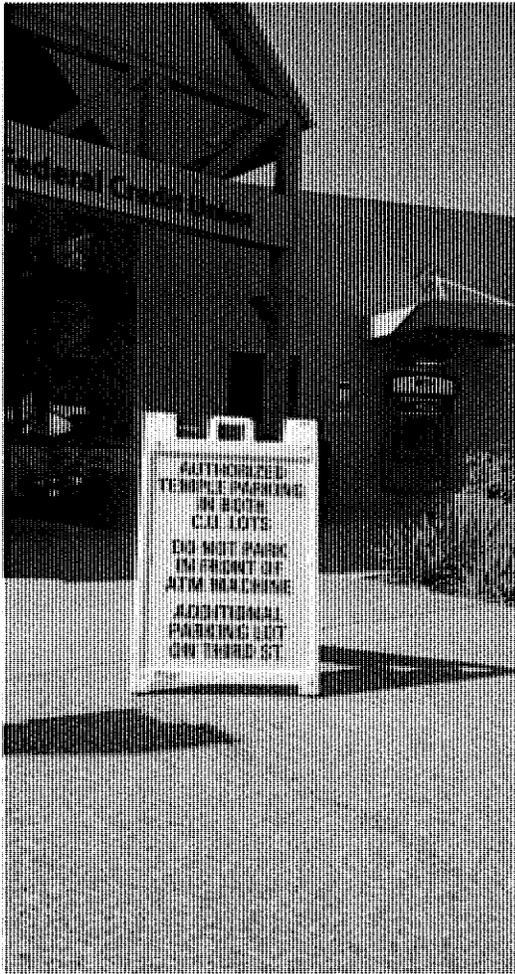
Most walking devotees arrive between 2- 6 PM.

We will schedule 4 large school buses and three commuter vans between the hours of 3 and 7:30 PM as follows:

3 PM	Commuter Van	Walnut Creek
3:30	Bus	San Ramon
3:45	Commuter Van	Walnut Creek
4:00	Bus	San Ramon
4:15	Commuter Van	Walnut Creek
4:30	Bus	San Ramon
4:45	Commuter Van	Walnut Creek
5:00	Bus	San Ramon
5:15	Commuter Van	Walnut Creek
5:30	Bus	San Ramon
5:45	Commuter Van	Walnut Creek
6:00	Bus	San Ramon
6:15	Commuter Van	Walnut Creek
6:30	Bus	San Ramon
6:45	Commuter Van	Walnut Creek
7:00	Bus	San Ramon
7:15	Commuter Van	Walnut Creek
7:30	Bus	San Ramon

Destination of any one transport may change depending on demand at that time. Traffic and crowd attendants will be provided.

Temple Management







RECEIVED

OCT - 7 2014

PLANNING

Tree Report

1803 Second Street
Concord, CA

Prepared for:

Ravi Nadesan
Shiva Murugan Cultural Center

Prepared by:

Arborwell Professional Tree Management
2337 American Avenue
Hayward, CA 94545

2337 AMERICAN AVE, HAYWARD, CA 94545
2949 EDISON WAY, REDWOOD CITY, CA 94063
1592 LITTLE ORCHARD STREET, SAN JOSE, CA 95110
3207 FITZGERALD ROAD, RANCHO CORDOVA, CA 95742
5601 EASTGATE DRIVE, SAN DIEGO, CA 92121
24551 RAYMOND WAY, SUITE 151, LAKE FOREST, CA 92630

OFFICE: (888) 969-8733
MAIN FAX: (510) 881-5208
WWW.ARBORWELL.COM

Introduction and Overview

The Shiva Murugan Cultural Center has proposed to redevelop the property located at 1802 Second Street, in Concord, CA. The site currently consists of a Worship & Auxillary Building, along with a Residence and Carport/Garage. Arborwell was asked to prepare a Tree Report for the site for review by the City of Concord.

This report includes a survey of all the trees of all trees on the site.

Survey Methods

The trees were surveyed on October 7, 2014. The survey consisted of the following steps:

1. Identify the tree species;
2. Assigning a tree identification number and recording its location on a map;
3. Measuring the diameter of the trunk at 54" above grade;
4. Approximation of canopy height and spread;
5. Evaluating the health and structural condition using a scale of 1-5;
 - 5 – A healthy, vigorous tree, with no reasonable signs or symptoms of disease, with good structure and form, typical for that species.
 - 4 – Tree with slight decline in vigor, moderate twig and small branch dieback, minor structural defects that could be corrected.
 - 3 – Tree with moderate vigor, moderate twig and small branch dieback, thinning crown, poor leaf color, moderate structural defects that might be mitigated with regular care.
 - 2 – Tree in decline, epicormic growth, extensive dieback of medium to large branches, significant structural defects that cannot be corrected.
 - 1 – Tree in severe decline, dieback of scaffold branches and/or trunk; most of foliage from epicormics; extensive structural defects that cannot be corrected.
6. Protected trees in the City of Concord per the Public Works Department, Parks Division. This includes any Coast Live Oak, 12 inches and greater when measured at a point 54" above grade or any other tree with a diameter of 24", when measured at 54" above grade. A protected tree may include any tree which has officially been designated a "Heritage Tree" by the action of the Planning Commission. Any protected trees will require a tree removal permit from the City of Concord.

7. Rating for future viability as “good”, “moderate”, “poor”, or “very poor”. The tree life expectancy considers health, age, and structural condition for each species.

Good: Tree is likely to die or fail in 15 years or more.

Moderate: Tree is likely to die or fail in 5 to 15 years.

Poor: Tree is likely to die or fail in upto 5 years.

Very Poor: Tree is likely to die or fail within 2 years.

Description of Trees

Twenty (20) trees were surveyed and consisted of eleven (11) different species. The trees are located around the structures, with the majority of them located in the open yard to the west of the structures.

The most frequent species encountered was *Juglans nigra*, Black Walnut, which accounted for 40% of the total tree count. The tree condition for the site as a whole was fair to poor, with 55% of all trees having a rating of 1 or 2.



Photo above left is Walnut Tree #6. This tree has significant dieback, mistletoe and decay column. The tree in the photo to the above right is Black Walnut #5. This tree has some major deadwood in the center of the canopy, and a couple of small cavities in the main trunk.

2337 AMERICAN AVE, HAYWARD, CA 94545
2949 EDISON WAY, REDWOOD CITY, CA 94063
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The two trees in the photo to the above left are #13, Coast Redwood and #14, Coast Live Oak. These trees are the two largest trees and appear to be located very close to the new building footprint. The photo to the above right is Tree #1, Camphor tree located along Second Street in front of the existing residence. Again this tree is located inside the footprint of the new proposed building.

Arborwell Professional Tree Management

Doug Hagge
ISA Certified Arborist # WE-4508A

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Arborwell Tree Survey

TAG	Species	Diameter at Breast Height in inches	Height	Canopy Spread	Condition 1=Poor 5=Excellent	Protected	Future Viability	Location	Comments/Prognosis
1	<i>Cinnamomum camphora</i> , Camphor	33	40	24	4	Yes	Good	East side (front) of Residence	Previously replaced sidewalk/roots cut
2	<i>Juglans nigra</i> , Black Walnut	24	26	14	1	Yes	Very Poor	North of gravel parking	Poor structure, Decay column in lower trunk
3	<i>Juglans nigra</i> , Black Walnut	26	29	24	2	Yes	Poor	North of gravel parking	Poor structure, included bark
4	<i>Juglans nigra</i> , Black Walnut	26	24	22	1	Yes	Very Poor	North of gravel parking	Poor structure, weak crotch
5	<i>Juglans nigra</i> , Black Walnut	25	26	27	2	Yes	Poor	North of gravel parking	Cavities/decay column
6	<i>Juglans nigra</i> , Black Walnut	27	28	24	2	Yes	Poor	South of gravel parking	Cavities/decay column, Mistletoe/dieback
7	<i>Juglans nigra</i> , Black Walnut	18	29	15	1	No	Very Poor	Southeast of gravel parking	70% dieback
8	<i>Acacia melanoxylon</i> , Black Acacia	24	9	0	1	No	Very Poor	SW corner of fence to house	Existing stump
9	<i>Juglans nigra</i> , Black Walnut	33	36	30	2	Yes	Moderate	West of existing Aux Bldg.	Major Mistletoe, decay at main crotch
10	<i>Juglans nigra</i> , Black Walnut	18	22	25	2	No	Moderate	East of gravel parking	Codominant stems, excessive limb weights
11	<i>Eriobotrya japonica</i> , Loquat	10	18	9	3	No	Good	East of gravel parking	Deadwood/Fire Blight
12	<i>Liquidambar styraciflua</i> , Sweet Gum	4	17	6	2	No	Poor	East of gravel parking	Severe declining health
13	<i>Sequoia sempervirens</i> , Coast Redwood	27	44	20	4	Yes	Good	West of gravel parking	Crowded growing condition
14	<i>Quercus agrifolia</i> , Coast Live Oak	32	36	45	4	Yes	Good	West of gravel parking	Crowded growing condition
15	<i>Betula pendula</i> , Birch	8	14	7	1	No	Very Poor	West of gravel parking	Dead
16	<i>Liquidambar styraciflua</i> , Sweet Gum	4	16	4	3	No	Good	West of gravel parking	Young tree
17	<i>Pinus pinea</i> , Italian Stone Pine	4	8	4	5	No	Good	East of gravel parking	Young tree
18	<i>Acacia melanoxylon</i> , Black Acacia	4	16	5	3	No	Moderate	East of gravel parking	Poor recent cuts
19	<i>Eucalyptus polyanthemos</i> , Silver Dollar Gum	27	42	29	3	No	Moderate	Concord Blvd. South of Bldg	Excessive limb weights/prev. trunk damage
20	<i>Citrus aurantifolia</i> , Lime Tree	4	17	8	5	No	Good	East side (front) of Residence	Fruit tree

1803 Second Street Shiva Murugan Cultural Center





REPORT TO PLANNING COMMISSION

DATE: September 21, 2016

SUBJECT: The Tire Shop Use Permit (PL16121 – UP)

Recommendation: Adopt Resolution No. 16-26 PC, Approving a Use Permit for the Tire Shop at 2900 Willow Pass Road.

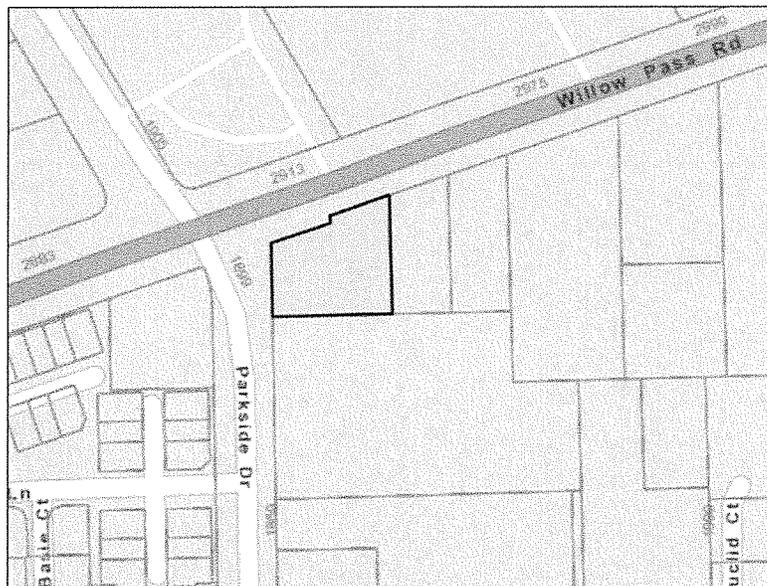
I. Introduction

A. Application Request

Application for a use permit to establish an Automotive Maintenance Service business specializing in tire repair and maintenance.

B. Location

The project site is located at 2900 Willow Pass Road; APN 113-041-033



C. Applicant/Owner

Jawaal Ibrahim
The Tire Shop
2900 Willow Pass Road
Concord, CA 94519

II. Background

The City has no record of the original approval for the existing service station located at 2900 Willow Pass Road. The service station existed in 1963 when the City approved Use Permit 53-63 for the Richfield Oil Corporation to expand the service station. In 1964, the City approved Variance 08-64 to eliminate front setback requirements for Richfield Oil to construct the existing gas canopy. Business license records indicate that a gas station and automotive service business occupied the site through 2013; the site has been vacant since then. The prior use permit and variance approvals are no longer valid since the service station use was discontinued for a period of 365 consecutive days. Therefore, any subsequent use of the property is subject to current permitting requirements and standards.

The site was purchased by Jawaal Ibrahim (“Applicant”) in November 2015 and a Use Permit application submitted to operate an Automotive Maintenance Services business on March 28, 2016. The project was reviewed by the Development Advisory Committee on April 26, 2016 and deemed incomplete at that time. The application was deemed complete on June 8, 2016 following submittal of additional information.

III. General Information

A. General Plan

The General Plan designation is Commercial Mixed Use.

B. Zoning

The site is zoned CMX (Commercial Mixed Use).

C. CEQA Status

Pursuant to the provisions of the California Environmental Quality Act (CEQA) of 1970, as amended, this project is classified as Categorical Exempt pursuant to Section 15301, Class 1 “Existing Facilities,” because the proposed use involves negligible or no expansion of an existing use. There is also no indication that there is a reasonable possibility that the project will have a significant effect on the environment due to a cumulative impact of other projects or unusual circumstances, or that the site is designated as a hazardous waste site. Accordingly, no further environmental review is required.

D. Site Description and Surrounding Land Use

The project site is a 0.29-acre (12,738 sq. ft.) corner lot located at the southeast corner of the Willow Pass Road and Parkside Drive signalized intersection. The site has approximately 140 feet of street frontage along Willow Pass Road and approximately 70 feet of street frontage along Parkside Drive. The site is developed with an approximately 1,400 square foot masonry building and a 25 ft. x 30 ft. fuel pump canopy. Other site improvements include a combination concrete masonry unit (CMU) wall and wood fence along the south property line, chain link fencing along the east property line, light poles located at the three exterior

corners of the site, and a detached CMU trash enclosure at the southeast corner of the site. Vehicle access is provided by a total of four driveways, two each off Willow Pass Road and Parkside Drive. Pedestrian access is provided by existing 10 foot sidewalks along the street frontages. The site is sparsely landscaped with one tree located along the east property line and planter boxes at the front of the building.

The site is surrounded by the following uses:

	Land Use	General Plan Designation	Zoning
North	Willow Pass Road/City Hall	Public Quasi Public	PQP
South	Apartments	Medium Density Residential	RM
East	Office Parking	Commercial Mixed Use	CMX
West	Parkside Drive/Service Station	Commercial Mixed Use	CMX

IV. Project Description

A. Description of Business

According to the Applicant’s project description, the proposed business will offer brake, tire alignment, rotation, and tire repair services. All service work will be conducted indoors and generally completed the same day. The business will also have tires for sale but will have a limited on-site inventory stored indoors. Out-of-stock tires will also be ordered for delivery to the site. The business will operate daily from 8:00 a.m. to 7:00 p.m. and will have one employee.

The proposed use is classified as “Automotive Maintenance Service” based on the Applicant’s description. The Development Code defines Automotive Maintenance Service as an “*establishment that provides maintenance services as opposed to repair while customers wait, such as oil changes, tune-ups, smog checks, tire sales and installation, auto radio/electronics installation, auto air conditioning/heater and the sale of related parts and accessories.*” This use classification typically does not require overnight storage and work is performed within a building or under covered bays.

B. Development Regulations

No significant changes are proposed to existing site conditions or buildings. The existing conditions are compared to the required development standards of CMX zoning in the following table.

Standards	Required/Allowed	Provided
Lot Area (minimum)	10,000 sq. ft.	12,738 sq. ft.
FAR (max.)	1.0	0.11
Lot width (minimum)	100 ft.	70 ft.
Lot Depth (minimum)	100 ft.	140 ft.
Setbacks (minimum)		
Front yard	5 ft.	21 ft.
Transitional side yard ¹	5 ft.	< 1 ft.
Exterior Side yard	10 ft.	10 ft. (to gas canopy edge)
Rear yard	None	30 ft.
Building Height (max.)	30 ft.	17 ft.
Parking Spaces	8 spaces	6 spaces

¹Transitional setback requirements under Development Code Section 18.150.180 apply to property lines between a proposed commercial use and a residential-zoned property.

C. Site Planning/Circulation/Parking

The Applicant proposes utilizing the existing site plan, buildings, and related improvements. The existing 1,400 square foot building faces north towards Willow Pass Road where the main customer entrance will be located. The building includes a service garage with two vehicle bays that will be accessed from the east side of the building. Existing parking located along the east property line, adjacent to the service garage, will be restriped to provide five parking spaces including one handicap parking space. A sixth parking space is proposed underneath the existing gas canopy.

Both driveways off Parkside Drive will be closed in addition to the Willow Pass Road driveway closest to the intersection. The closed driveways will be replaced with new curb, gutter and sidewalk. The eastern-most driveway off Willow Pass Road, located approximately 90 feet from the intersection, will remain to provide the only point of vehicle access to the site.

V. Analysis

A. General Plan

The site’s Commercial Mixed Use land use designation is intended for a “mix of commercial uses, offices, multi-family uses, and mixed use development.” General Plan policies applicable to the project and site are as follows:

Policy LU-1.2.4: Encourage neighborhood retail and service uses within convenient walking distance of all residential neighborhoods, where feasible.

The project is located in an area developed with a mix of office, residential, commercial and automotive-related uses consistent with the General Plan’s Commercial Mixed Use designation. The project will provide automotive maintenance services conveniently located within walking distance of nearby residential neighborhoods.

B. Zoning

The CMX (Commercial Mixed Use) zoning district allows Automotive Maintenance Service uses subject to a conditional use permit. Staff finds the project meets the required findings for use permit approval set forth in Development Code Section 18.435.060 and discussed below.

- 1) *The proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of the development code and the Concord Municipal Code.*

The proposed business is consistent with the Automotive Maintenance Service use classification which is permitted in the CMX district subject to a conditional use permit. Staff has identified existing conditions related to parking, signage, trash enclosure design, landscaping, and transitional fence/wall that do not comply with applicable Development Code standards. Staff recommends addressing these noncompliant conditions through minor project modifications and the Conditions of Approval (“COA”), and granting an exception to the transitional fence/wall requirement. These noncompliant conditions and staff’s recommendations to address them are discussed below.

Parking – Automotive Maintenance Service uses are required to provide four off-street parking spaces per service bay; therefore, a total of eight parking spaces are required for the project’s two service bays. The project would need to provide two additional parking spaces to the six parking spaces proposed. The site can accommodate additional parking underneath the gas canopy, along the east property line, or at the west side of the building. Staff recommends revising the site plan to include two additional parking spaces, subject to review and approval by the City prior to Certificate of Occupancy. (COA #13)

Signage – The prior business utilized aluminum blade signs attached to light poles. Staff recommends removing these signs to comply with Development Code requirements for the removal of abandoned signs. (COA #9)

Trash Enclosure Design – Trash enclosures must be designed to match the existing building architecture and include a roof and secure access doors. Trash enclosures are also required to be located away from residential uses. The existing CMU trash enclosure matches the materials used for the building but is in poor condition, does not have a roof or secure access doors, and abuts the apartment complex located to the south. Staff recommends removing the existing trash enclosure and locating all trash facilities inside the building. (COA #37)

Landscaping – For commercial uses, the Development Code requires 20% of the site area to be landscaped. This would amount to approximately 2,500 square feet of landscaping for a site that is covered with buildings or paving. Full compliance with the landscape requirement is not practical because it would require the removal of existing improvements for landscaping and irrigation. As an alternative, staff recommends adding heavy duty timber planter boxes along exterior property lines to provide landscaping and buffers between the site and public sidewalk. (COA #7)

Transitional Fence and Walls Requirements – The Development Code recommends an eight-foot tall masonry wall between residential uses and commercial uses that do not involve outdoor storage or activities. The existing service building is located on the property line shared with the abutting apartment to the south. Remnants of a six-foot tall CMU wall, ostensibly constructed as part of the original development, extend from the building and along the south property line. Large portions of the CMU wall were removed and replaced with wood fencing along the south property line.

The project would need to construct a new eight foot tall masonry wall to comply with this requirement. The Planning Commission has the discretion to waive this requirement or to require an alternate method for compliance if it makes certain findings. These findings are listed below followed by staff's evaluation of the project's consistency with each finding.

A. The relationship of the proposed uses makes screening unnecessary.

The proposed use does not involve outdoor repair or storage that would require screening. All service activities will be located indoors. The neighboring apartment building is a two-story building located approximately 10 feet away from the project site and overlooks the existing building and project site. Therefore, the added benefit of a taller screen wall will be negligible.

B. The intent of this subsection can be better met by alternative screening methods, including site planning, building orientation, additional setbacks, and landscaping.

There are no practical alternatives related to site planning, building orientation and setbacks that would provide screening without significantly modifying or demolishing the existing building and site improvements. The existing combination wood fence and masonry wall is an acceptable alternative given the constraints of existing site improvements and because, as explained above, the benefits of a taller wall would be negligible. Raised tree boxes will be required along the south property line for added screening.

C. Physical characteristics and/or constraints on the site make the required screening infeasible or impractical.

See discussion above.

2) The proposed use is consistent with the general plan and any applicable specific plan.

The project is consistent with the General Plan as discussed in Section V-A of this report. There is no specific plan that applies to the project site.

3) The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity.

The design, location, size and operating characteristics of the proposed business will be compatible with existing land uses in the vicinity that includes service stations and automotive services along Willow Pass Road that are located within a quarter mile of the site. The project would offer automotive service conveniently located within walking distance of workers and residents from nearby offices and homes, as encouraged by the General Plan for this mixed use district.

- 4) *The site is physically suitable for the type, density, and intensity of the proposed use, including access, utilities, and the absence of physical constraints.*

The site is physically suitable for the proposed use since it is already developed for automotive service. No significant changes are needed to the site or existing improvements to accommodate the use. There are no access, utility or physical constraints to the site.

- 5) *Granting the permit would not be detrimental to the public health, safety, or welfare of the persons residing or working in the subject neighborhood or materially detrimental or injurious to property or improvements in the vicinity and zoning district where the property is located.*

Granting the use permit would not be detrimental to the public health, safety, or welfare of persons residing or working in the neighborhood. The proposed use will be similar in nature to automotive-related uses that have occupied the site and that exist in the area. A Condition of Approval will require all repair activities, storage and operations to be conducted indoors to further minimize impacts to persons working or residing in the area. A Property Maintenance Agreement will also be required to ensure property improvements will be adequately maintained.

C. Site Planning/Circulation/Parking

Staff recommends removal of both driveways along Parkside Drive and the Willow Pass Road driveway closest to the intersection. Two of these driveways are within 15 feet of the intersection and pose traffic safety concerns. Removing these driveways eliminates potential turning movement conflicts from the gas station across the street and from north and south bound traffic on Parkside Drive. The second driveway off Willow Pass Road, located approximately 90 feet from the intersection, will remain as the only vehicle access to the site. Limiting vehicle access to this one driveway improves safety by locating traffic further away from the intersection, and by providing a longer deceleration and turn lane into the site from Willow Pass Road.

The Applicant has agreed to eliminate the driveways and to replace them with new curb, gutter and sidewalk. The City typically requires new frontage improvements to be constructed prior to building occupancy. The applicant requests a deferred improvement agreement allowing completion of the frontage improvements within 18 months of use permit approval. The additional time would allow the Applicant to generate revenue to recoup the businesses' carrying costs, fund initial operating costs, and build capital to fund the construction of the frontage improvements. The City is recommending a deferment of no longer than six months

from use permit approval to complete the frontage improvements. The City will require a performance bond equal to 10% of the estimated cost of the frontage improvements that will be released to the Applicant upon completion of the frontage improvements to the satisfaction of the City Engineer. (COA #17)

VI. Fiscal Impact

The proposed would have a negligible fiscal impact on the City.

VII. Public Contact

Notification was mailed to all owners and occupants of property within three-hundred (300) feet of the subject parcel, and has been published in the Contra Costa Times, as required by the Concord Municipal Code. This item has also been posted at the Civic Center and at the subject site at least 10 days prior to the public hearing.

VIII. Summary and Recommendations

Staff supports the Use Permit to establish an Automotive Maintenance Service business because it will establish an appropriate use on a vacant site already that is already developed and suited for automotive service. Therefore, staff recommends that the Planning Commission open the public hearing on the application, consider the staff report, presentation by the applicant, public testimony, and any other issues identified, and then close the hearing upon completion of public testimony. After considering the merits of the project, staff recommends the Commission adopt Resolution No. 16-26 PC, approving a Use Permit for the Tire Shop at 2900 Willow Pass Road.

IX. Motion

Project Approvals

I (Comm. _____) hereby move that the Planning Commission adopt Resolution 16-26PC approving The Tire Shop Use Permit (PL16121 – UP), subject to the Conditions of Approval set forth in Exhibit A to Resolution 16-26PC. (Seconded by Comm. _____.)

Prepared by: Frank Abejo
Frank M. Abejo
Senior Planner
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Reviewed by: Laura Simpson
Laura Simpson, AICP
Planning Manager
(925) 671-3369
laura.simpson@cityofconcord.org

Attachments:

- 1 - PC Resolution 16-26 and Conditions of Approval (Exhibit A)
- 2 - Applicant's statement of business
- 3 - Applicant's request for 18-month deferral of frontage improvements
- 4 - Applicant's project plans date-stamped received May 10, 2016

BEFORE THE PLANNING COMMISSION
OF THE CITY OF CONCORD,
COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA

A RESOLUTION APPROVING THE TIRE SHOP
USE PERMIT (PL16121 – UP)

Resolution No. 16-26PC

WHEREAS, on March 28, 2016, Jawaal Ibrahim submitted an application to establish an Automotive Maintenance Service business specializing in tire installation and repair at 2900 Willow Pass Road, APN 113-041-033; and

WHEREAS, on June 8, 2016, the application was deemed complete for processing; and

WHEREAS, the Planning Commission, after giving all public notices required by State law and the Concord Municipal Code, held a duly noticed public hearing on September 21, 2016, the subject proposal; and

WHEREAS, the Planning Commission considered testimony and information received at the public hearing and the oral and written reports from City staff dated September 21, 2016, as well as other documents contained in the record of proceedings relating to the proposed project, which are maintained at the offices of the City of Concord Planning Division; and

WHEREAS, on September 21, 2016, the Planning Commission, after consideration of all pertinent plans, documents and testimony, declared their intent to approve the subject proposal subject to the Conditions of Approval contained herein as Exhibit A.

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS: that the Planning Commission does hereby approve The Tire Shop Use Permit (PL16121 – UP) subject to the Conditions of Approval and further makes the following findings:

California Environmental Quality Act (CEQA)

1. Pursuant to the provisions of the California Environmental Quality Act (CEQA) of 1970, as amended, this project is classified as Categorical Exempt pursuant to Section 15301, Class 1 “Existing Facilities, because the proposed use involves negligible or no expansion of an existing use. There is also no indication that there is a reasonable possibility that the project will have a significant effect on the environment due to a cumulative impact

1 of other projects or unusual circumstances, or that the site is designated as a hazardous waste
2 site. Accordingly, no further environmental review is required.

3 General Plan

4 2. The project is located in an area developed with a mix of office, residential,
5 commercial and automotive-related uses consistent with the General Plan's Commercial
6 Mixed Use (CMU) designation.

7 3. The project will provide automotive maintenance services conveniently located within
8 walking distance of nearby residential neighborhoods, consistent with General Plan Policy
9 LU-1.2.4.

10 Use Permit

11 4. *The proposed use is allowed within the applicable zoning district and complies with all*
12 *other applicable provisions of the development code and the Concord Municipal Code.* The
13 proposed business is consistent with the Automotive Maintenance Service use classification
14 permitted in the CMX district subject to a conditional use permit. Minor project modifications
15 will be required as part of the Conditions of Approval to ensure compliance with applicable
16 provisions of the Development Code. As discussed in Finding #9 below, the existing
17 combination wood fence and masonry wall along the south property line is an acceptable
18 alternative to an eight-foot tall masonry wall typically required for transitional screening.

19 5. *The proposed use is consistent with the general plan and any applicable specific plan.* The
20 proposed use is consistent with the General Plan as discussed in Finding #2 above. There is no
21 specific plan that applies to the project site.

22 6. *The design, location, size, and operating characteristics of the proposed activity are*
23 *compatible with the existing and future land uses in the vicinity.* The project is located along a
24 commercial street with properties zoned and developed for commercial uses including nearby
25 automotive service uses. The project would offer automotive service conveniently located
26 within walking distance of neighboring residents and people who work at nearby offices and
27 businesses as encouraged by the General Plan for this mixed use district.

1 7. *The site is physically suitable for the type, density, and intensity of the proposed use,*
2 *including access, utilities, and the absence of physical constraints.* The site is physically
3 suitable for the proposed use since it is already developed for automotive service. No
4 significant changes are needed to the site or existing improvements to accommodate the use.
5 There are no access, utility or physical constraints to the site.

6 8. *Granting the permit would not be detrimental to the public health, safety, or welfare of the*
7 *persons residing or working in the subject neighborhood or materially detrimental or*
8 *injurious to property or improvements in the vicinity and zoning district where the property is*
9 *located.* Granting the use permit would not be detrimental to the public health, safety, or
10 welfare of persons residing or working in the neighborhood. The proposed use will be similar
11 in nature to automotive-related uses that have occupied the site and that exists in the area. A
12 Condition of Approval will require all repair activities, storage and operations to be conducted
13 indoors to further minimize impacts to persons working or residing in the area. A Property
14 Maintenance Agreement will also be required to ensure property improvements will be
15 adequately maintained.

16 9. An eight-foot tall masonry wall typically required to screen the project site as viewed from
17 the apartment complex to the south is not necessary due the following reasons:

18 a. *The relationship of the proposed uses makes screening unnecessary.* The proposed use
19 does not involve outdoor repair or storage that would require screening. All service
20 activities will be located indoors. The neighboring apartment building is a two-story
21 building located approximately 10 feet away and overlooks the existing building and
22 project site. Therefore, the added benefit of a taller screen wall will be negligible.

23 b. *The intent of this subsection can be better met by alternative screening methods,*
24 *including site planning, building orientation, additional setbacks, and landscaping.* There
25 are no practical alternatives related to site planning, building orientation and setbacks that
26 would provide screening without significantly modifying or demolishing the existing
27 building and site improvements. The existing combination wood fence and masonry wall is
28

1 an acceptable alternative given the constraints of existing site improvements and because,
2 as explained above, the benefits of a taller wall would be negligible.

3 c. *Physical characteristics and/or constraints on the site make the required screening*
4 *infeasible or impractical.* As discussed in Findings #9a and #9b, the site's physical
5 characteristics and constraints make the required screening infeasible or impractical.

6 10. This resolution shall become effective immediately upon its passage and adoption.

7 **PASSED AND ADOPTED** this September 21, 2016, by the following vote:

8 **AYES:** Commissioner -

9 **NOES:** Commissioner -

10 **ABSTAIN:** Commissioner -

11 **ABSENT:** Commissioner -

12
13

Laura Simpson, AICP
Secretary to the Planning Commission

14 Exhibits:

15 A – Draft Conditions of Approval

16
17 cc: Kevin Marstall, Current Development – Engineering
Robert Woods, Building Division
18 Captain Robert Marshall, Contra Costa County Fire Protection District
19
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EXHIBIT A

Resolution No. 16-26 PC
The Tire Shop (PL16121 – UP)

DRAFT CONDITIONS OF APPROVAL THE TIRE SHOP PL16121 – UP 2900 WILLOW PASS ROAD APN 113-041-033

PERMIT DESCRIPTION

1. These Conditions apply to and constitute the approval of a **Use Permit (PL16121 – UP)** to establish an Automotive Maintenance Service business specializing in tire repair and service in an existing 1,408 square foot building. The use shall be consistent with the “Statement of Business” prepared by Nadeem Iqbal/Javad Ibrahim on file at the Planning Division. No outdoor storage, repair, maintenance or other activities are allowed. Customer vehicles may be parked outside prior to or after being serviced but shall not be stored overnight.
2. The following Exhibits, date stamped received by the City of Concord, on March 28, 2016 and May 10, 2016, are approved and shall be incorporated as Conditions of Approval.

<u>Exhibit</u>	<u>Date Prepared/Received</u>	<u>Prepared by</u>	<u>Sheet</u>
Statement of Business	3/28/16	Nadeem Iqbal/Javad Ibrahim	N/A
Site Plan	5/10/16	Consulting Engineers, Inc.	1
Building Elevations	5/10/16	Consulting Engineers, Inc.	2

The project shall comply with the above exhibits except as modified by Conditions of Approval 7, 9, 13 and 37. Additional modifications that are minor and found to be in substantial conformance with the approved plans may be approved administratively. Major modifications shall be approved by the applicable decision making body. *(PLNG, ENGR)*

GENERAL CONDITIONS

3. The Conditions are the responsibility of the applicant and all contractors. Compliance shall occur as specified in the Conditions or at one of the following project milestones:
 - (a) With the submittal of Improvement, Landscape, or Building Plans.
 - (b) Prior to issuance of Encroachment, Grading, or Building Permits, whichever comes first.
 - (c) Prior to Construction.
 - (d) On going during Construction.
 - (e) Prior to Final Building Permit Inspection.

If timing for compliance is not specified, it shall be determined by the Divisions listed after the Condition. *(PLNG, BLDG, ENGR)*

4. Where a plan or further information is required, it is subject to review and approval by the applicable City Department/Division, as noted at the end of each Condition. The Division listed first shall be the primary contact for implementation of that Condition. *(PLNG, BLDG, ENGR)*

5. The project shall comply with all applicable Federal and State laws and Concord Municipal Code (CMC) requirements. *(PLNG, BLDG, ENGR)*
6. Submit three signed copies, one notarized, of the City’s “Property Maintenance Agreement”, to ensure on-going repair, replacement and maintenance of all exterior improvements including buildings, parking areas, private roads, walkways, landscaping, irrigation, signs, fences, walls, and other improvements, prior to issuance of Grading or Building permits, whichever comes first. *(PLNG)*

LANDSCAPING

7. Provide landscaping in raised planter boxes along Willow Pass Road, Parkside Drive, and along the south property line perimeter wall/fence prior to Certificate of Occupancy. The location and design of the planter boxes and landscaping are subject to review and approval by the Planning Division and shall be installed prior to Final Building Permit Inspection. *(PLNG)*

LIGHTING

8. All exterior building and parking lot lighting shall provide illumination for safety and shall be installed in a manner that is glare shielded and directed away from adjacent properties and right-of-ways. *(PLNG)*

SIGNAGE

9. Existing signage shall be removed prior to final building permit inspection. *(PLNG)*
10. All new signage shall comply with the City of Concord Sign Ordinance and require. *(PLNG)*
CMC
11. Pennants, banners, streamers, or flags in connection with special promotions and business openings shall be permitted for a period not to exceed 30 days. The same, different, or similar pennants, banners, streamers, and flags shall not be permitted within 150 calendar days after such removal. No pennants, banners, streamers, balloons, inflatable devices, flags, or any other advertising devices shall be mounted on or above any roof or mansard, or otherwise extend above a parapet wall or ridge of a structure. *(PLNG)* **CMC**
12. Paper or printed window signs shall be limited to no more than 10 percent of the window area of any street frontage or more than 50 percent of any single window pane. *(PLNG)* **CMC**

PARKING

13. Applicant shall revise site plan to show a total of eight vehicle parking spaces and two short-term bicycle parking spaces. The required parking spaces shall be constructed prior to the Final Building Permit Inspection. *(PLNG)*

14. Any vehicle that identifies a business by way of signage that is painted on or applied to the vehicle shall be parked in a delivery or storage area at the rear of the building or in an area screened from view from adjacent public right-of-way. **(PLNG)**
15. Handicapped parking spaces shall comply with Chapter 11 “Site Development Requirements for Handicapped Accessibility” of Title 24 of the California Code of Regulations, and be located as close as possible to the primary entrance. **(BLDG)**

STREET IMPROVEMENTS

16. Dedicate right-of-way to the City along *Willow Pass Road and Parkside Drive* frontages, to accommodate the ultimate half-width roadway right-of-way of approximately 40 feet on Willow Pass Road and 30 feet on Parkside Drive prior to the issuance of Permits. **(ENGR)**
17. Construct improvements along the frontages on Willow Pass Road and Parkside Drive including but not limited to: driveway removal; construction of concrete curb, gutter and sidewalk; ADA compliant concrete driveway approach; conforms to existing improvements; and repair/replacement of deficient frontage improvements as determined by the City Engineer, within six (6) months of use permit approval, as guaranteed by Faithful Performance Bond. **(ENGR)**
18. Any trenching for underground utilities shall comply with the modified City Standard Detail S-17 for pavement repair and possible slurry placement. **(ENGR)**
19. Construct all public facilities in accordance with the current Americans with Disabilities Act (ADA), including driveways and curb ramps. **(ENGR)**

NOISE

20. Noise producing site preparation and construction activities shall be limited to the days and hours as set forth below:

Monday through Friday7:30 a.m. to 6:00 p.m.

Construction on Saturdays may be allowed only upon prior approval by the Building, Engineering, and Planning Divisions. No changes to these construction hours shall be allowed without the prior written consent of the City. A contact person shall be available during all construction activities in the evening and on weekends to respond to complaints and take actions necessary to reduce noise. **(BLDG, ENGR, PLNG)**

CONSTRUCTION ACTIVITIES

21. Contact Engineering Services to arrange for a Pre-Construction Meeting prior to issuance of Encroachment Permit. **(ENGR)**
22. Construction equipment shall not be serviced at the site at any time. During construction no deliveries shall be made to the site and no delivery vehicles (including gasoline tanker trucks)

shall enter the site between 6:00 p.m. and 7:30 a.m. on weekdays, and between 5:00 p.m. and 8:00 a.m. on weekends and federal holidays. Delivery vehicles shall have their engines turned off during unloading. **(BLDG, ENGR, PLNG)**

23. Employ the quietest construction equipment available, to muffle noise from construction equipment and keep all mufflers in good working order in accordance with State law. **(BLDG, ENGR, PLNG)**
24. Implement the following measures during construction:
 - a. Gather all construction debris on a regular basis and place them in a dumpster or other container that is emptied or removed on a weekly basis. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to storm water pollution.
 - b. Remove all dirt, gravel, rubbish, refuse, and green waste from the street pavement, and storm drains adjoining the project site. During wet weather, avoid driving vehicles off paved areas.
 - c. Broom sweep the public street pavement adjoining the project site on a daily basis. Caked-on mud or dirt shall be scraped from these areas before sweeping.
 - d. Install filter materials (e.g., sandbags and filter fabric) at the storm drain inlet nearest the downstream side of the site in order to preclude any debris or dirt from flowing into the City storm drain system. Filter materials shall be maintained and/or replaced as necessary to ensure effectiveness and to prevent street flooding. Dispose of filter particles in an approved trash receptacle.
 - e. Create a contained and covered area on the site for the storage of bags, cement, paints, flammable, oils, fertilizers, pesticides, or any other materials used on the site that have the potential for being discharged to the storm drain system by being windblown or in the event of a material spill.
 - f. Never clean items such as machinery, tools, and brushes or rinse containers in a street, gutter, or storm drain.
 - g. Ensure that concrete, gunite, plaster, or similar supply trucks do not discharge wash water into street gutters or drains. **(ENGR, BLDG)**
25. No equipment shall be started or staging area be established on the streets or the site before or after the specified hours of construction. **(ENGR, BLDG)**
26. Ensure that no debris or construction scrap material is placed on any adjoining lot, open space area, or street, and that any such material stored on an adjoining site shall be completely removed and the site cleaned, prior to occupancy approval. **(ENGR, BLDG)**
27. There shall be no parking of construction equipment or construction worker's vehicles on residential streets at any time; all vehicles shall be maintained on-site. **(ENGR, BLDG)**
28. Portable toilets used during construction shall be kept as far as possible from adjacent properties and shall be emptied on a regular basis as necessary to prevent odor. **(ENGR, BLDG)**

29. Identify truck routes for the import or export of cut/fill material and/or construction debris for review and approval by the City Engineer prior to the issuance of permits. Repair any damage to City streets (private and public) caused by activity associated with this project. *(ENGR)*

CONSTRUCTION PLAN REVIEW/PRE-PERMIT REQUIREMENTS

30. The Improvement Plans shall show frontage improvements including but not limited to: drainage improvements, curb, gutter and sidewalk per City Standard Detail S-10, and driveway construction per City Standard Detail S-14 and repair/replacement of deficient frontage improvements as determined by the City Engineer. Any unusable existing driveway shall be replaced with standard curb, gutter, and sidewalk per S-10 above. Any trenching for utility installation shall comply with the modified City Standard Detail S-17 for pavement repair and possible slurry placement. *(ENGR)*
31. The Improvement Plans shall show plan and profile of all proposed street, drainage and sewer improvements and details for curb, gutter, sidewalk, and driveway construction. *(ENGR)*
32. Design improvements in accordance with the City Standard Plans S-34 and S-36 for sight distance, sidewalk, back up, fencing, geometrics at intersection and corner setback requirements, prior to the Acceptance of Improvements. Plans shall be subject to review and approval by Engineering Services. *(ENGR)*
33. Obtain an Encroachment Permit from the City prior to performing any work within the public right-of-way or public easements. *(ENGR) CMC*

DRAINAGE/STORMWATER C.3 REQUIREMENTS

34. Prevent site drainage from draining across sidewalks and driveways in a concentrated manner. *(ENGR)*
35. Install City of Concord “No Dumping, Drains to Creek” curb marker (English and Spanish version) on all catch basins. *(ENGR)*
36. Clean all on-site stormdrain facilities a minimum of twice a year, once immediately prior to October 15 and once in January. Additional cleaning may be required if found necessary by the City Engineer/Director of Building Inspection. *(ENGR, BLDG)*

SOLID WASTE/RECYCLING

37. The existing trash enclosure shall be demolished prior to Certificate of Occupancy and all solid waste and recycling bins stored indoors. *(PLNG)*

AGREEMENTS, FEES, BONDS

38. All fees noted below are the fees currently in effect as of July 1, 2016 per the Resolution of Fees and Charges. The fees and charges are reviewed annually as part of the budget public hearing

process. Fee adjustments are based on a number of factors and vary depending on the type of fee:

Service-based fees are adjusted annually based on the San Francisco-San Jose-Oakland Area Consumer Price Index;

Improvement based fees (also called impact fees) are adjusted annually based on Engineering News Record Construction Cost Index (San Francisco Bay Area); and the

Parkland Fee is adjusted per Section 78-95 of the Concord Municipal Code.

The fees become effective as of the date set forth in Exhibit A of Resolution No. 78-6042, Fees and Charges for Various Municipal Services, as most recently amended and approved by the City Council. Persons interested in how a particular fee is calculated should contact the City Department administering the fee or the Finance Department. **(ENGR)**

39. Provide a **\$1,000** cash deposit to the Planning Division to cover Condition Compliance and Mitigation Monitoring costs, at the time of submittal of plans and documents to Engineering Services or the Building Division for plan check. Planning staff's time will be charged to this deposit for work performed to implement the Conditions of Approval, from the time of project approval to occupancy approval. **(PLNG)**
40. Pay a Document Imaging fee to reimburse the City for implementation of the Document Imaging and File Retention programs, prior to issuance of Grading or Building Permits. **(PLNG)**
41. All required faithful performance bonds and labor materials bonds in a penal amount equal to 100 percent of the approved estimates of construction costs of improvements shall be submitted to and approved by the City and other agencies having jurisdiction prior to approval of the Final Map or issuance of the Building or Grading Permit, whichever comes first. **(ENGR)**
42. Encroachment Permit Application:
 - a. Pay the Filing Fee and Application Processing Fee at the time of submittal of permit application, improvement plans and supporting documents to City Engineering Services for review. The current fee is \$198.00 plus inspection fees.
 - b. Provide a restoration security before issuance of the Encroachment Permit. The security shall be in an amount sufficient to restore existing public improvements to a serviceable condition should development improvement activity cause damage. The amount of the security shall be determined by, and be in a form acceptable to the City Engineer. **(ENGR)**

OTHER/MISCELLANEOUS

43. Contact local postal authorities to get their requirements for mail facilities for the project. The design and location of mail receptacles shall be reviewed and approved by the Planning Division and shown on the Utility, Landscape, and Building Plans, prior to issuance of Grading or

Building Permits, whichever comes first. Mail facilities shall be installed prior to occupancy approval. *(PLNG)*

44. Comply with the requirements of the Contra Costa County Health Department for the abandonment of existing septic tanks or wells. *(ENGR) CMC*
45. Comply with the requirements of the Contra Costa Fire Protection District. Submit complete sets of plans and specifications to the Fire District for review and approval at:

Contra Costa County Fire Protection District
2010 Geary Road
Pleasant Hill, CA 94523

Plan review fees are assessed at that time. The City is not responsible for the collection of fees or enforcement of requirements imposed by the Fire District. *(CCCFIRE)*

46. The permit and approval shall expire in one year from the date on which they became effective unless construction permits are obtained and work has begun. All permits approved concurrently with a Tentative Map shall be valid for the life of the map. The effective date of the permit and approval is **October 3, 2016**. *(PLNG)*
47. A request for a time extension from the expiration date of **October 3, 2017** can be considered if an application with required fee is filed at least 45 days before the original expiration date, otherwise a new application is required. A public hearing will be required for all extension applications, except those involving only Design Review. Extensions are not automatically approved. Changes in conditions, City policies, surrounding neighborhood, and other factors permitted to be considered under the law, may require, or permit denial. *(PLNG)*
48. The applicant shall defend (with counsel approved by City), indemnify and hold harmless the City, any agency or instrumentality thereof, and its/their respective agents, officers, officials, volunteers, and employees from and against any and all administrative and/or legal claims, actions or proceedings to attack, set aside, void, or annul approval of the project, including without limitation, any related application, permit, certification, condition, environmental determination, other approval, compliance or failure to comply with applicable laws and regulations, and/or processing methods (“Challenge”), with the exception of a Challenge arising out of the City’s sole negligence or willful misconduct. The City shall have the right to pre-approve any material decision involved in defending any such Challenge, including settlement, and may (but is not obligated to) participate in the defense of any Challenge. If applicant does not promptly defend any Challenge, City may (but is not obligated to) defend such Challenge as City, in its sole discretion, determines appropriate, all at applicant’s sole cost and expense. The applicant shall bear any and all losses, damages, injuries, liabilities, costs, and expenses (including, without limitation, staff time and in-house attorney’s fees on a fully-loaded basis, attorney’s fees for outside legal counsel, expert witness fees, court costs, and other litigation expenses) arising out of or related to any Challenge (“Costs”), whether incurred by Developer, City, or awarded to any third party, and shall pay to the City upon demand any Costs incurred by the City. No modification of the project, any application, permit, certification, condition, environmental determination, other approval, change in applicable laws and regulations, or

change in processing methods shall alter the applicant's indemnity obligation. Pursuant to Government Code Section 66474.9, the applicant's indemnification obligation with respect to any claim, action or proceeding to attack, set aside, void, or annul an approval of City concerning a subdivision (tentative, parcel, or final map application or approval) shall be limited to actions brought within the time period provided for in Government Code Section 66499.37, unless such time period is extended for any reason. The City shall promptly notify applicant of any Challenge, and shall cooperate fully in the defense. *(CA)*

The Tire Shop
Nadeem Iqbal/Javad Ibrahim
2900 Willow Pass Rd, Concord CA 94519

RECEIVED

MAR 28 2016

PLANNING

Statement of Business

The primary business the Tire Shop will be to service vehicles with their brakes, tire alignments, rotations and tire repairs. All services will be done indoors in the car bay and will same day service. There will be no overnight storages for cars as there will be a short turn around for these services. There will be some tires in stock for retail and all of our inventory will be stored indoors. For retail tires that we will need to order, we will have them delivered to us from various companies. Deliveries will be done largely in a four-door truck owned either us or the company. Number of employees will be one with the co-owner Javad Ibrahim operating this business. The primary clients and customers will come from the local neighborhood who will find the site a very convenient location to service their automobiles. The store hours will listed as 8am to 7 pm, Monday through Sunday. We will not be conducting any of our services outside the car bays. There will only be temporary parking for cars waiting for our service but no overnight storages. There will be fours parking slots designated for customers, one for paralyzed parking and one for employee parking. There will be no sale of alcoholic beverages inside.

June 3, 2016

FROM: Jawad Ibrahim
SUBJECT: 2900 Willow Pass Road
Concord, CA 94519
APN: 113-041-033
To: Concord Planning Department

RECEIVED
JUN 08 2016
PLANNING

1. This memorandum concerns the Planning Department's recently imposed requirement to modify the driveway's located at the above mentioned property. As discussed during our last meeting on May 26, 2016, we agreed to keep one current driveway open and close the remaining unused driveways in order to comply with 12.25.020.
2. We agree that the current agreement is reasonable under the circumstances; however, we respectfully request a review of the general six month timeline for completion.
3. Since our purchase in November 2015, we have encountered significant difficulty in complying with city ordinances, driven by limited financial resources and cumbersome regulations. As you are aware, this property has been vacant for approximately two years. As a new owner, we are eager to bring everything to code, repair broken items and address the eyesore of an abandoned property.
4. As a minority owned small business, our financials are severely limited. If we had unlimited resources, this would not be an issue. Year to date we continue to service our mortgage with no incoming revenue. The immediate construction expense for this sidewalk could prove financially devastating. **We respectfully request 18 months to complete this project.**
5. We will do everything possible to bring this property and corner to life. We look forward to becoming good business operators, real estate owners, and tax payers for the city of Concord, CA. Thank You.

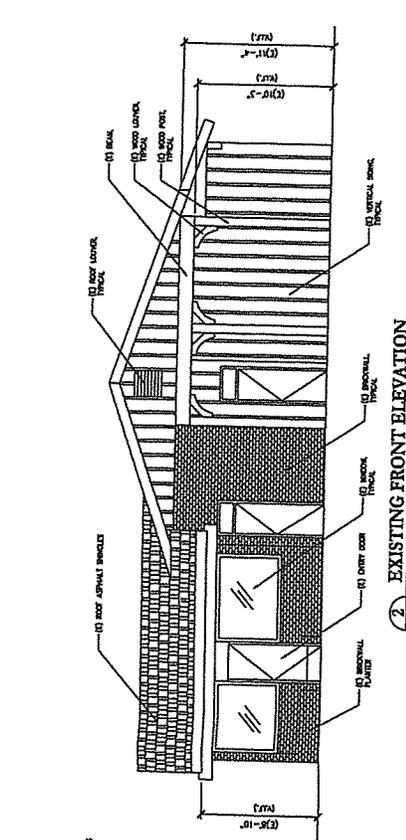
Jawad Ibrahim

CONSULTING ENGINEERS, INC.
 11100 BAYVIEW BLVD. SUITE 100
 BAYVIEW, MI 48064-1500
 TEL: (313) 486-2000 FAX: (313) 486-2003
 WWW.CONSULTINGENGINEERS.COM

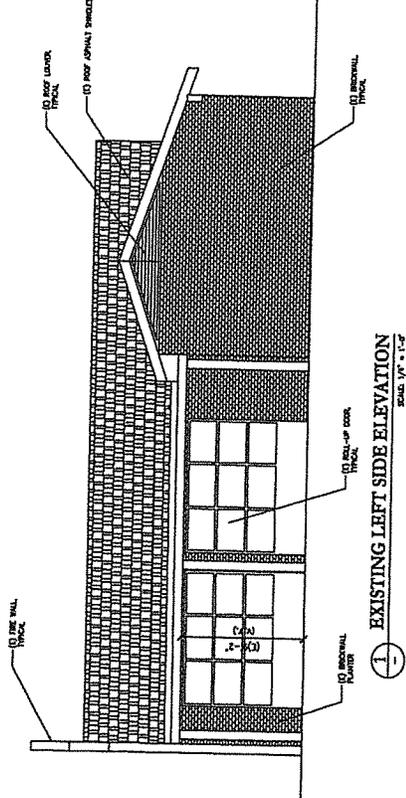
PROPOSED TRE SHOP
 APN 113-041-033
 SARA IQBAL
 ADDRESS: 2900 WALLOW AVENUE
 CITY OF CONCORD

PROJECT/OWNER
 DRAWN: AM
 CHECKED: RBC
 SCALE
 DATE: 03/29/18

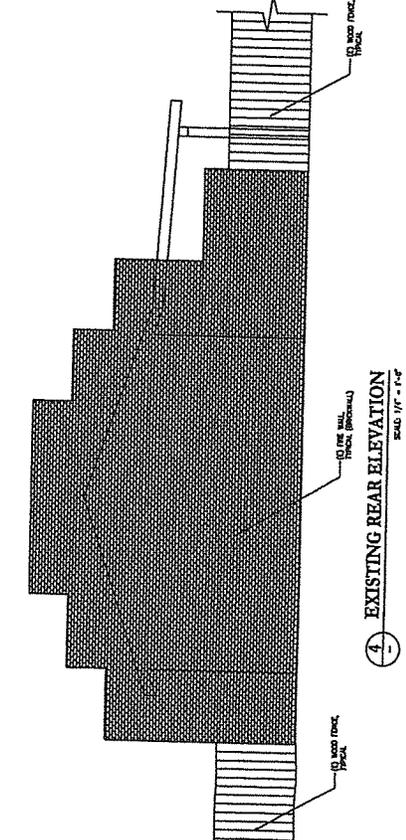
EXISTING BUILDING ELEVATIONS
 SHEET NO. 18-041
 REVISIONS
 SHEET NO.



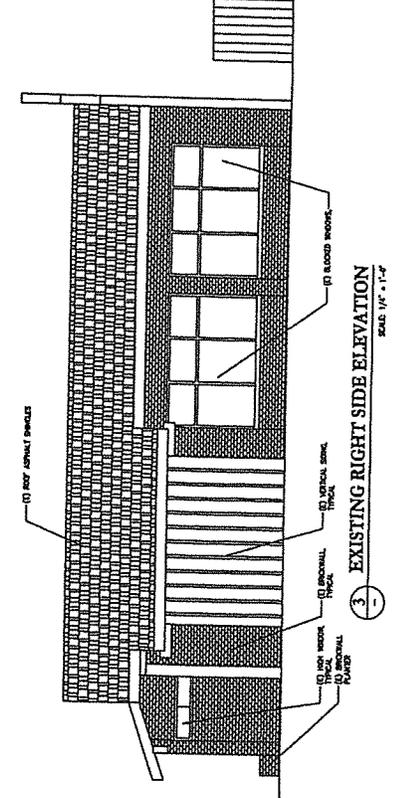
2 EXISTING FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



1 EXISTING LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



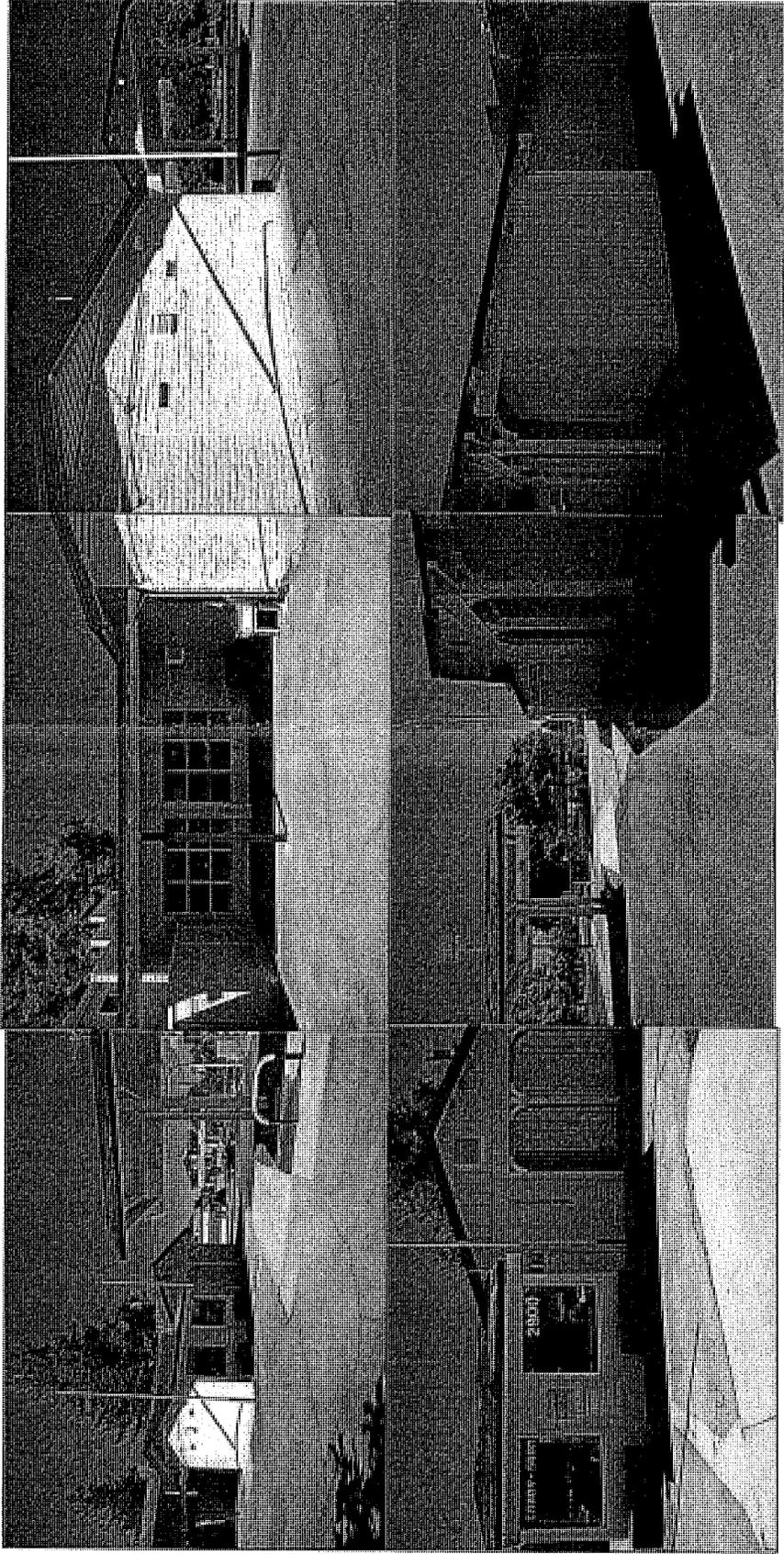
4 EXISTING REAR ELEVATION
 SCALE: 1/8" = 1'-0"



3 EXISTING RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

PHOTOS OF EXISTING

RECEIVED
MAY 10 2016
PLANNING



OWNER: SARA IQBAL

PROJECT: PROPOSED TIRE SHOP
ADDRESS: 2900 WILLOW AVENUE, CONCORD, CA